



918 Brighton Avenue | Portland, Maine 04102

January 3, 2013

Ms. Nell Donaldson  
Planning Department  
Portland City Hall  
389 Congress Street  
Portland, Maine 04101

**RE: Response to City Review Comments  
Level I Site Plan Development Review Application  
Motley Street Extension, Portland, Maine**

Dear Ms. Donaldson:

Thank you for forwarding review comments from the City of Portland regarding the Level I Site Plan application for the Motley Street Extension in Portland. Please find our response to the City's comments below:

**Zoning**

Based on Ms. Schmuckal's comment, the request for a waiver from the street frontage requirement for zone R-3 per section 14-90(c) is withdrawn, as the proposed development meets the requirements of section 14-403.

**Transportation Standards**

Please see the additional waiver criteria shown below in **bold text** for the request that the requirement to construct a sidewalk and install curb along all frontages, per section 14-526(a)2.c(i) of the City of Portland Code of Ordinances, be waived. The site meets waiver requirements per section 14-506(b) by the following:

1. Sidewalks

*a. 14-506(b)(Sidewalks)3: A safe alternative-walking route is reasonably and safely available, for example, by way of a sidewalk on the other side of the street that is lightly traveled.*

- Currently, Motley Street is improved for approximately 456 feet from the intersection of Brighton Avenue. The current construction does not include sidewalk or curbing. As the street is and will likely remain a dead end local street serving only residential properties, the traffic volume is not expected to significantly increase from the existing condition. In addition, the street is not located within a designated school walking route. Therefore, the safety of pedestrians utilizing Motley Street will not be affected by the development.

*b. 14-506(b)(Sidewalks)6: Strict adherence to the sidewalk requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.*

- **Strict adherence to the sidewalk requirement would result in the loss of significant site features related to landscaping and topography that are deemed to be of greater public value. These site features include the additional vegetation, ledge, and existing lot lawn area that would be required to be removed in order to install the sidewalk to Brighton Avenue.**

## 2. Curbing

*a. 14-506(b)(Curbing)4: Strict adherence to the curb requirement would result in the loss of significant site features related to landscaping or topography that are deemed to be of a greater public value.*

- **Strict adherence to the curb requirement would result in the loss of significant site features related to landscaping and topography that are deemed to be of greater public value. These site features include the additional vegetation, ledge, and existing lot lawn areas that would be required to be removed in order to install the curb to Brighton Avenue. The increase in elevation at the edge of the road due to curb installation would also require significant regrading of the existing lots to maintain drainage from the lots toward to road.**

*b. 14-506(b)(Curbing)6: The cost to construct the curbing, including any applicable street opening fees, is in excess of 5% of the overall project cost.*

- Installation of curbing and sidewalk along the new 90' section of roadway would be impractical unless sidewalk and curb were also installed along the currently improved section of Motley Street. The cost of retrofitting of curb and sidewalk along the existing section of Motley Street would exceed 5% of the overall project cost.

## **Environmental Quality Standards**

Catch basin inlet protection provisions have been added to the site plans. A symbol and leader note have been added to sheet C2.1 and the appropriate detail has been added to sheet C3.2 (detail #7).

The project data sheet has been revised to indicate the existing and proposed impervious area associated with the roadway construction area only. The existing impervious area within the roadway construction area is 4,323 square feet, which includes existing gravel, pavement, and exposed ledge. The total paved area is 3,390 square feet. As all of the proposed paved area will be constructed over existing impervious area, there will be no net increase in impervious area as a result of the development.

### **Public Infrastructure and Community Safety Standards**

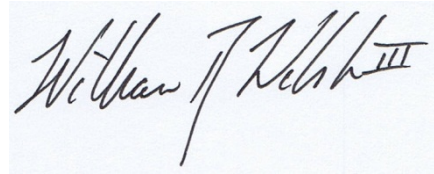
In regards to Captain Pirone's comments, additional information has been obtained from the Portland Water District (see enclosed Ability to Serve letter), which indicates that the existing water line under Motley Street is an 8" ductile iron line with a static pressure of 81 psi. In telephone discussions with Captain Pirone, the larger diameter water line and high pressure in the water line has relieved his concerns for flow requirements for the project. In addition, the sprinkler systems for the houses will be designed by a professional sprinkler designer who will determine if the necessary pressure and flow requirements for the sprinkler systems are met.

Walsh Engineering Associates, Inc. has reviewed section 3.7 of the City's Technical Manual and has added a note to sheets C.2.0, C2.1, and C3.0 that a blasting permit and all associated submittals will be required for a "large blast" operation (removal of greater than 300 c.y. of rock material).

As requested, enclosed you will find one (1) complete paper set of the final plans and the updated Project Data sheet. Also enclosed is a copy of the Portland Water District Ability to Serve Letter for the two residential lots.

I trust you will find this information provided sufficient for the site plan approval. We look forward to working with you as the project progresses.

Respectfully,

A handwritten signature in black ink on a light blue background. The signature is cursive and reads "William R. Walsh III".


William R. Walsh, III, PE  
Walsh Engineering Associates, Inc.

Enc. Site Plans and Details – Rev. 2 dated January 3, 2013  
Project Data Sheet  
Portland Water District Ability to Serve Letter

cc. Mr. Scott Lalumiere, Milk Street Capital, LLC

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

**This application is for a Site Plan review only, a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.**

Signature of Applicant: 	Date: 11/8/12
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Please refer to Article V, Site Plan of the City of Portland Land Use Code for detailed information concerning the City's site plan review process, thresholds and standards. Should you have any questions regarding the submittal requirements or any other aspect of the site plan review process, please contact the Planning Division.

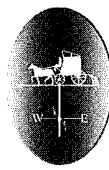
### PROJECT DATA

The following information is required where applicable, in order complete the application

<b>Total Site Area</b>		sq. ft.
<b>Proposed Total Disturbed Area of the Site</b>		sq. ft.
<b>IMPERVIOUS SURFACE AREA</b>		
• Proposed Total Paved Area	3,390	sq. ft.
• Existing Total Impervious Area	4,323	sq. ft.
• Proposed Total Impervious Area	4,323	sq. ft.
• Proposed Impervious Net Change	0	sq. ft.
<b>PARKING SPACES</b>		
• Existing Number of Parking Spaces	0	
• Proposed Number of Parking Spaces	0	
<b>TOTAL Number of Parking Spaces</b>	0	

#### General Submittal Requirements – Level I Site Alteration

Applicant Checklist	Planner Checklist	Number of Paper Copies	Submittal Requirement
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Completed application form.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Application fees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of right, title and interest.
<input type="checkbox"/> N/A	<input type="checkbox"/>	1	Copies of required state and/or federal permits.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written assessment of proposed project's compliance with applicable zoning requirements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written description of existing and proposed easements or other burdens.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Written requests for waivers from individual site plan and/or technical standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1	Evidence of financial and technical capacity.



## Portland Water District

FROM SEBAGO LAKE TO CASCO BAY

December 10, 2012

Walsh Engineering Associates, Inc.  
918 Brighton Avenue  
Portland, ME 04102

Attn: Silas Canavan, P.E.  
Re: Motley Street, Portland  
Ability to Serve with PWD Water

Dear Mr. Canavan:

The Portland Water District has received your request for an Ability to Serve determination for the noted site submitted on December 6, 2012. Based on the information provided, we can confirm that the District will be able to serve the proposed project as further described in this letter.

Please note that this letter does not constitute approval of this project from the District. Please review this letter for any special conditions specified by the District and to determine the appropriate next steps to take to move your project through the submittal and approval process.

### Existing Site Service

According to District records, the project site does not currently have existing water service.

### Water System Characteristics

According to District records, there is an 8-inch diameter ductile iron water main on the west side of Motley Street and a public fire hydrant located 165-feet from the site.

Please see attached map showing all available hydrant flow tests near the project site. The current data from the nearest hydrant with flow test information is as follows:

Hydrant Location: Motley Street 200' south of Brighton Avenue  
Hydrant Number: POD-HYD01819  
Last Tested: 4/16/2003  
Static Pressure: 81 psi  
Residual Pressure: Not Measured  
Flow: Not Measured

### Public Fire Protection

It is anticipated that this project will not include the installation of new public hydrants to be accepted into the District water system. The decision to require new hydrants and to determine their locations is solely that of the local fire department. It is your responsibility to contact the Portland Fire Department to ensure that this project is adequately served by existing and/or proposed hydrants.



### Domestic Water Needs

The data noted above indicates there should be adequate pressure and volume of water to serve the domestic water needs of the two proposed single family homes. Based on the high water pressure in this area, we recommend that you consider the installation of pressure reducing devices that comply with state plumbing codes.

### Private Fire Protection Water Needs

You have indicated that this project will require water service to provide private fire protection to the site. Please note that the District does not guarantee any quantity of water or pressure through a fire protection service. Please share these results with your sprinkler system designer so that they can design the fire protection system to best fit the noted conditions. If the data is out of date or insufficient for their needs, please contact the MEANS Division to request a hydrant flow test and we will work with you to get more complete data.

### Conditions of Service

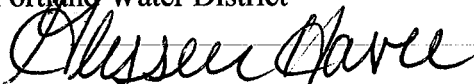
Each lot should have a water service line that connects to the main in Motley Street, the service should enter through each lots' own frontage. Please maintain all minimum separation requirements as follows:

- Property lines – 10-feet
- Gas mains – 6-feet face to face
- Underground electric and telephone – 6-feet face to face
- Sanitary sewer – 5-feet; if sanitary sewer is laid 18-inches below water service, then an 18-inch horizontal separation is allowable

The District can confirm that the main in Motley Street will provide adequate flow and pressure for domestic needs, as noted above the District does not guarantee any quantity of water or pressure through a fire protection service. A single line may be installed to provide both fire and domestic water. The required diameter of a combined service line must be determined by the sprinkler system designer. The split for the sprinkler service must be located after the water meter and must include a non-testable backflow prevention device. The meter must be appropriately sized by the sprinkler system designer to accommodate the necessary flows for fire protection. Prior to activation of the water service, the sprinkler system designer must provide documentation that shows the appropriate meter size.

If the District can be of further assistance in this matter, please let us know.

Sincerely,  
Portland Water District



Glissen Havu, E.I.  
Design Engineer

GENERAL NOTES:

- 1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING 'DIG SAFE' AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW, 'DIG SAFE' TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
4. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
5. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND MAINE DEP REQUIREMENTS.
6. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
8. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
9. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.

EXISTING UTILITY NOTES:

- 1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. KIMBALL SURVEY & DESIGN, INC. (THE SURVEYOR) LOCATED ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND WALSH ENGINEERING ASSOCIATES, INC. FURTHER DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY DO BELIEVE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
2. THE LOCATION OF THE EXISTING 4" GAS LINE BEYOND THE SOUTHERLY END OF PAVEMENT WAS NOT SURVEYED. A MAP PROVIDED BY UNTIL INDICATED THAT THE GAS MAIN CONTINUES BEYOND THE EDGE OF PAVEMENT TO SERVE THE GILLESPIE PROPERTY. HOWEVER, THE EXACT LOCATION OF THE MAIN WAS NOT DETERMINED. IT IS ASSUMED THAT THE GAS MAIN BENDS AROUND THE EXISTING LEDGE AT THE END OF THE EXISTING PAVEMENT AND CONTINUES UNDER THE EXISTING GRAVEL ROAD. THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING GAS MAIN BY CALLING 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

ZONING STANDARDS:

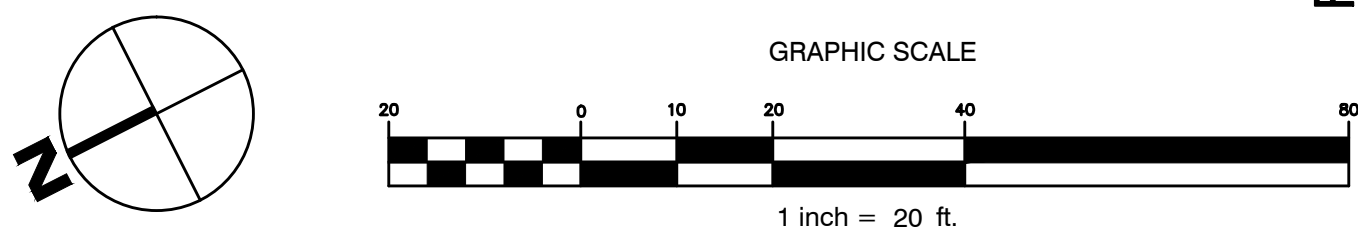
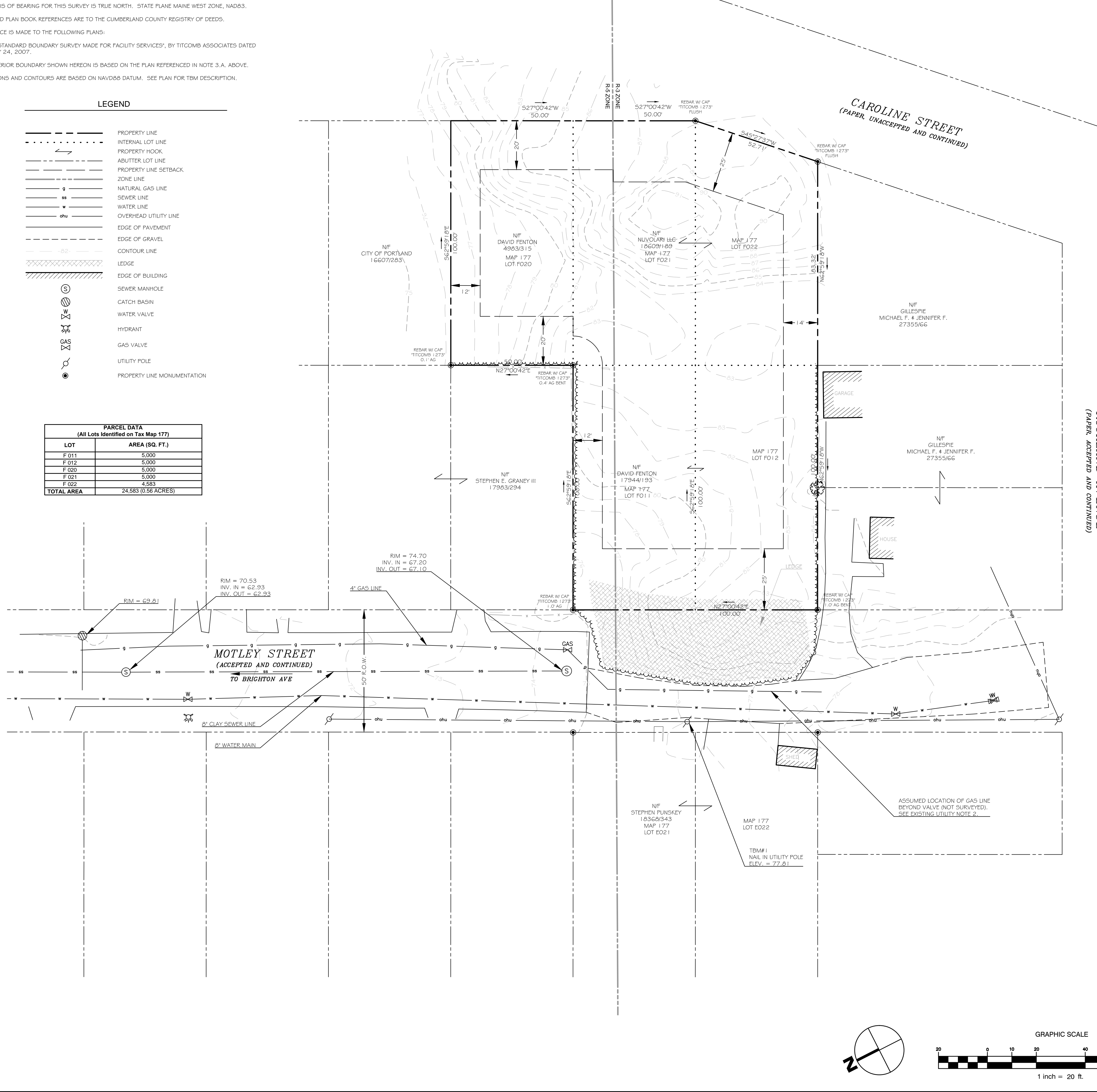
- R-3 DIMENSIONAL REQUIREMENTS
(A) MINIMUM LOT SIZE:
1. RESIDENTIAL: SIXTY-FIVE HUNDRED (6,500) SQUARE FEET
(B) MINIMUM LOT AREA PER DWELLING UNIT:
PRUD: SIXTY-FIVE HUNDRED (6,500) SQUARE FEET OF NET LAND AREA
(C) MINIMUM STREET FRONTAGE: FIFTY (50) FEET, EXCEPT THAT LOTS LOCATED IN A SUBDIVISION APPROVED AFTER THE EFFECTIVE DATE OF ORD. NO. 165-97 PURSUANT TO SECTION 14-497.5 SHALL MEET THE STREET FRONTAGE REQUIREMENTS APPROVED AS PART OF THE SUBDIVISION PLAN UNDER THE TERMS OF THAT SECTION.
(D) MINIMUM YARD DIMENSIONS:
1. FRONT YARD: PRINCIPAL OR ACCESSORY STRUCTURES: TWENTY-FIVE (25) FEET.
2. REAR YARD: TWENTY-FIVE (25) FEET.
3. SIDE YARD:
HEIGHT OF STRUCTURE REQUIRED SIDE YARD
1 STORY . . . . . 6 FEET
1 1/2 STORIES . . . . . 8 FEET
2 STORIES . . . . . 14 FEET
2 1/2 STORIES . . . . . 16 FEET
(E) MAXIMUM LOT COVERAGE: THIRTY-FIVE (35) PERCENT OF LOT AREA.
(F) MINIMUM LOT WIDTH: SIXTY-FIVE (65) FEET.
(G) MAXIMUM STRUCTURE HEIGHT: THIRTY-FIVE (35) FEET.
R-5 DIMENSIONAL REQUIREMENTS
(A) MINIMUM LOT SIZE:
1. RESIDENTIAL: SIXTY-FIVE HUNDRED (6,000) SQUARE FEET
(B) MINIMUM LOT AREA PER DWELLING UNIT:
PRUD: SIXTY-FIVE HUNDRED (6,000) SQUARE FEET OF NET LAND AREA
(C) MINIMUM STREET FRONTAGE: FIFTY (50) FEET
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1. FRONT YARD: PRINCIPAL OR ACCESSORY STRUCTURES: TWENTY (20) FEET.
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1 1/2 STORIES . . . . . 8 FEET
2 STORIES . . . . . 12 FEET
2 1/2 STORIES . . . . . 14 FEET
(E) MAXIMUM LOT COVERAGE: FORTY (40) PERCENT OF LOT AREA.
(F) MINIMUM LOT WIDTH: SIXTY (60) FEET.
(G) MAXIMUM STRUCTURE HEIGHT: THIRTY-FIVE (35) FEET.

SURVEY NOTES:

- 1. THE BASIS OF BEARING FOR THIS SURVEY IS TRUE NORTH. STATE PLANE MAINE WEST ZONE, NAD83.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. REFERENCE IS MADE TO THE FOLLOWING PLANS:
A. 'STANDARD BOUNDARY SURVEY MADE FOR FACILITY SERVICES', BY TITCOMB ASSOCIATES DATED JULY 24, 2007.
4. THE EXTERIOR BOUNDARY SHOWN HEREON IS BASED ON THE PLAN REFERENCED IN NOTE 3.A. ABOVE.
5. ELEVATIONS AND CONTOURS ARE BASED ON NAVD83 DATUM. SEE PLAN FOR TBM DESCRIPTION.

LEGEND
PROPERTY LINE
INTERNAL LOT LINE
PROPERTY HOOK
ABUTTER LOT LINE
PROPERTY LINE SETBACK
ZONE LINE
NATURAL GAS LINE
SEWER LINE
WATER LINE
OVERHEAD UTILITY LINE
EDGE OF PAVEMENT
EDGE OF GRAVEL
CONTOUR LINE
LEDGE
EDGE OF BUILDING
SEWER MANHOLE
CATCH BASIN
WATER VALVE
HYDRANT
GAS VALVE
UTILITY POLE
PROPERTY LINE MONUMENTATION

PARCEL DATA (All Lots Identified on Tax Map 177)
Table with 2 columns: LOT, AREA (SQ. FT.)
Rows: F 011 (5,000), F 012 (5,000), F 020 (5,000), F 021 (5,000), F 022 (4,583), TOTAL AREA (24,583 (0.56 ACRES))



WALSH ENGINEERING ASSOCIATES, INC.
918 Brighton Ave | Portland, Maine 04102
ph: 207.553.8898 | www.walsh-eng.com
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STATE OF MAINE
WILLIAM R. WALSH, III
No. 8204
LICENSED PROFESSIONAL ENGINEER

STATE OF MAINE
ISAIAH
PL. 11/13/13
PL. 11/13/13
LICENSED PROFESSIONAL LAND SURVEYOR

MOTLEY STREET EXTENSION
PORTLAND, MAINE
MOTLEY STREET
MILK STREET CAPITAL, LLC
207.850.6164
PORTLAND, MAINE 04101
84 MIDDLE STREET

Project Name:
Client Information:

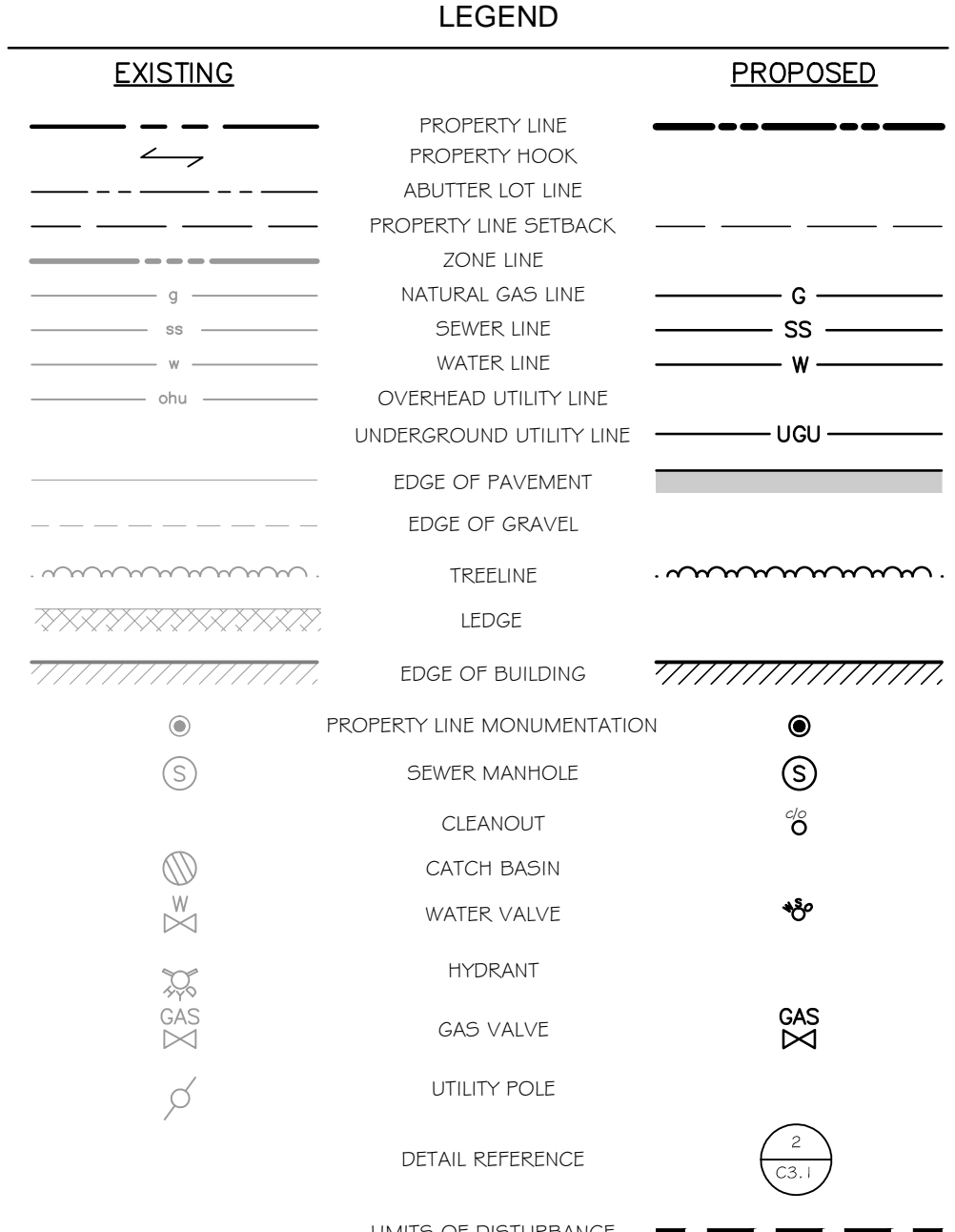
Table with 4 columns: Rev., Date, Description, Drawn, Check
Row 1: A, 11/8/12, ISSUED FOR SITE PLAN REVIEW, SWC, WRW
Row 2: B, 11/13/13, REVISED PER CITY OF PORTLAND REVIEW COMMENTS, SWC, WRW

Sheet Title:
EXISTING CONDITIONS PLAN AND BOUNDARY SURVEY

Job No.: 173
Date: NOV 9, 2012
Scale: 1" = 20'
Drawn: SWC
Checked: WRW
Sheet No.:
C1.0

FOR PERMITTING ONLY - NOT FOR CONSTRUCTION

- GENERAL NOTES:**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
  - THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
  - ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
  - ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
  - ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND MAINE DEP REQUIREMENTS.
  - THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
  - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
  - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
  - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.
  - HOUSE, DRIVEWAY, AND PARKING LOCATIONS, AND CLEARING LIMITS SHOWN ARE CONCEPTUAL. SITE PLAN APPLICATIONS WILL BE SUBMITTED FOR EACH LOT PRIOR TO LOT DEVELOPMENT.
  - THE PROPOSED LOTS ARE TO BE USED AS SINGLE FAMILY RESIDENTIAL LOTS ONLY FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF ACCEPTANCE OF THIS PLAN.
  - ALL WATER MAIN WORK SHALL COMPLY WITH PORTLAND WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE PORTLAND WATER DISTRICT.



- LAYOUT, MATERIALS, AND UTILITY NOTES:**
- ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
  - DO NOT SCALE THE DRAWINGS FOR REQUIRED DIMENSIONS. ANY DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
  - ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
  - ALL EDGES OF PAVING SHALL BE STAKED OUT BY THE CONTRACTOR AND REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
  - PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
  - ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEEDING.
  - CENTERLINES OF DRIVEWAY AND WALKWAY, PROPOSED PARKING LOTS AND PROPOSED UTILITY LINES SHALL BE LOCATED AND LAID OUT BY PROFESSIONALLY LICENSED SURVEYOR.

- ZONING STANDARDS:**
- R-3 DIMENSIONAL REQUIREMENTS**
- (A) MINIMUM LOT SIZE:  
1. RESIDENTIAL: SIXTY-FIVE HUNDRED (6,500) SQUARE FEET
- (B) MINIMUM LOT AREA PER DWELLING UNIT:  
FRUD: SIXTY-FIVE HUNDRED (6,500) SQUARE FEET OF NET LAND AREA
- (C) MINIMUM STREET FRONTAGE: FIFTY (50) FEET, EXCEPT THAT LOTS LOCATED IN A SUBDIVISION APPROVED AFTER THE EFFECTIVE DATE OF ORD. NO. 165-97 PURSUANT TO SECTION 14-497.5 SHALL MEET THE STREET FRONTAGE REQUIREMENTS APPROVED AS PART OF THE SUBDIVISION PLAN UNDER THE TERMS OF THAT SECTION.
- (D) MINIMUM YARD DIMENSIONS:  
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- (G) MAXIMUM STRUCTURE HEIGHT: THIRTY-FIVE (35) FEET.

- R-5 DIMENSIONAL REQUIREMENTS**
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**IMPERVIOUS AND DEVELOPED AREA CALCULATIONS (ROADWAY ONLY)**

EXISTING TOTAL IMPERVIOUS AREA = 4,323 S.F.  
(AREA INCLUDES EXISTING PAVEMENT, GRAVEL, AND EXPOSED LEDGE)

PROPOSED TOTAL PAVED AREA = 3,390 S.F.  
(ALL PROPOSED PAVED AREA LOCATED WITHIN EXISTING IMPERVIOUS AREA)

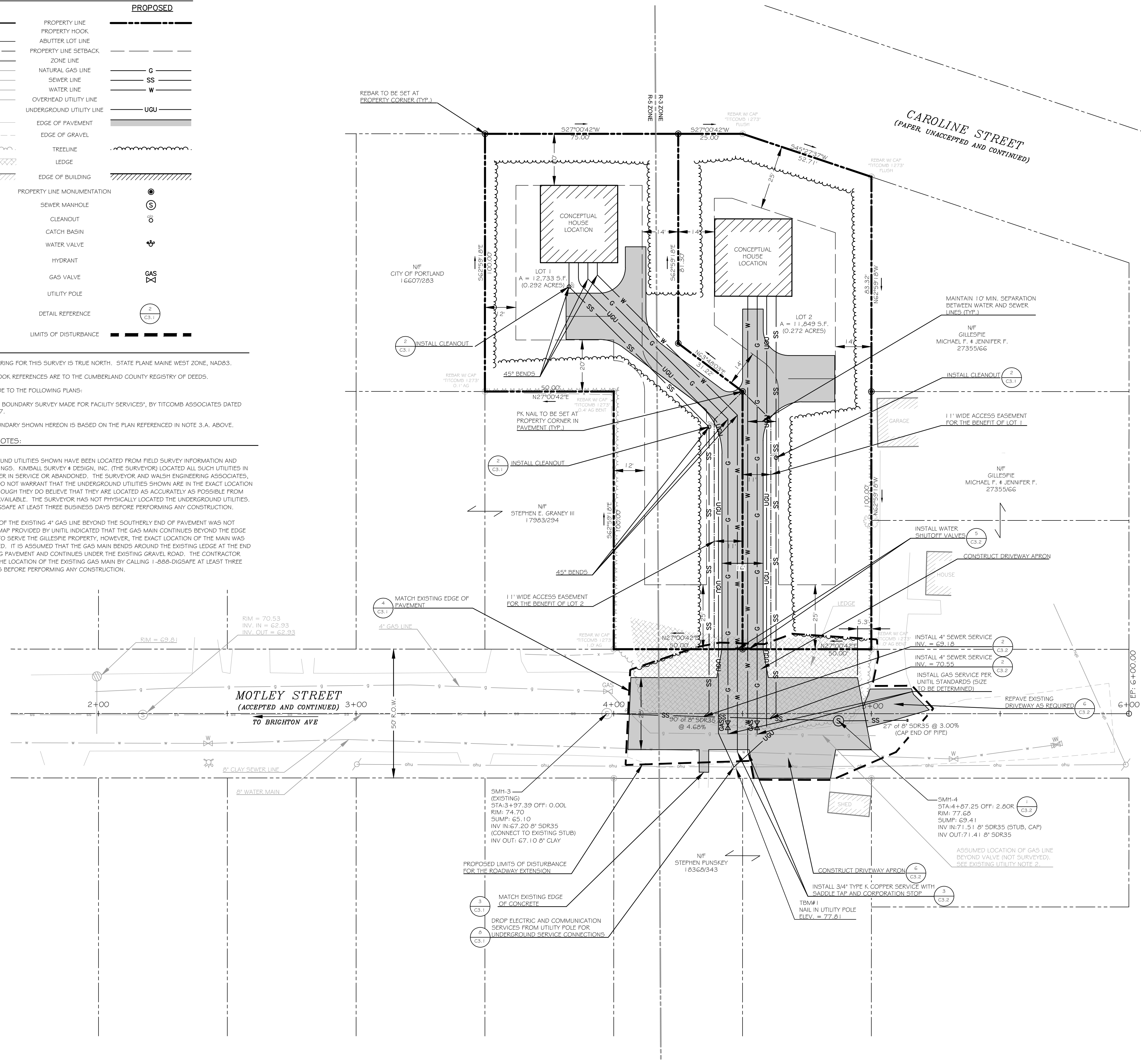
PROPOSED IMPERVIOUS NET CHANGE = 0 S.F.  
(NO NET INCREASE AS A RESULT OF THE ROADWAY DEVELOPMENT)

TOTAL LAND DISTURBANCE = 5,087 S.F.

APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

- SURVEY NOTES:**
- THE BASIS OF BEARING FOR THIS SURVEY IS TRUE NORTH. STATE PLANE MAINE WEST ZONE, NAD83.
  - DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
  - REFERENCE IS MADE TO THE FOLLOWING PLANS:  
A. "STANDARD BOUNDARY SURVEY MADE FOR FACILITY SERVICES", BY TITCOMB ASSOCIATES DATED JULY 24, 2007.
  - THE EXTERIOR BOUNDARY SHOWN HEREON IS BASED ON THE PLAN REFERENCED IN NOTE 3.A. ABOVE.

- EXISTING UTILITY NOTES:**
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. KIMBALL SURVEY & DESIGN, INC. (THE SURVEYOR) LOCATED ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND WALSH ENGINEERING ASSOCIATES, INC. FURTHER DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY DO BELIEVE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
  - THE LOCATION OF THE EXISTING 4" GAS LINE BEYOND THE SOUTHERLY END OF PAVEMENT WAS NOT SURVEYED. A MAP PROVIDED BY UNTIL INDICATED THAT THE GAS MAIN CONTINUES BEYOND THE EDGE OF PAVEMENT TO SERVE THE GILLESPIE PROPERTY, HOWEVER, THE EXACT LOCATION OF THE MAIN WAS NOT DETERMINED. IT IS ASSUMED THAT THE GAS MAIN BENDS AROUND THE EXISTING LEDGE AT THE END OF THE EXISTING PAVEMENT AND CONTINUES UNDER THE EXISTING GRAVEL ROAD. THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING GAS MAIN BY CALLING 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.



- BLASTING NOTES:**
- A BLASTING PERMIT AND ALL ASSOCIATED SUBMITTALS FOR A "LARGE BLAST" OPERATION (REMOVAL OF GREATER THAN 300 C.Y. OF ROCK MATERIAL) IN ACCORDANCE WITH SECTION 3.7 OF THE CITY OF PORTLAND TECHNICAL MANUAL WILL BE REQUIRED PRIOR TO ANY BLASTING OPERATIONS.

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918 Brighton Ave | Portland, Maine 04102  
ph: 207.553.8898 | www.walsh-eng.com

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STATE OF MAINE  
WILLIAM R. WALSH, III  
No. 8204  
LICENSED PROFESSIONAL ENGINEER

STATE OF MAINE  
ISAIAH PLUM  
PL. # 1334  
LICENSED PROFESSIONAL LAND SURVEYOR

**MOTLEY STREET EXTENSION**

PORTLAND, MAINE  
MOTLEY STREET

**MILK STREET CAPITAL, LLC**

207.650.6164  
PORTLAND, MAINE 04101  
68 MIDDLE STREET

Project Name:  
Client Information:

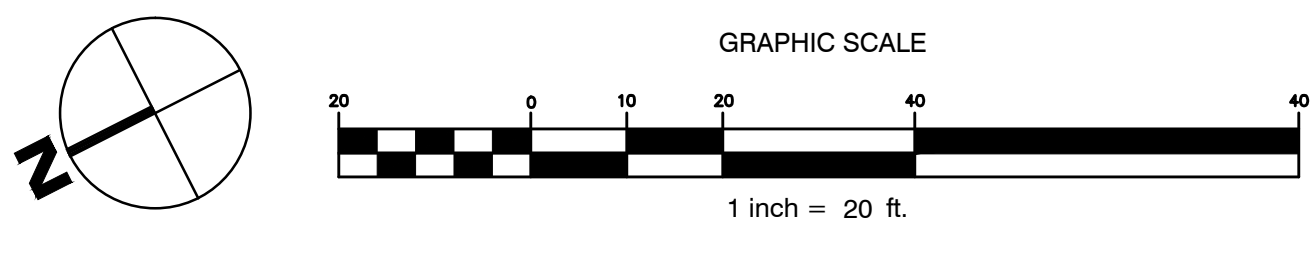
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Rev.	Date	Description	Drawn	Check
A	11/01/20	ISSUED FOR SITE PLAN REVIEW	SWC	WRW
B	11/13/20	REVISED PER CITY OF PORTLAND REVIEW COMMENTS	SWC	WRW

Sheet Title:  
**SITE LAYOUT AND UTILITIES PLAN**

Job No.: 173  
Date: NOV 9, 2012  
Scale: 1" = 20'  
Drawn: SWC  
Checked: WRW

Sheet No.:  
**C2.0**





**GENERAL NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING 'DIG SAFE' AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. 'DIG SAFE' TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
4. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
5. ALL WORK SHALL BE IN CONFORMANCE WITH THE TOWN OF CARIBOU AND MAINE DEP REQUIREMENTS.
6. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
8. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
9. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.
10. ELEVATIONS AND CONTOURS ARE BASED ON NAVD83 DATUM. SEE PLAN FOR TBM DESCRIPTION.
11. HOUSE, DRIVEWAY, AND PARKING LOCATIONS, AND CLEARING LIMITS SHOWN ARE CONCEPTUAL. SITE PLAN APPLICATIONS WILL BE SUBMITTED FOR EACH LOT PRIOR TO LOT DEVELOPMENT.
12. THE PROPOSED LOTS ARE TO BE USED AS SINGLE FAMILY RESIDENTIAL LOTS ONLY FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF ACCEPTANCE OF THIS PLAN.
13. ALL WATER MAIN WORK SHALL COMPLY WITH PORTLAND WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE PORTLAND WATER DISTRICT.
14. SEE SURVEY NOTES ON SHEET C1.0 FOR PLAN REFERENCES.

**LAYOUT, MATERIALS, AND UTILITY NOTES:**

1. ALL DIMENSIONS, LOCATIONS AND CONTROLS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION ACTIVITIES. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE OWNER OR OWNER'S REPRESENTATIVE.
2. DO NOT SCALE THE DRAWINGS FOR REQUIRED DIMENSIONS. ANY DISCREPANCIES IN DIMENSIONING SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE.
3. ALL ANGLES ARE 90 DEGREES UNLESS OTHERWISE SHOWN.
4. ALL EDGES OF PAVING SHALL BE STAKED OUT BY THE CONTRACTOR AND REVIEWED BY THE OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION.
5. PROVIDE A SMOOTH TRANSITION WHERE NEW WORK MEETS EXISTING.
6. ALL DISTURBED AREAS NOT OTHERWISE TREATED SHALL BE LOAMED AND SEEDED.
7. CENTERLINES OF DRIVEWAY AND WALKWAY, PROPOSED PARKING LOTS AND PROPOSED UTILITY LINES SHALL BE LOCATED AND LAID OUT BY PROFESSIONALLY LICENSED SURVEYOR.

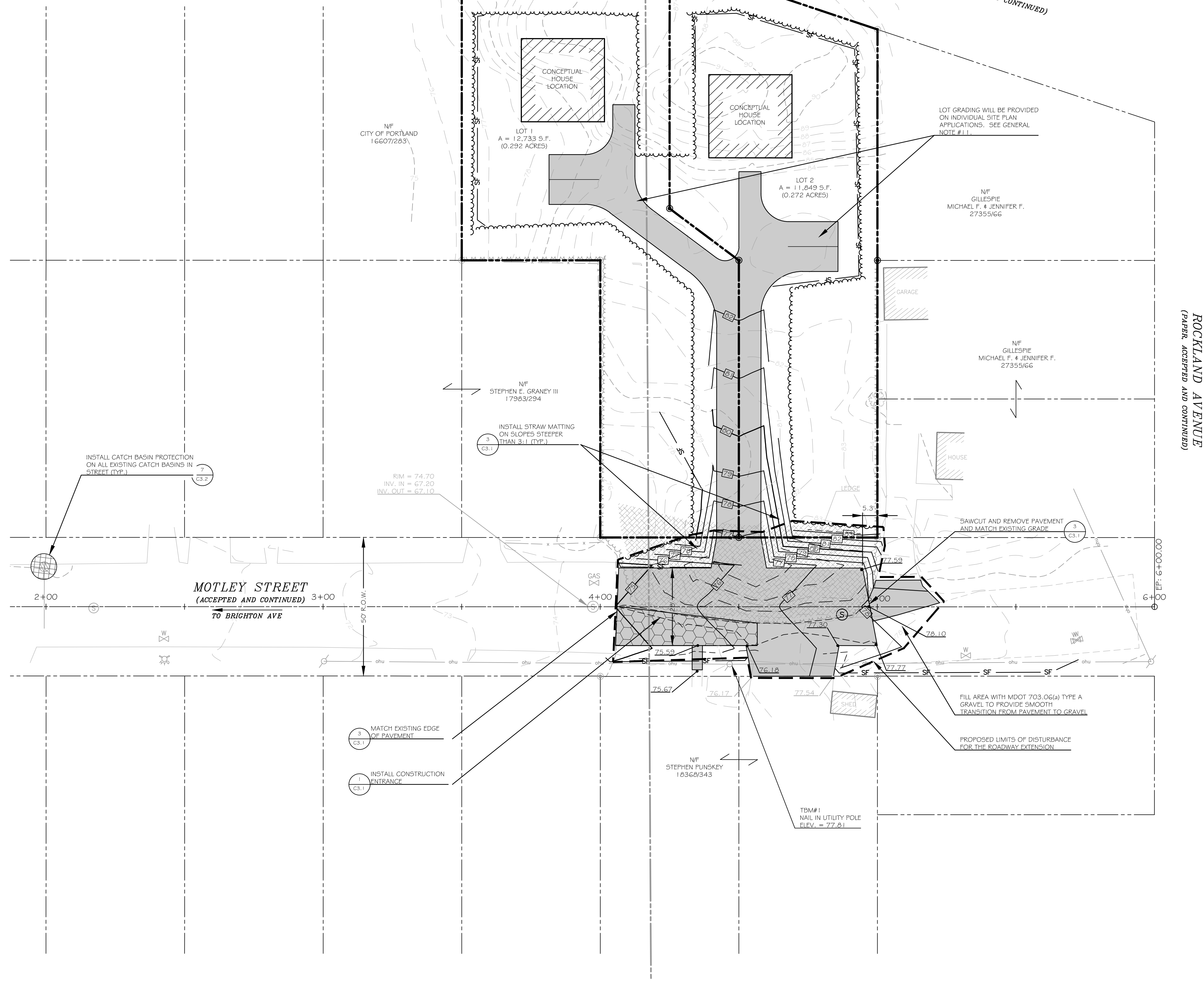
**BLASTING NOTES:**

1. A BLASTING PERMIT AND ALL ASSOCIATED SUBMITTALS FOR A "LARGE BLAST" OPERATION (REMOVAL OF GREATER THAN 300 C.Y. OF ROCK MATERIAL) IN ACCORDANCE WITH SECTION 3.7 OF THE CITY OF PORTLAND TECHNICAL MANUAL WILL BE REQUIRED PRIOR TO ANY BLASTING OPERATIONS.

**EXISTING UTILITY NOTES:**

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. KIMBALL SURVEY & DESIGN, INC. (THE SURVEYOR) LOCATED ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND WALSH ENGINEERING ASSOCIATES, INC. FURTHER DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY DO BELIEVE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
2. THE LOCATION OF THE EXISTING 4" GAS LINE BEYOND THE SOUTHERLY END OF PAVEMENT WAS NOT SURVEYED. A MAP PROVIDED BY UNILIT INDICATED THAT THE GAS MAIN CONTINUES BEYOND THE EDGE OF PAVEMENT TO SERVE THE GILLESPIE PROPERTY, HOWEVER, THE EXACT LOCATION OF THE MAIN WAS NOT DETERMINED. IT IS ASSUMED THAT THE GAS MAIN BENDS AROUND THE EXISTING LEDGE AT THE END OF THE EXISTING PAVEMENT AND CONTINUES UNDER THE EXISTING GRAVEL ROAD. THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING GAS MAIN BY CALLING 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

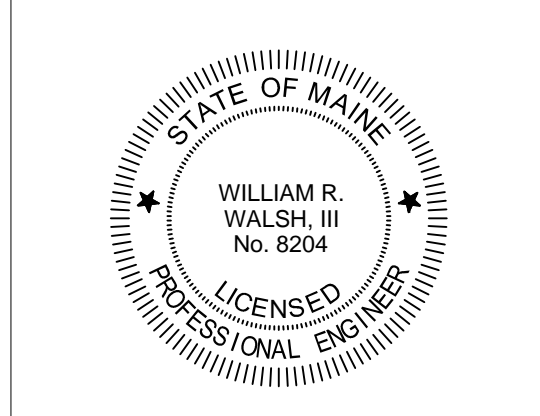
LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	PROPERTY HOOK
	ABUTTER LOT LINE
	PROPERTY LINE SETBACK
	ZONE LINE
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	CONTOUR LINE
	TREELINE
	LEDGE
	EDGE OF BUILDING
	PROPERTY LINE MONUMENTATION
	SEWER MANHOLE
	CATCH BASIN
	WATER VALVE
	HYDRANT
	GAS VALVE
	UTILITY POLE
	SILT FENCE
	CONSTRUCTION ENTRANCE
	SPOT GRADE
	DETAIL REFERENCE
	CATCH BASIN INLET PROTECTION
	LIMITS OF DISTURBANCE



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PORTLAND, MAINE  
MOTLEY STREET

**MILK STREET CAPITAL, LLC**

207.850.6164  
PORTLAND, MAINE 04101  
68 MIDDLE STREET

Project Name:  
Client Information:

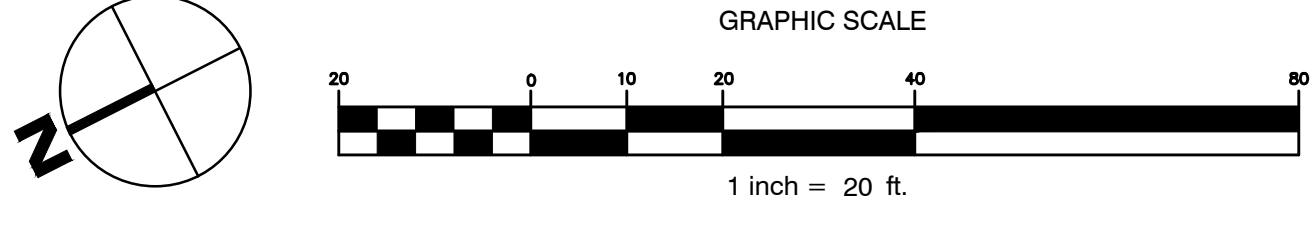
Rev.	Date	Description	Drawn	Check
A	11/8/12	ISSUED FOR SITE PLAN REVIEW	SWC	WRW
B	11/3/13	REVISED PER CITY OF PORTLAND REVIEW COMMENTS	SWC	WRW

Sheet Title:  
**GRADING AND DRAINAGE PLAN**

Job No.: 173 | Sheet No.:  
Date: NOV 9, 2012  
Scale: 1" = 20'  
Drawn: SWC  
Checked: WRW

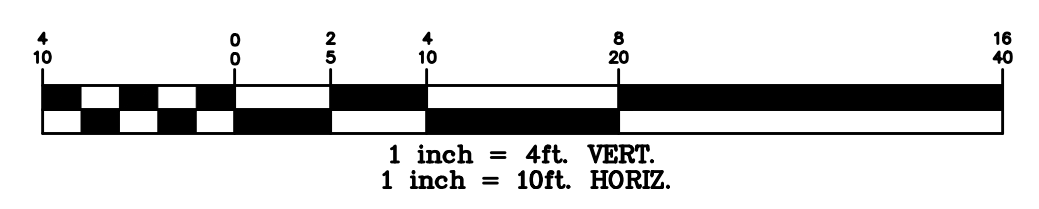
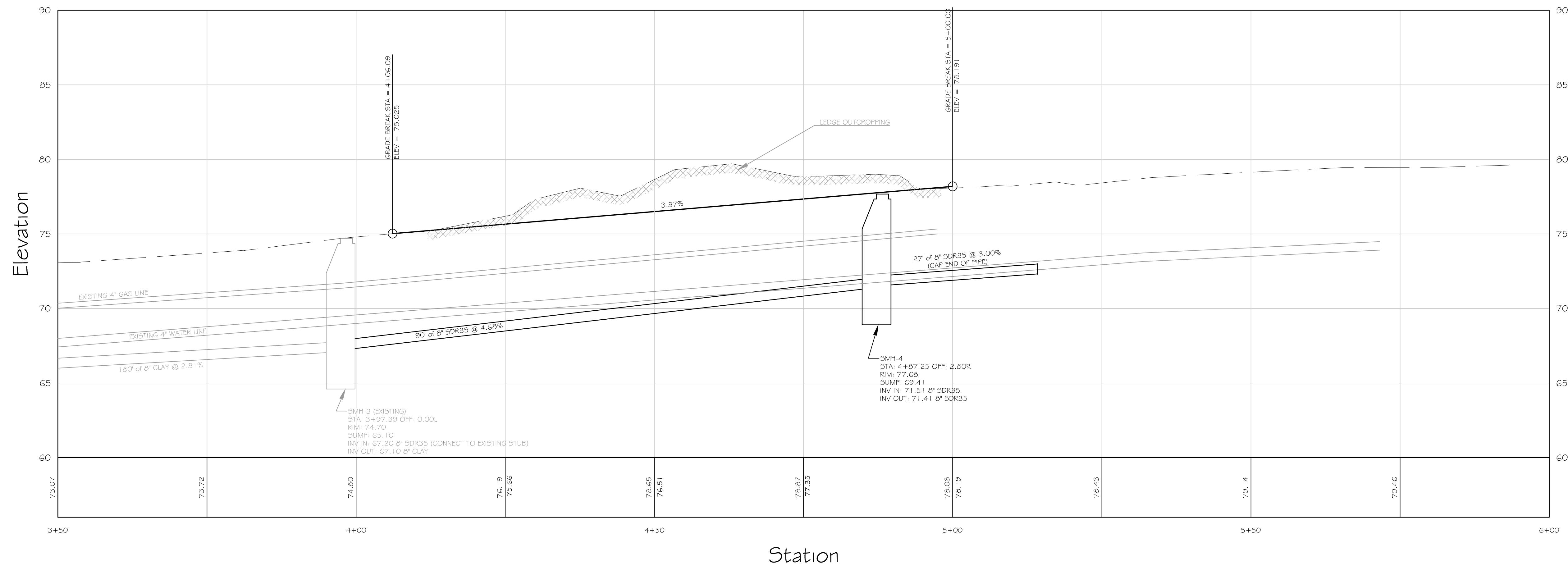
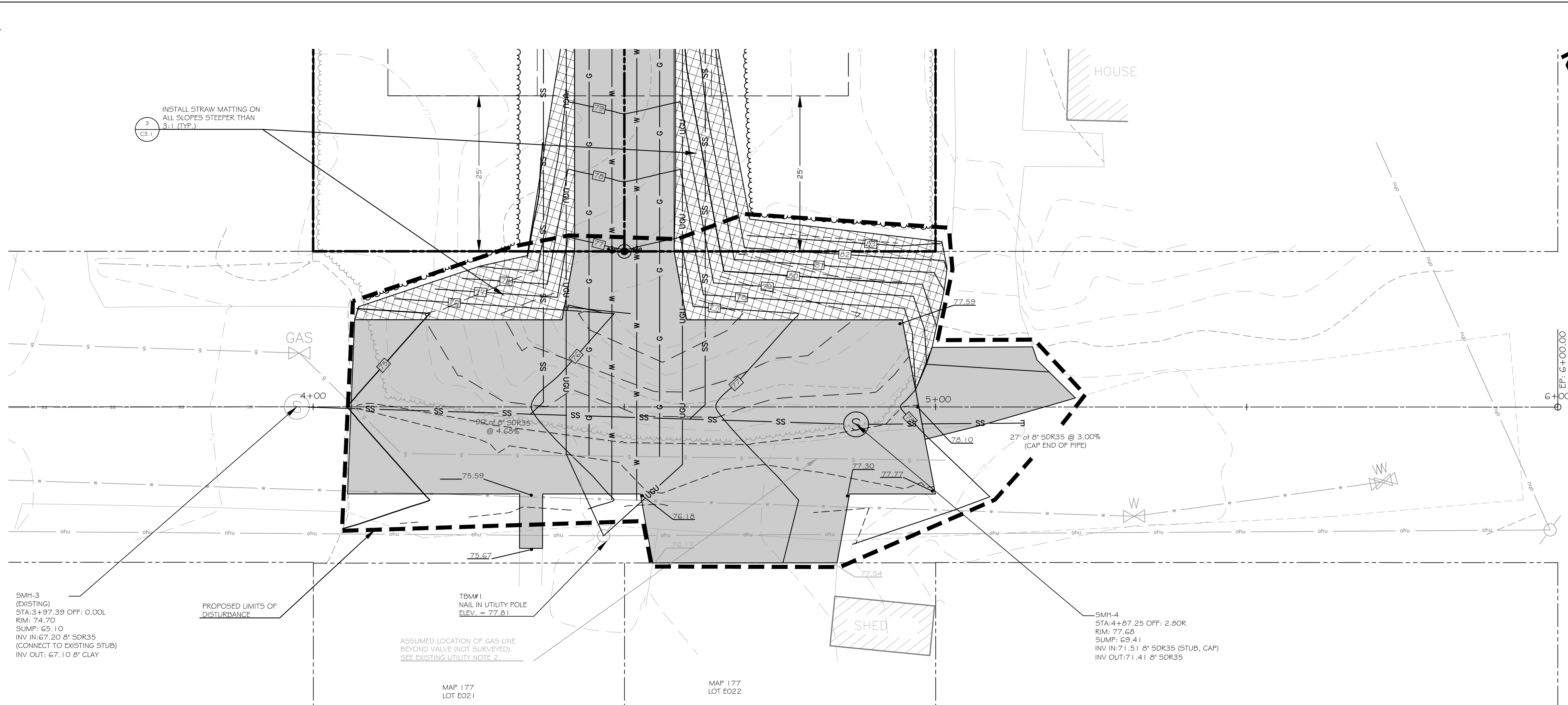
**C2.1**

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LEGEND	
EXISTING	PROPOSED
	PROPERTY LINE
	PROPERTY HOOK
	ABUTTER LOT LINE
	PROPERTY LINE SETBACK
	ZONE LINE
	NATURAL GAS LINE
	SEWER LINE
	WATER LINE
	OVERHEAD UTILITY LINE
	UNDERGROUND UTILITY LINE
	EDGE OF PAVEMENT
	EDGE OF GRAVEL
	CONTOUR LINE
	TREELINE
	EDGE OF BUILDING
	PROPERTY LINE MONUMENTATION
	SEWER MANHOLE
	CATCH BASIN
	WATER VALVE
	HYDRANT
	GAS VALVE
	UTILITY POLE
	STRAW MATTING
	DETAIL REFERENCE
	LIMITS OF DISTURBANCE

- GENERAL NOTES:**
- SEE GENERAL NOTES, EXISTING UTILITY NOTES, LAYOUT, MATERIALS, AND UTILITY NOTES ON SHEET C2.1 AND SURVEY NOTES ON SHEET C1.0.
  - ELEVATIONS AND CONTOURS ARE BASED ON NAVD83 DATUM. SEE PLAN FOR TBM DESCRIPTION.
- BLASTING NOTES:**
- A BLASTING PERMIT AND ALL ASSOCIATED SUBMITTALS FOR A "LARGE BLAST" OPERATION (REMOVAL OF GREATER THAN 500 C.Y. OF ROCK MATERIAL) IN ACCORDANCE WITH SECTION 3.7 OF THE CITY OF PORTLAND TECHNICAL MANUAL WILL BE REQUIRED PRIOR TO ANY BLASTING OPERATIONS.



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STATE OF MAINE

WILLIAM R. WALSH, III  
No. 8204

LICENSED PROFESSIONAL ENGINEER

**MOTLEY STREET EXTENSION**

PORTLAND, MAINE  
MOTLEY STREET

**MILK STREET CAPITAL, LLC**

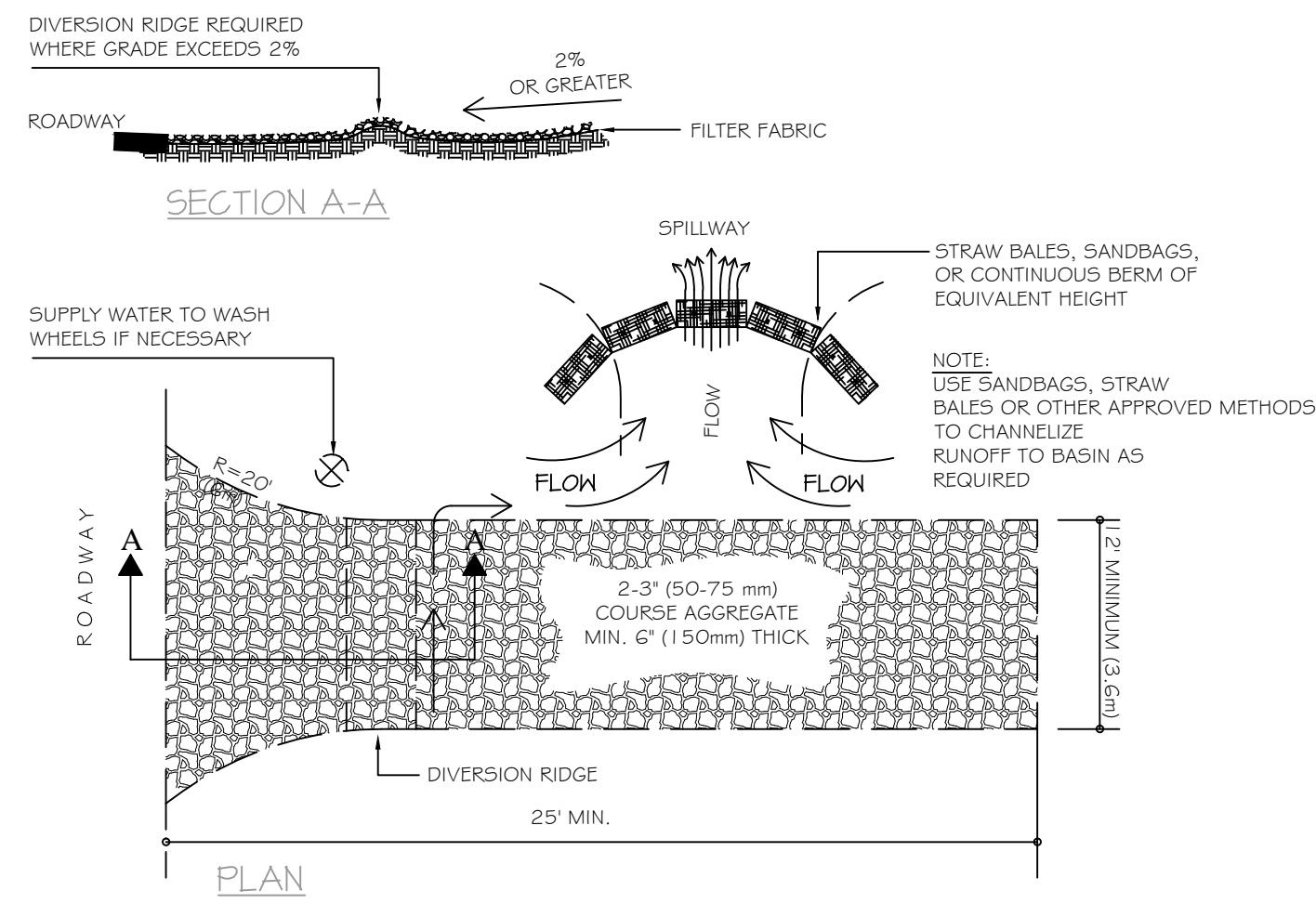
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86 MIDDLE STREET

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A	11/9/12	ISSUED FOR SITE PLAN REVIEW	SWC	WRW
B	1/23/13	REVISED PER CITY OF PORTLAND REVIEW COMMENTS	SWC	WRW

Sheet Title:  
**ROADWAY PLAN AND PROFILE**

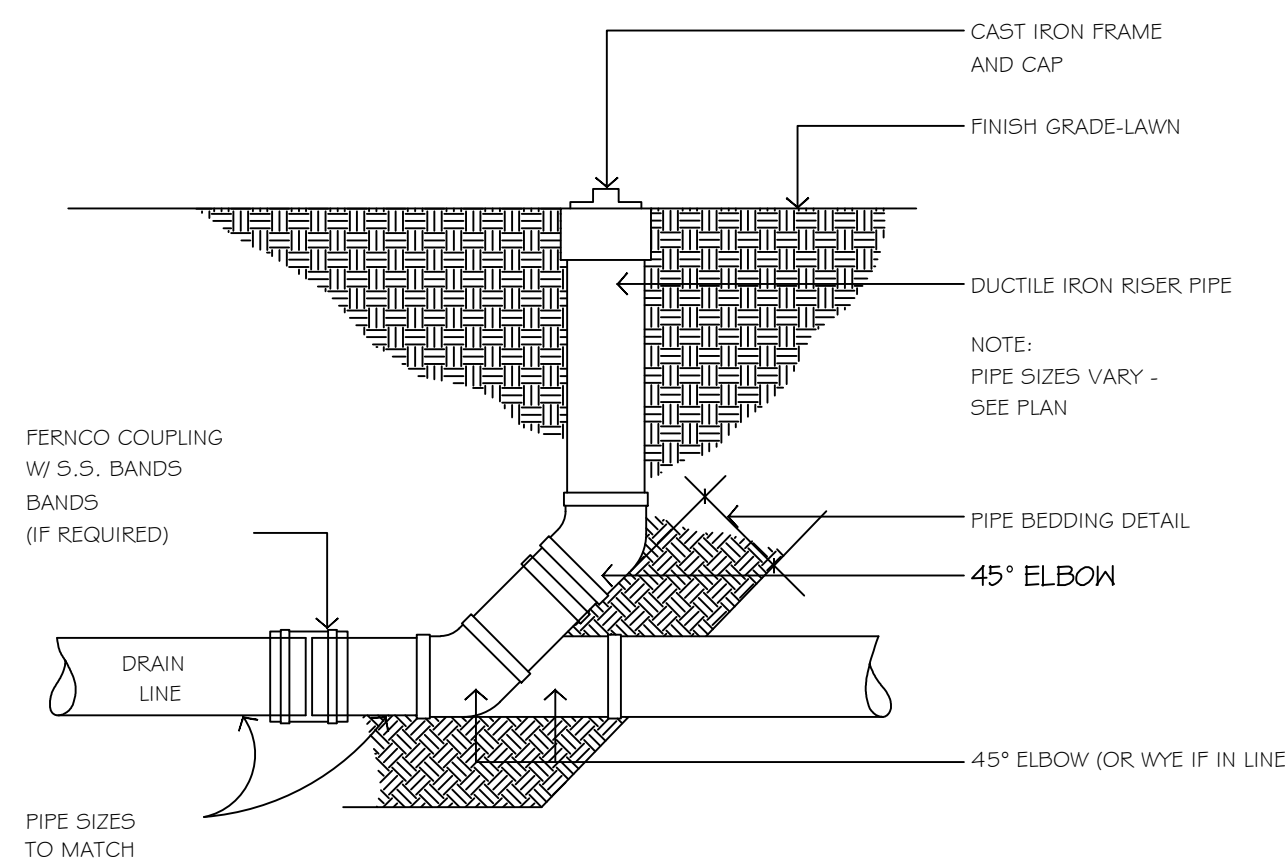
Job No.: 173      Sheet No.:  
Date: NOV 9, 2012  
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**C3.0**

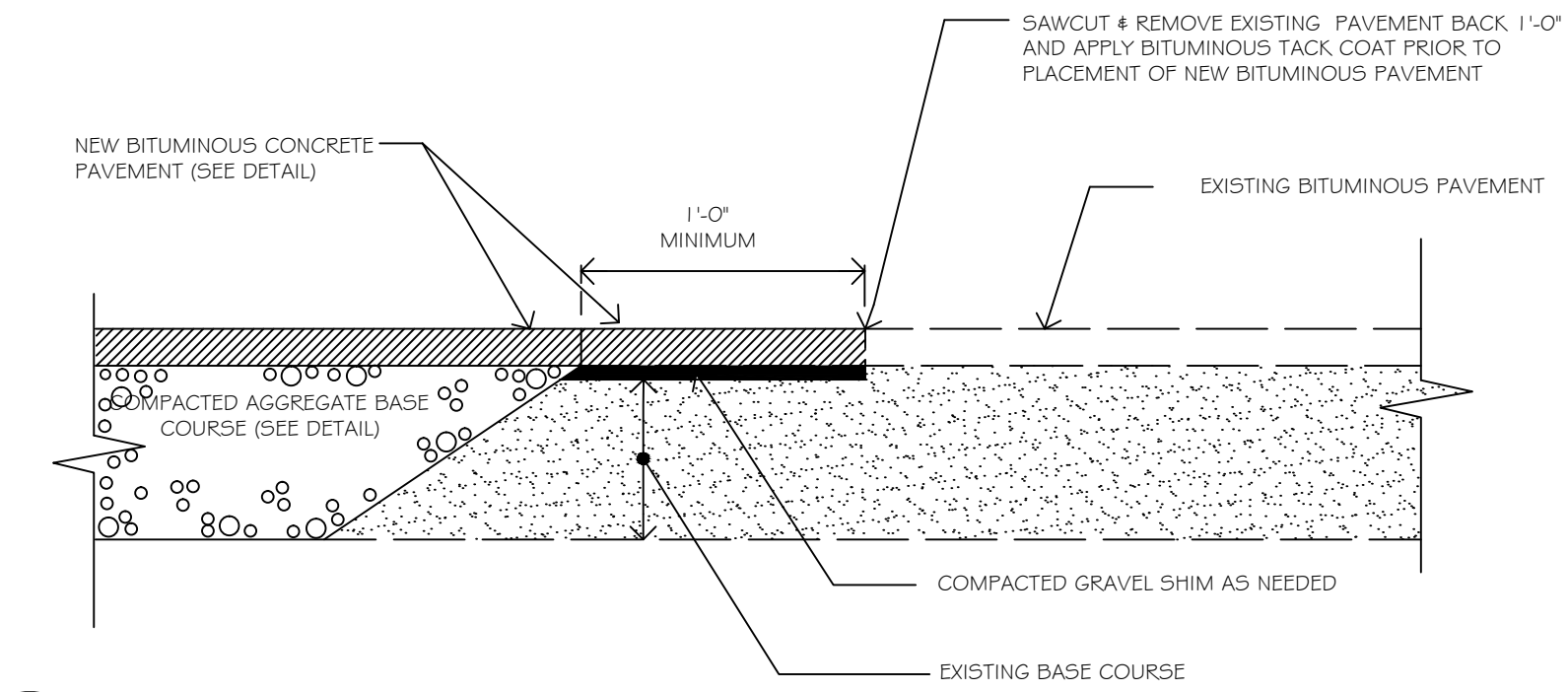


- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

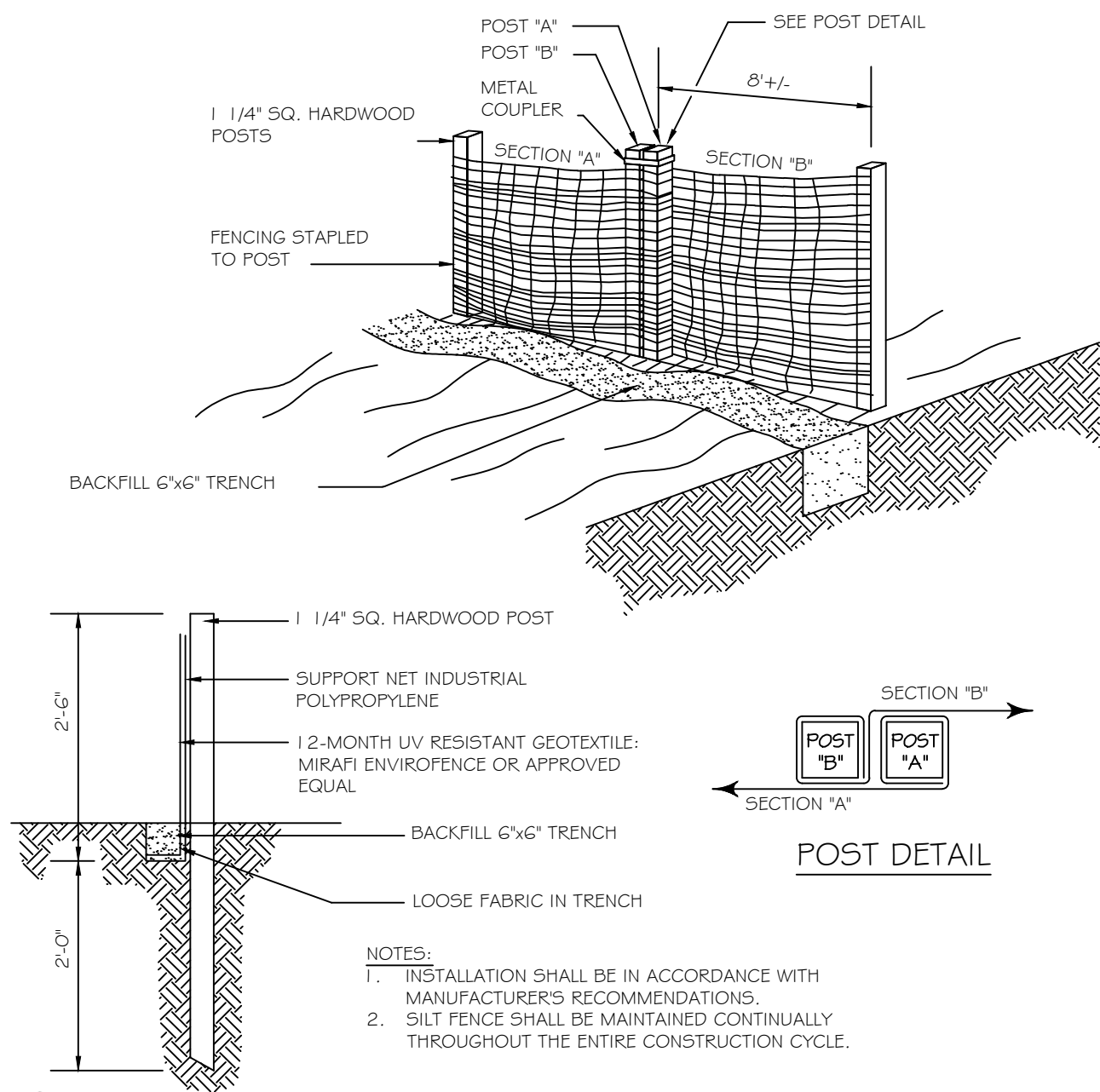
**1 CONSTRUCTION ENTRANCE**  
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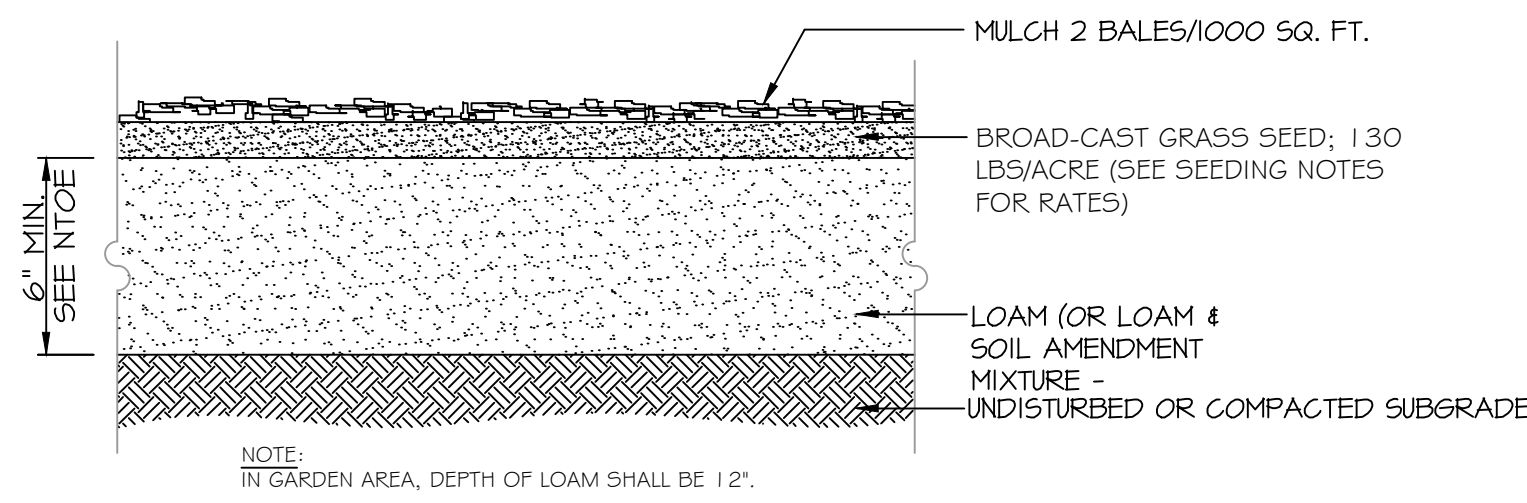
**2 PIPE CLEANOUT DETAIL**  
C3.1 NOT TO SCALE



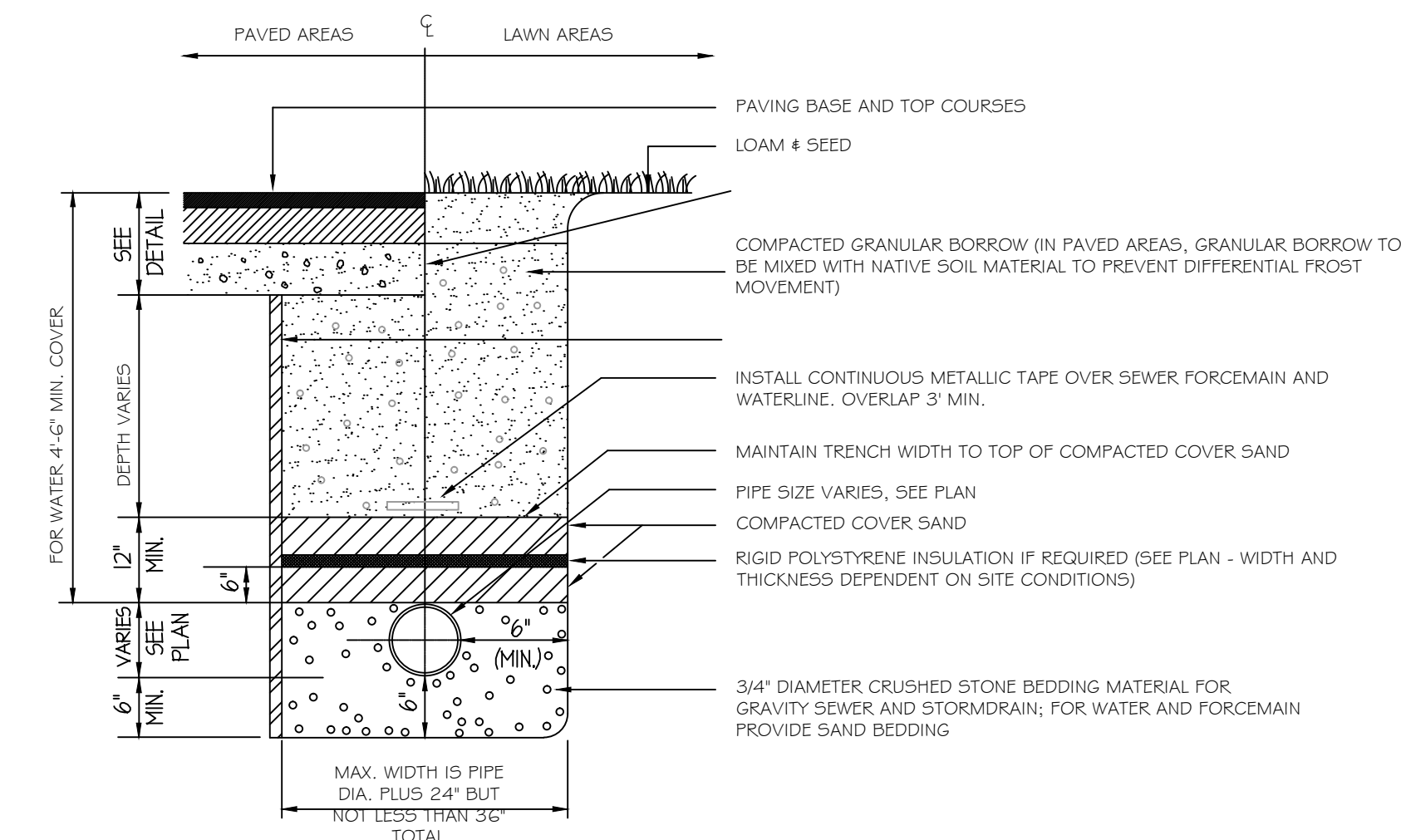
**3 PAVEMENT SAW CUT DETAIL**  
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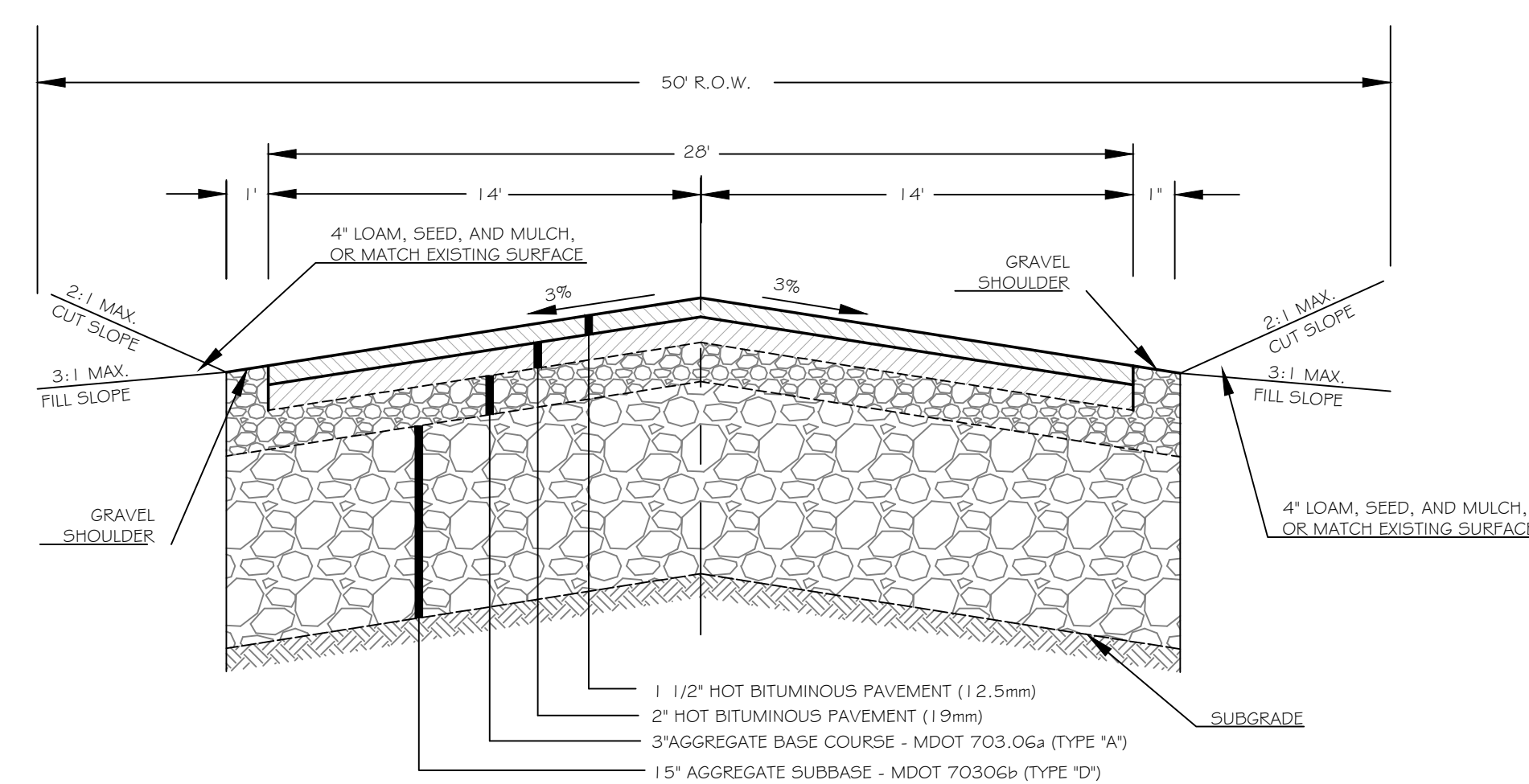
**4 PREFABRICATED SILT FENCE**  
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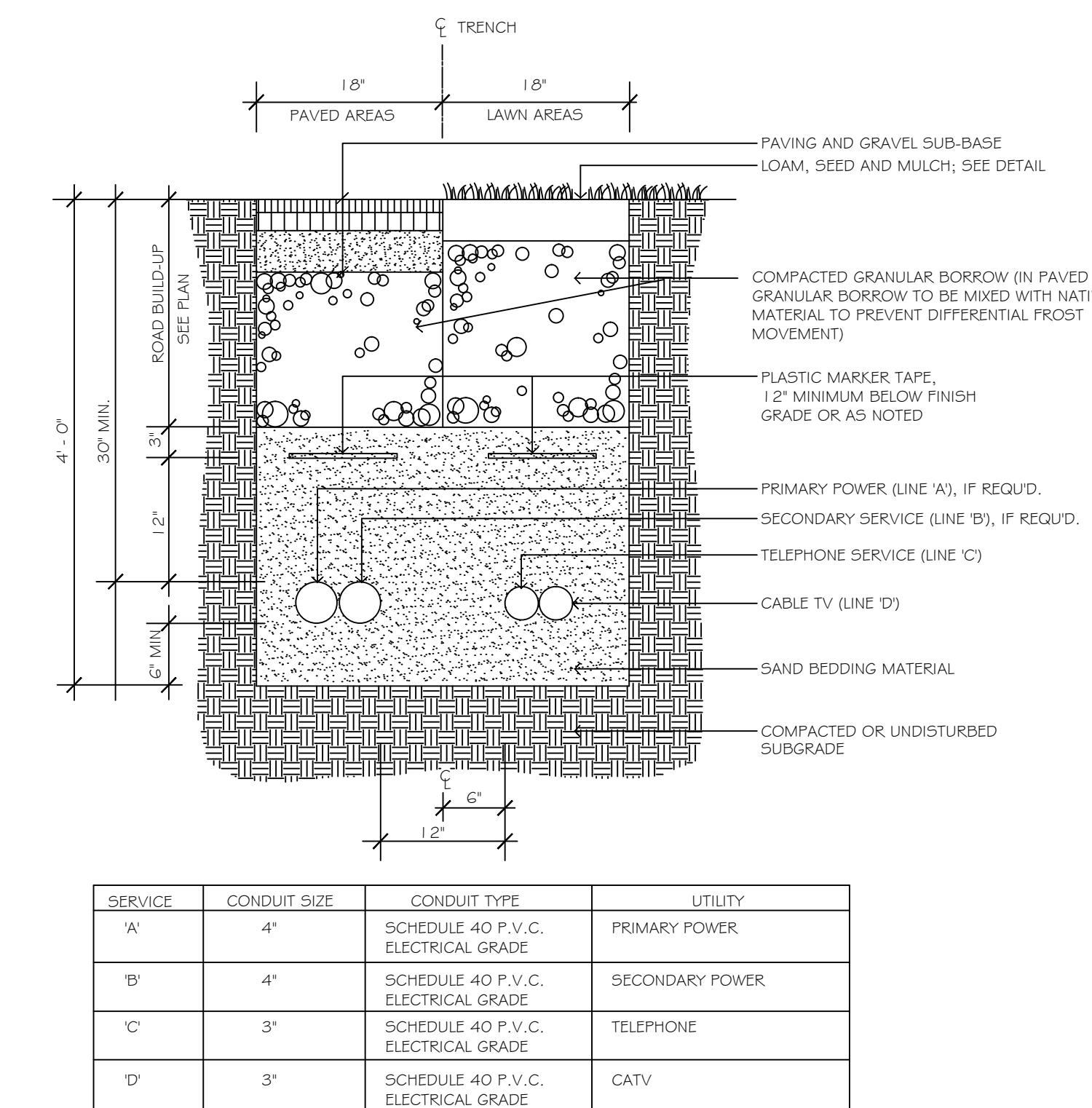
**5 LOAM AND SEED DETAIL**  
C3.1



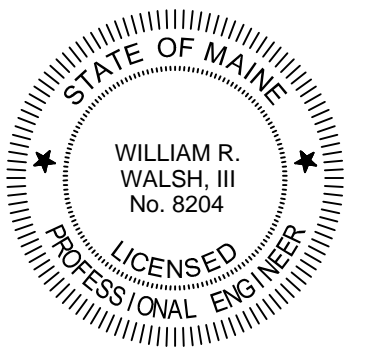
**6 TYPICAL PIPE TRENCHING DETAIL**  
C3.1 NOT TO SCALE



**7 TYPICAL ROAD SECTION**  
C3.1 NOT TO SCALE



**8 UNDERGROUND UTILITY TRENCH SECTION (MULTIPLE CONDUITS)**  
C3.1 NOT TO SCALE



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MOTLEY STREET  
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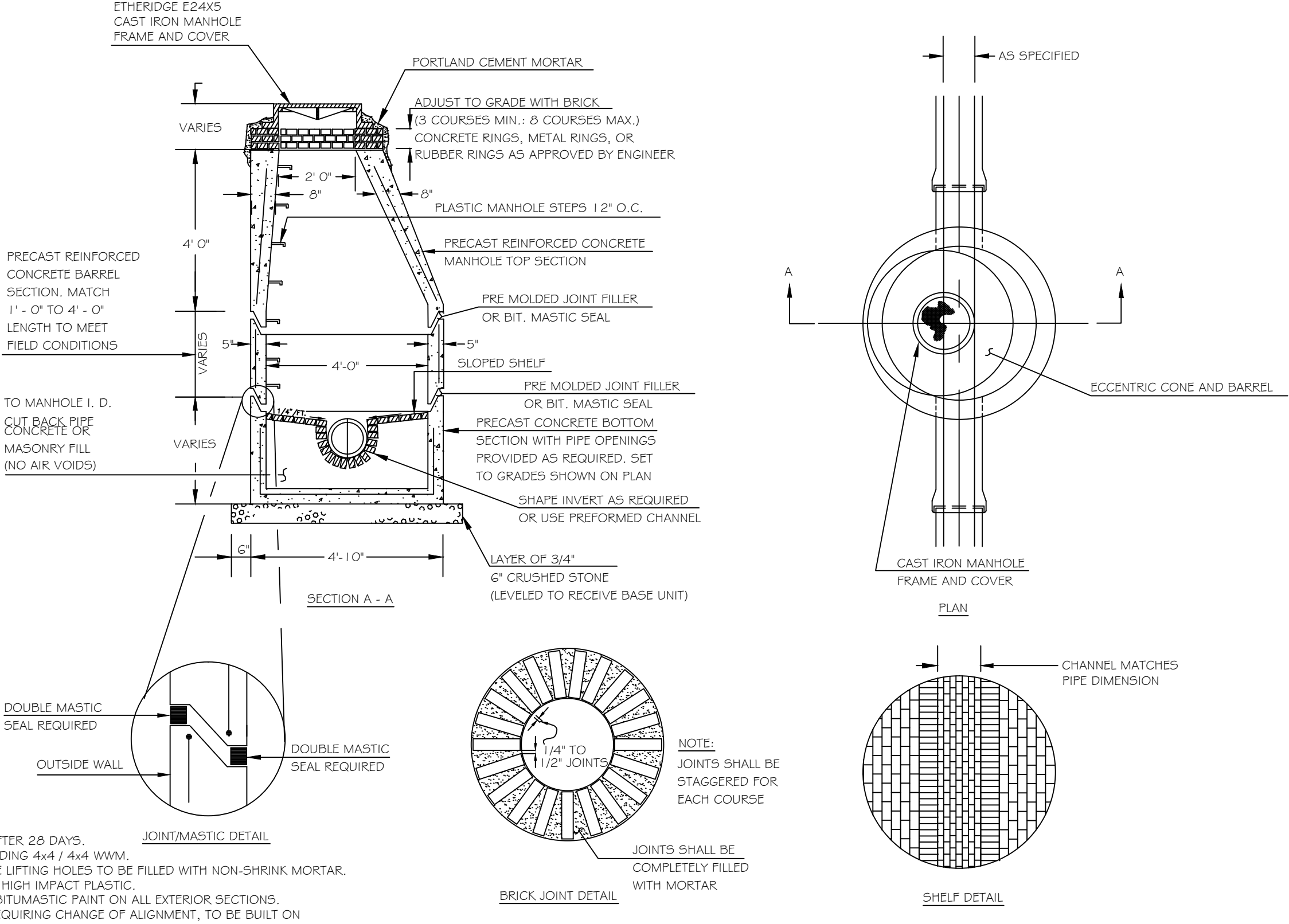
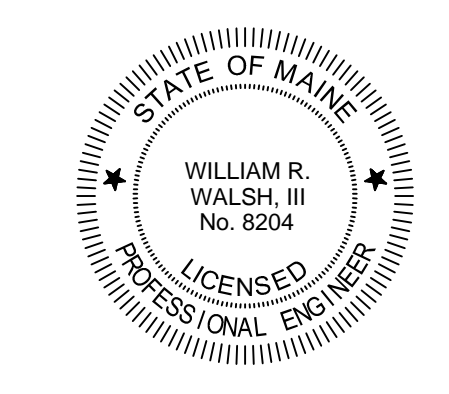
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Client Information: \_\_\_\_\_

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B	1/23/13	REVISED PER CITY OF PORTLAND REVIEW COMMENTS	SWC	WRW

Sheet Title:  
**SITE DETAILS**

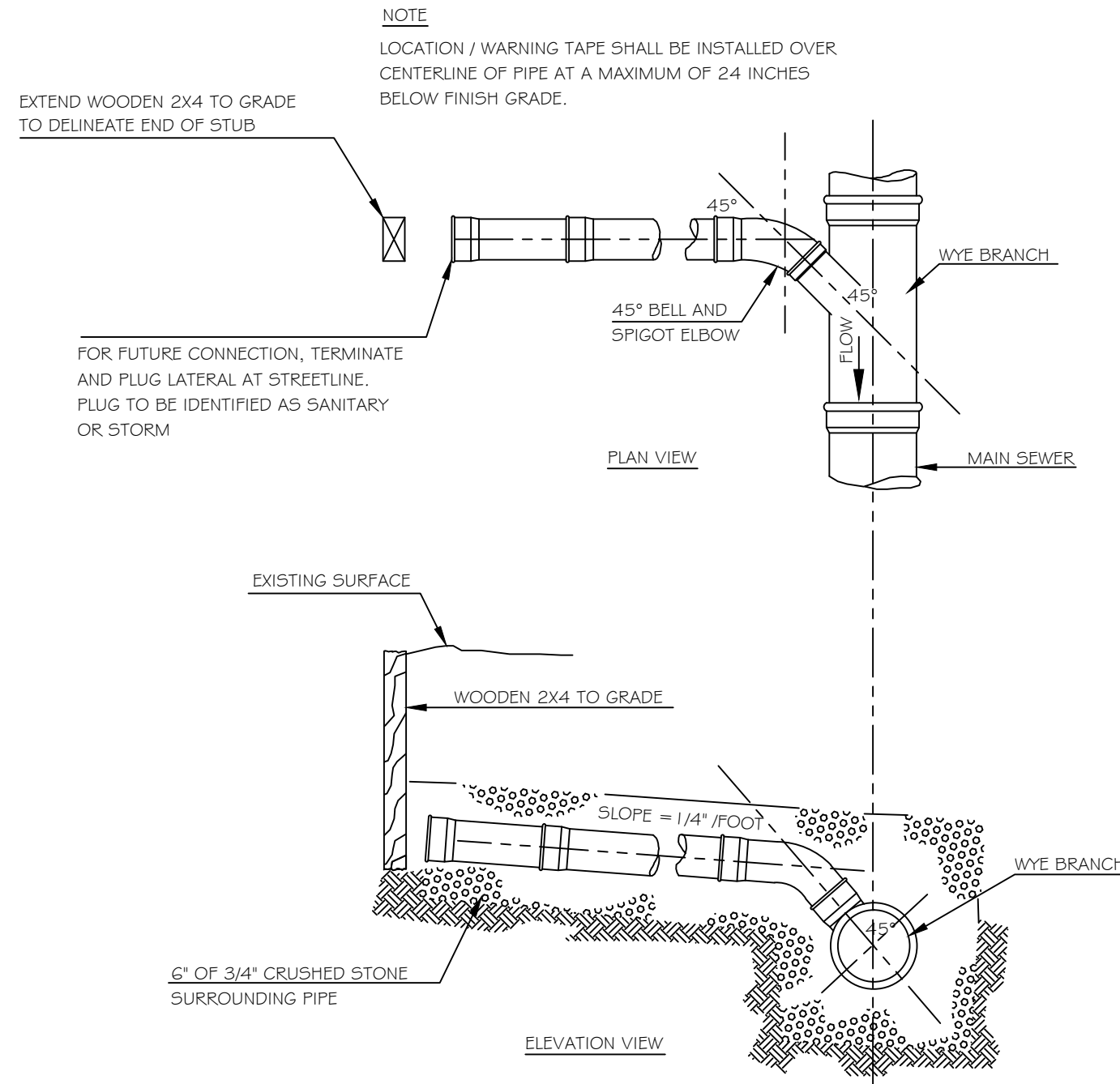
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Date: NOV 9, 2012  
Scale: NTS  
Drawn: SWC  
Checked: WRW

Sheet No.:  
**C3.1**

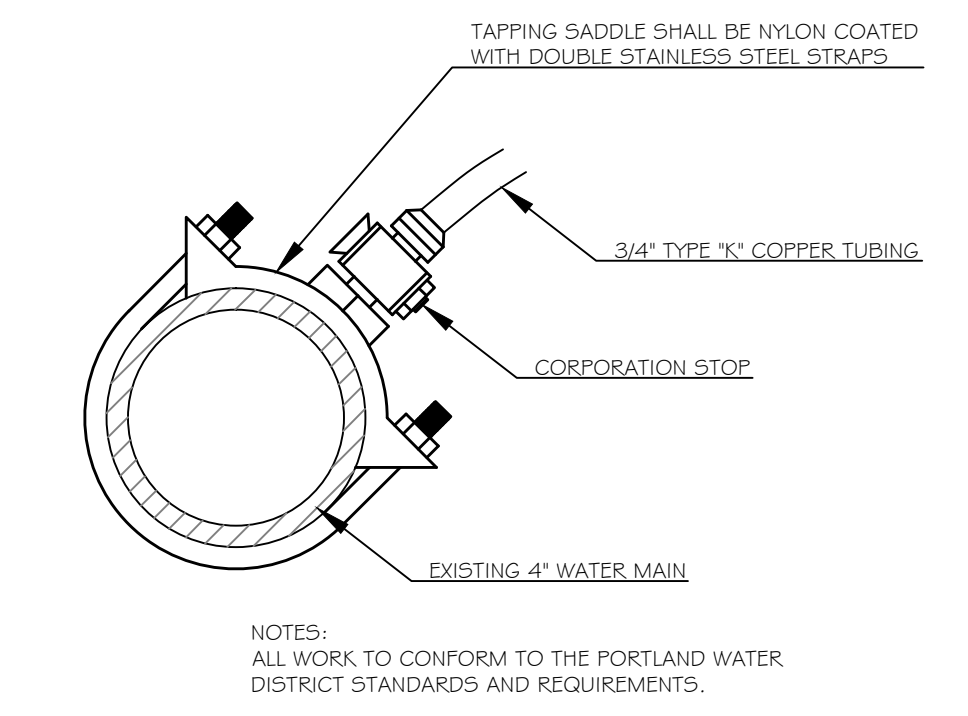


- NOTES:**
1. CONCRETE 4000 PSI AFTER 28 DAYS
  2. REINFORCING H-20 LOADING 4#4 14x4 W/M
  3. EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.
  4. MANHOLE STEPS TO BE HIGH IMPACT PLASTIC.
  5. APPLY TWO COATS OF BITUMASTIC PAINT ON ALL EXTERIOR SECTIONS.
  6. MANHOLE CHANNELS REQUIRING CHANGE OF ALIGNMENT, TO BE BUILT ON SMOOTH RADIUS. CHANNEL TO BE SHAPED TO ACCEPT ADDITIONAL INLET PIPES.
  7. ALL SANITARY MANHOLE COVERS SHALL HAVE "SEWER" CAST INTO THE COVER.

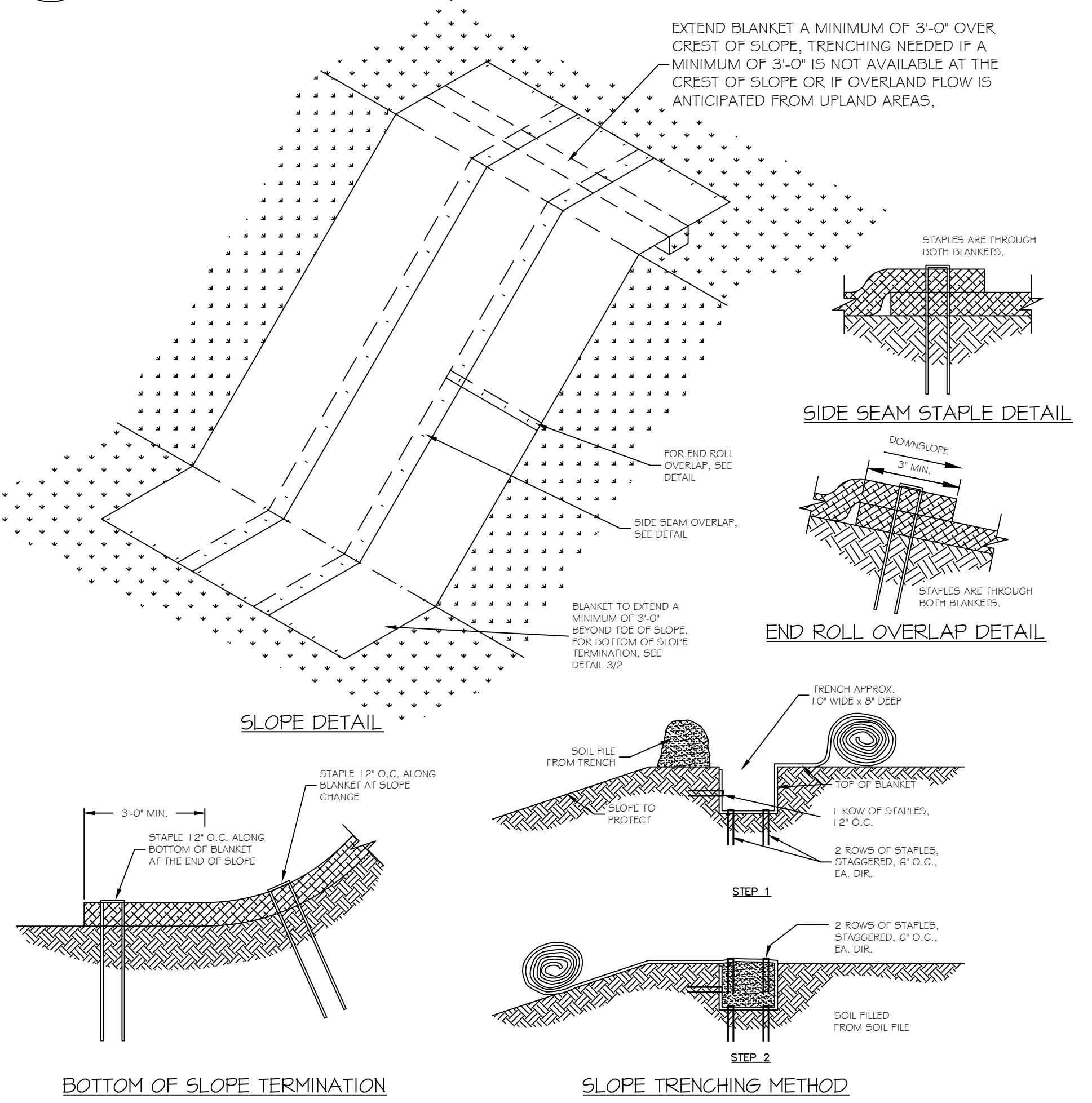
**1**  
C3.2 **TYPICAL SANITARY MANHOLE**  
NOT TO SCALE



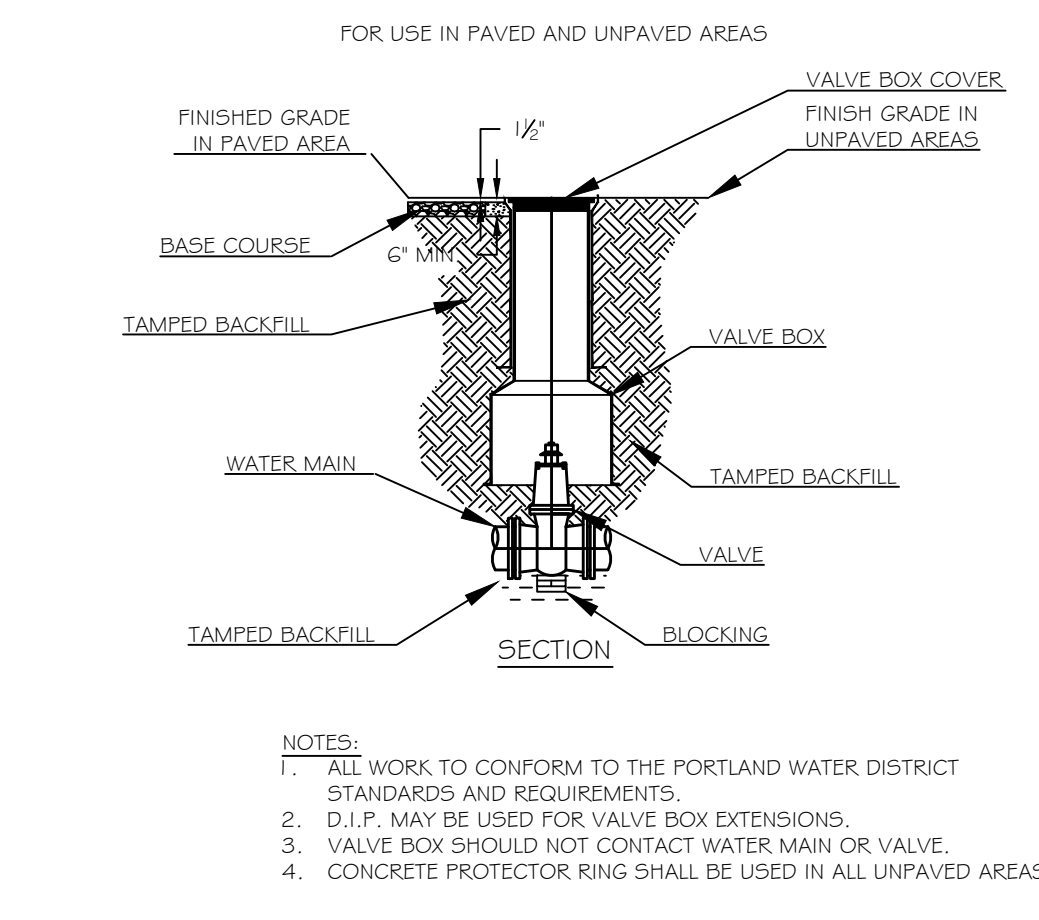
**2**  
C3.2 **TYPICAL SEWER CONNECTION DETAIL**  
NOT TO SCALE



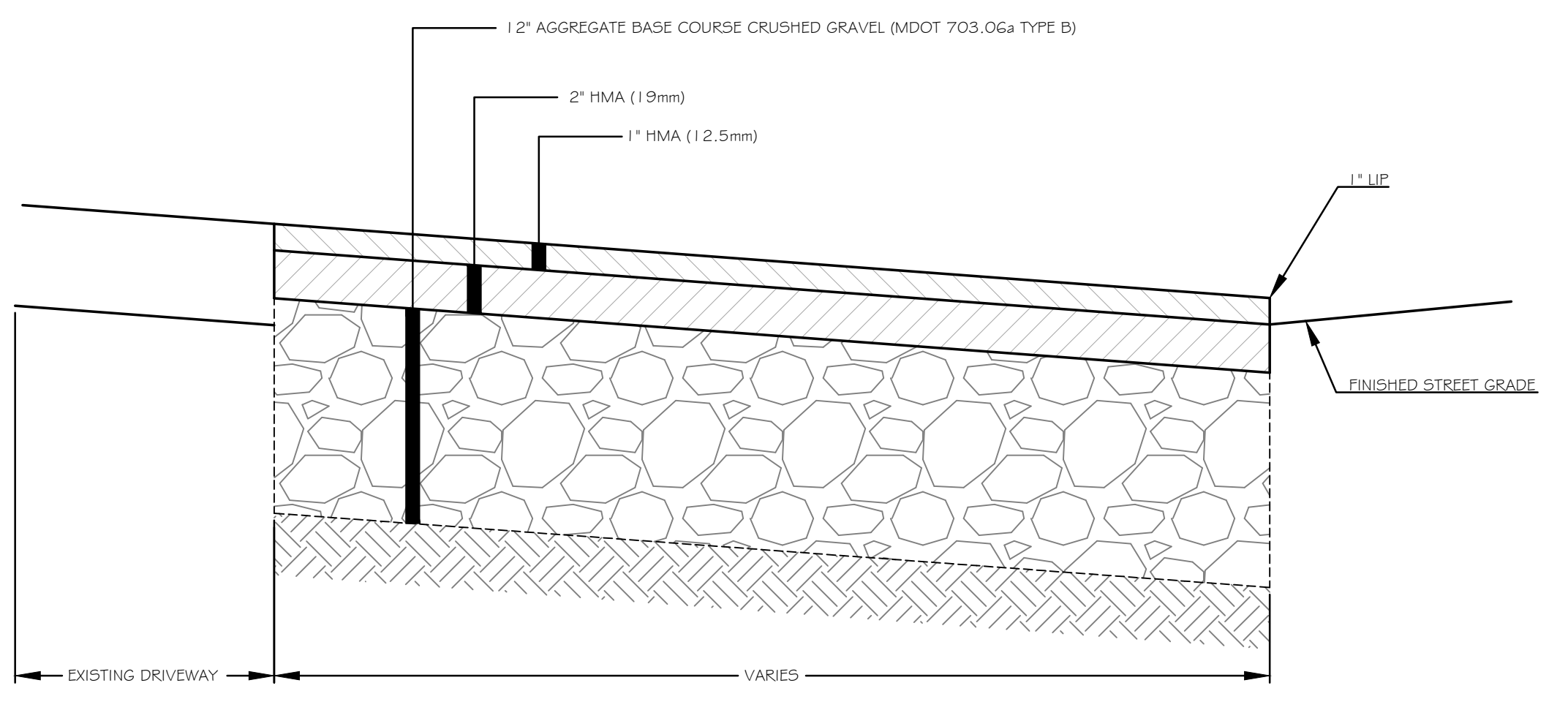
**3**  
C3.2 **STANDARD CORPORATION STOP DETAIL**  
NOT TO SCALE



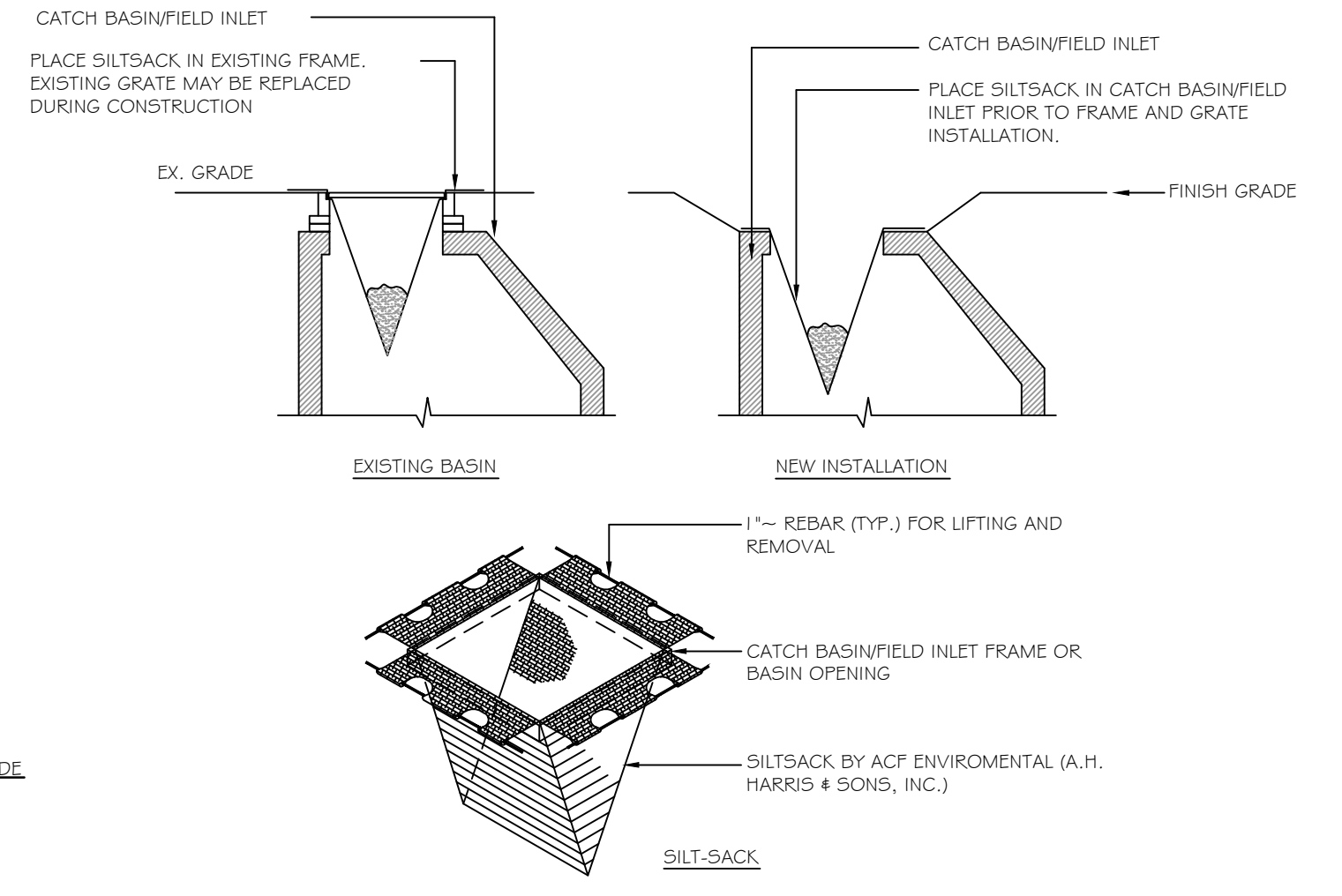
**4**  
C3.2 **STRAW MATTING EROSION CONTROL**  
NOT TO SCALE



**5**  
C3.2 **VALVE AND VALVE BOX INSTALLATION DETAIL**  
NOT TO SCALE



**6**  
C3.2 **BITUMINOUS DRIVEWAY APRON DETAIL**  
NOT TO SCALE



- NOTE:**
1. INSTALLATION PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
  2. EMPTY AND REMOVE SEDIMENT FROM SILT-SACK WHEN RESTRAINT CORD IS NO LONGER VISIBLE. CLEAN, RINSE AND REPLACE AS NEEDED.
  3. CONTRACTOR SHALL INSPECT CATCH BASIN PROTECTION AFTER EACH MAJOR STORM EVENT AND CLEAN SILT AS NEEDED.
  4. ROUND SILT-SACKS SHALL BE USED FOR ROUND CATCH BASIN GRATES.

**7**  
C3.1 **CATCH BASIN PROTECTION DETAIL**  
NOT TO SCALE

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 PORTLAND, MAINE  
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 PORTLAND, MAINE 04101  
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A	1/28/21	ISSUED FOR SITE PLAN REVIEW	SWC	WRW
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Sheet Title:  
**SITE DETAILS**

Job No.:	173	Sheet No.:	<b>C3.2</b>	
Date:	NOV 9, 2012	Scale:		NTS
Drawn:	SWC	Checked:		WRW
Checked:	WRW			