

GENERAL NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING "DIG SAFE" AND LOCAL UTILITY COMPANIES AT LEAST THREE (3) BUSINESS DAYS, BUT NOT MORE THAN 30 CALENDAR DAYS, PRIOR TO THE COMMENCEMENT OF ANY EXCAVATION, IN ACCORDANCE WITH MAINE STATE LAW. "DIG SAFE" TELEPHONE NUMBER IS 1-888-344-7233.
2. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL MEANS, METHODS, AND TECHNIQUES EMPLOYED TO PERFORM THE WORK SHOWN ON THE PLANS.
3. ANY DAMAGE TO EXISTING UTILITIES AND/OR SITE FEATURES AS A RESULT OF CONTRACTOR ACTIVITIES SHALL BE REPAIRED TO THE CONDITION IMMEDIATELY BEFORE DAMAGE OCCURRED AT THE CONTRACTOR'S EXPENSE.
4. ALL WORK SHALL COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING ALL SAFETY REGULATIONS (OSHA).
5. ALL WORK SHALL BE IN CONFORMANCE WITH THE CITY OF PORTLAND AND MAINE DEP REQUIREMENTS.
6. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THE WORK SHOWN ON THESE PLANS PRIOR TO CONSTRUCTION.
7. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
8. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS SHOWN ON THE DRAWINGS. IF ANY DISCREPANCIES ARE FOUND, THE OWNER OR OWNER'S REPRESENTATIVE SHALL BE NOTIFIED IMMEDIATELY.
9. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.

EXISTING UTILITY NOTES:

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. KIMBALL SURVEY & DESIGN, INC. (THE SURVEYOR) LOCATED ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR AND WALSH ENGINEERING ASSOCIATES, INC. FURTHER DO NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY DO BELIEVE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. CALL 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.
2. THE LOCATION OF THE EXISTING 4" GAS LINE BEYOND THE SOUTHERLY END OF PAVEMENT WAS NOT SURVEYED. A MAP PROVIDED BY UNTIL INDICATED THAT THE GAS MAIN CONTINUES BEYOND THE EDGE OF PAVEMENT TO SERVE THE GILLESPIE PROPERTY. HOWEVER, THE EXACT LOCATION OF THE MAIN WAS NOT DETERMINED. IT IS ASSUMED THAT THE GAS MAIN BENDS AROUND THE EXISTING LEDGE AT THE END OF THE EXISTING PAVEMENT AND CONTINUES UNDER THE EXISTING GRAVEL ROAD. THE CONTRACTOR SHALL VERIFY THE LOCATION OF THE EXISTING GAS MAIN BY CALLING 1-888-DIGSAFE AT LEAST THREE BUSINESS DAYS BEFORE PERFORMING ANY CONSTRUCTION.

ZONING STANDARDS:

R-3 DIMENSIONAL REQUIREMENTS:

- (A) MINIMUM LOT SIZE:
1. RESIDENTIAL: SIXTY-FIVE HUNDRED (6,500) SQUARE FEET
- (B) MINIMUM LOT AREA PER DWELLING UNIT:
PRUD: SIXTY-FIVE HUNDRED (6,500) SQUARE FEET OF NET LAND AREA
- (C) MINIMUM STREET FRONTAGE: FIFTY (50) FEET, EXCEPT THAT LOTS LOCATED IN A SUBDIVISION APPROVED AFTER THE EFFECTIVE DATE OF ORD. NO. 165-97 PURSUANT TO SECTION 14-497.5 SHALL MEET THE STREET FRONTAGE REQUIREMENTS APPROVED AS PART OF THE SUBDIVISION PLAN UNDER THE TERMS OF THAT SECTION.
- (D) MINIMUM YARD DIMENSIONS:
1. FRONT YARD: PRINCIPAL OR ACCESSORY STRUCTURES: TWENTY-FIVE (25) FEET.
2. REAR YARD: TWENTY-FIVE (25) FEET.
3. SIDE YARD:
HEIGHT OF STRUCTURE REQUIRED SIDE YARD
1 STORY 8 FEET
1 1/2 STORIES 8 FEET
2 STORIES 14 FEET
2 1/2 STORIES 16 FEET
- (E) MAXIMUM LOT COVERAGE: THIRTY-FIVE (35) PERCENT OF LOT AREA.
- (F) MINIMUM LOT WIDTH: SIXTY-FIVE (65) FEET.
- (G) MAXIMUM STRUCTURE HEIGHT: THIRTY-FIVE (35) FEET.

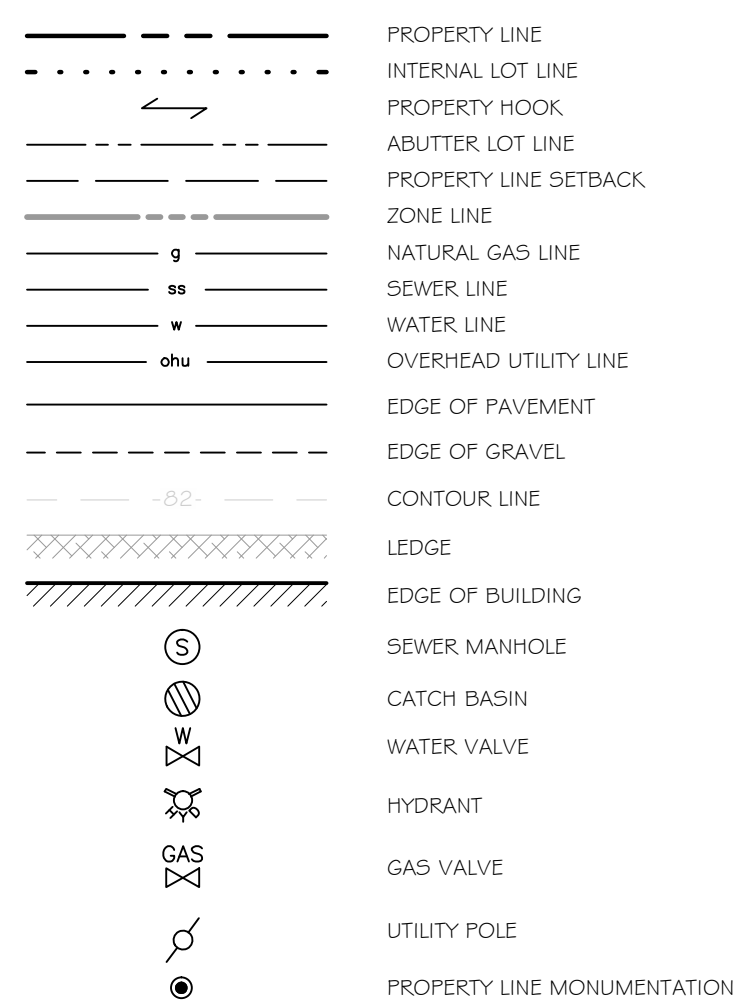
R-5 DIMENSIONAL REQUIREMENTS:

- (A) MINIMUM LOT SIZE:
1. RESIDENTIAL: SIXTY-FIVE HUNDRED (6,000) SQUARE FEET
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- (D) MINIMUM YARD DIMENSIONS:
1. FRONT YARD: PRINCIPAL OR ACCESSORY STRUCTURES: TWENTY (20) FEET.
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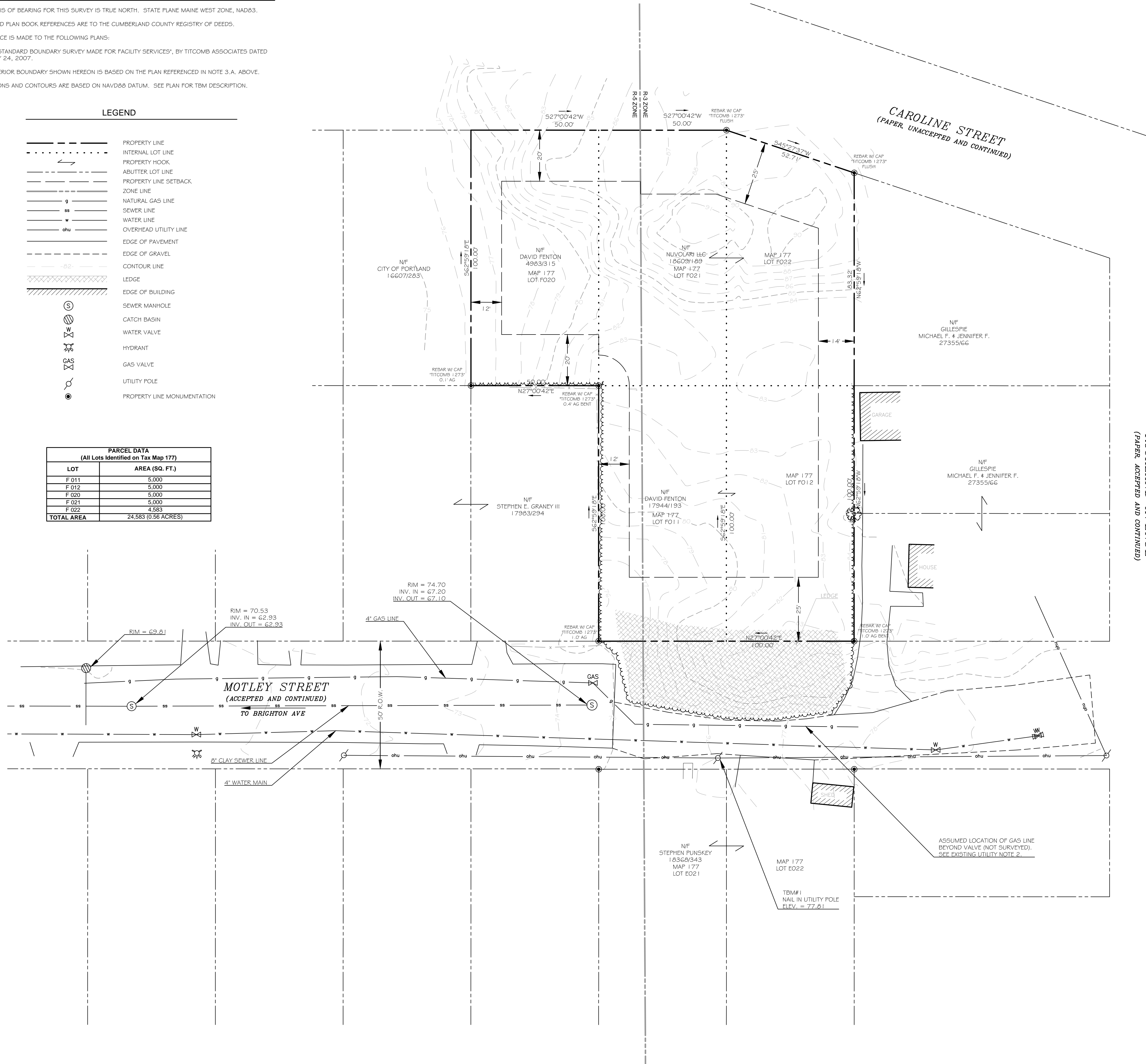
SURVEY NOTES:

1. THE BASIS OF BEARING FOR THIS SURVEY IS TRUE NORTH. STATE PLANE MAINE WEST ZONE, NAD83.
2. DEED AND PLAN BOOK REFERENCES ARE TO THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
3. REFERENCE IS MADE TO THE FOLLOWING PLANS:
A. "STANDARD BOUNDARY SURVEY MADE FOR FACILITY SERVICES", BY TITCOMB ASSOCIATES DATED JULY 24, 2007.
4. THE EXTERIOR BOUNDARY SHOWN HEREON IS BASED ON THE PLAN REFERENCED IN NOTE 3.A. ABOVE.
5. ELEVATIONS AND CONTOURS ARE BASED ON NAVD83 DATUM. SEE PLAN FOR TBM DESCRIPTION.

LEGEND



| PARCEL DATA (All Lots Identified on Tax Map 177) | |
|---|----------------------------|
| LOT | AREA (SQ. FT.) |
| F 011 | 5,000 |
| F 012 | 5,000 |
| F 020 | 5,000 |
| F 021 | 5,000 |
| F 022 | 4,583 |
| TOTAL AREA | 24,583 (0.56 ACRES) |



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ENGINEERING ASSOCIATES, INC.
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ph: 207.553.8898 | www.walsh-eng.com
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STATE OF MAINE
WILLIAM R. WALSH, III
No. 8204
LICENSED PROFESSIONAL ENGINEER

STATE OF MAINE
ISAIAH F. WALSH
No. 8204
LICENSED PROFESSIONAL LAND SURVEYOR

MOTLEY STREET EXTENSION
PORTLAND, MAINE
MOTLEY STREET

MILK STREET CAPITAL, LLC
207.850.6164
PORTLAND, MAINE 04101
84 MIDDLE STREET

Project Name: _____
Client Information: _____

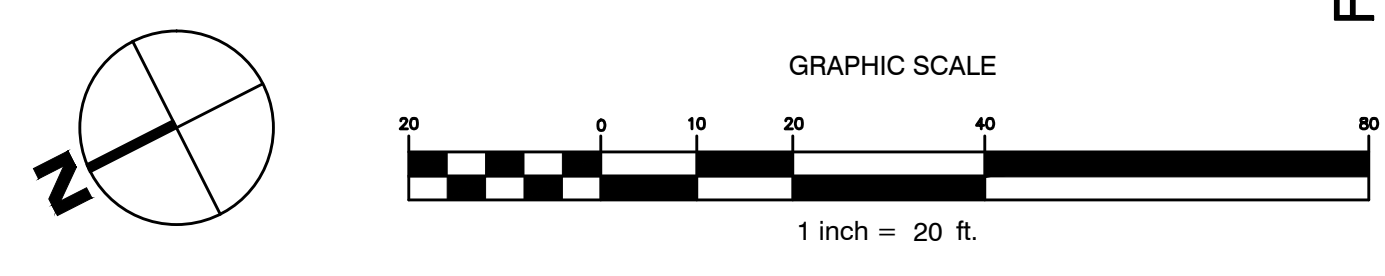
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Sheet Title:
EXISTING CONDITIONS PLAN AND BOUNDARY SURVEY

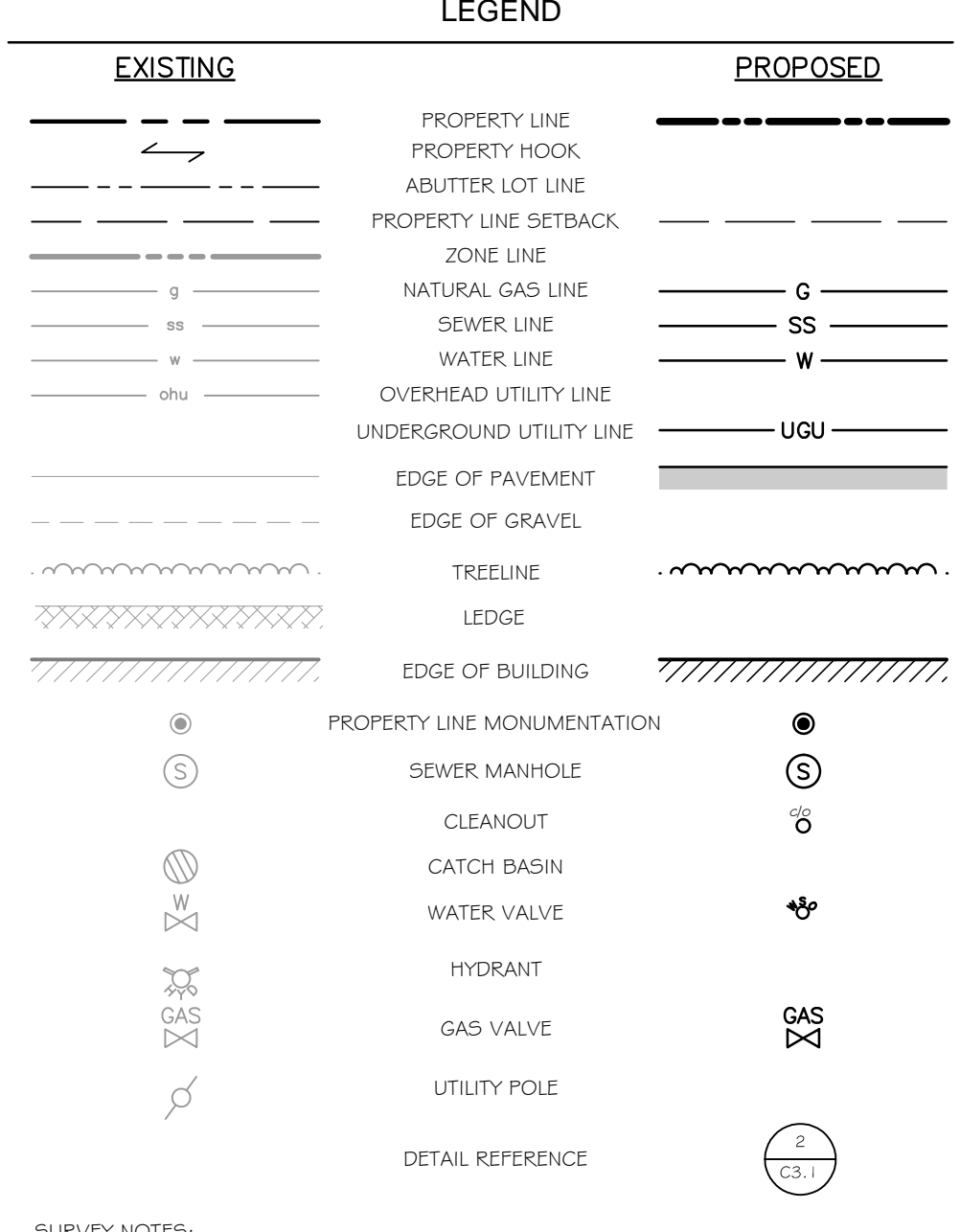
Job No.: 173 | Sheet No.: _____
Date: NOV 9, 2012
Scale: 1" = 20'
Drawn: SWC
Checked: WRW

C1.0

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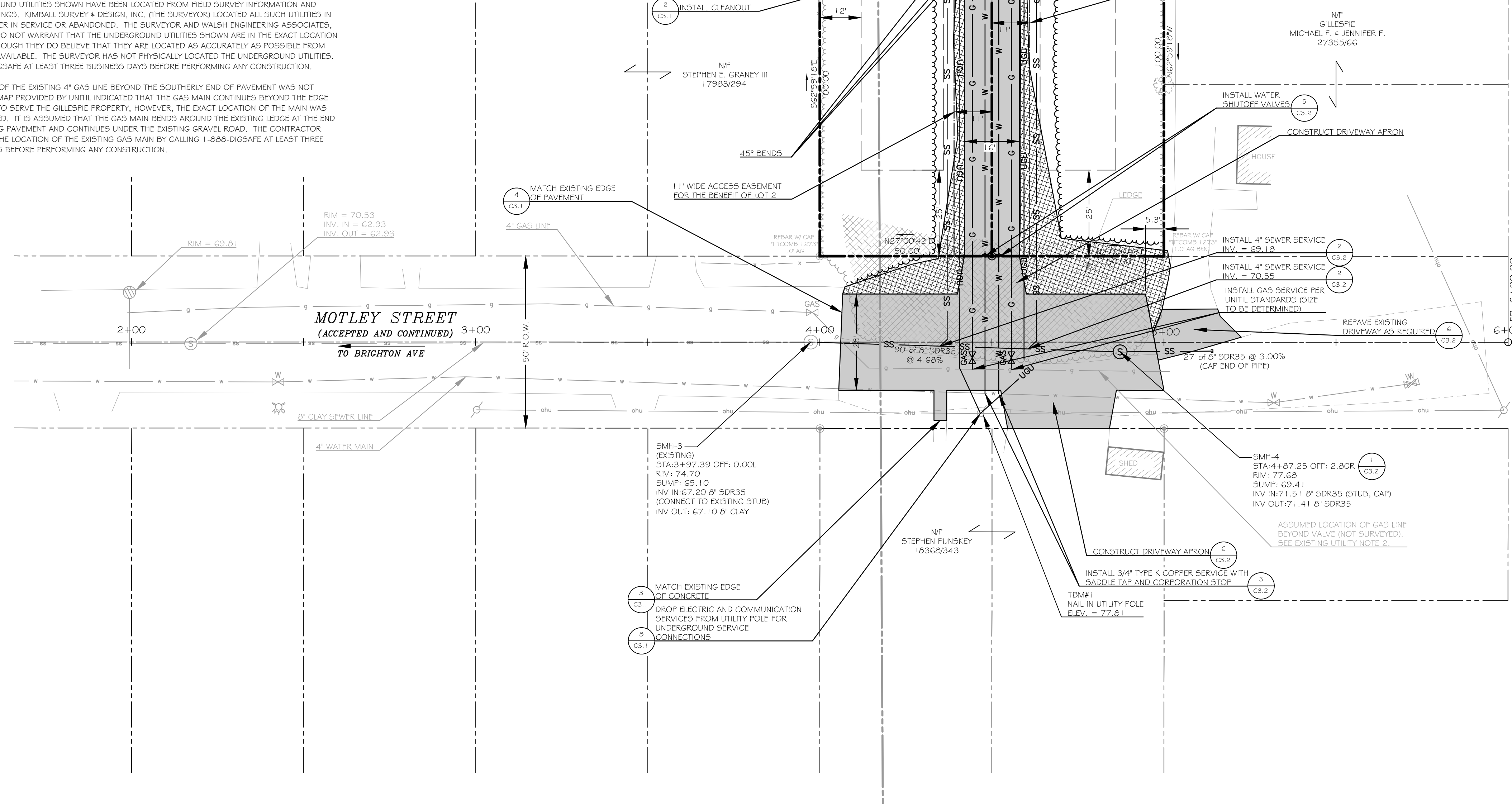


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 - THE SUBJECT PROPERTY IS NOT LOCATED WITHIN THE 100-YEAR FLOOD PLAIN AS DEPICTED ON THE FEMA FIRM FLOOD INSURANCE RATE MAPS.
 - HOUSE, DRIVEWAY, AND PARKING LOCATIONS, AND CLEARING LIMITS SHOWN ARE CONCEPTUAL. SITE PLAN APPLICATIONS WILL BE SUBMITTED FOR EACH LOT PRIOR TO LOT DEVELOPMENT.
 - THE PROPOSED LOTS ARE TO BE USED AS SINGLE FAMILY RESIDENTIAL LOTS ONLY FOR A PERIOD OF FIVE (5) YEARS FROM THE DATE OF ACCEPTANCE OF THIS PLAN.
 - ALL WATER MAIN WORK SHALL COMPLY WITH PORTLAND WATER DISTRICT REQUIREMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS FROM THE PORTLAND WATER DISTRICT.

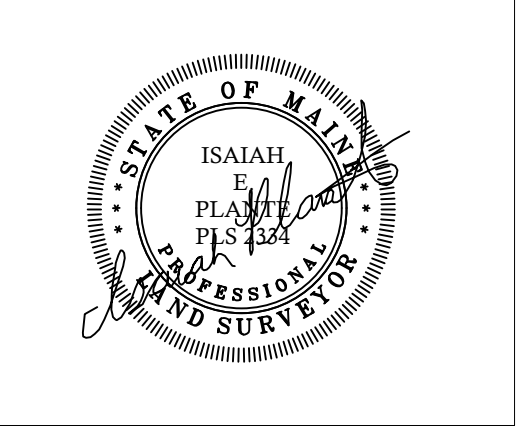
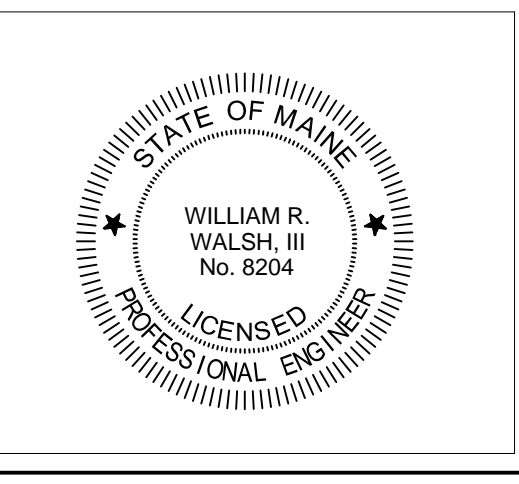


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APPROVED BY: _____ DATE: _____



MOTLEY STREET EXTENSION

PORTLAND, MAINE
MOTLEY STREET

MILK STREET CAPITAL, LLC
207.850.6164
PORTLAND, MAINE 04101
68 MIDDLE STREET

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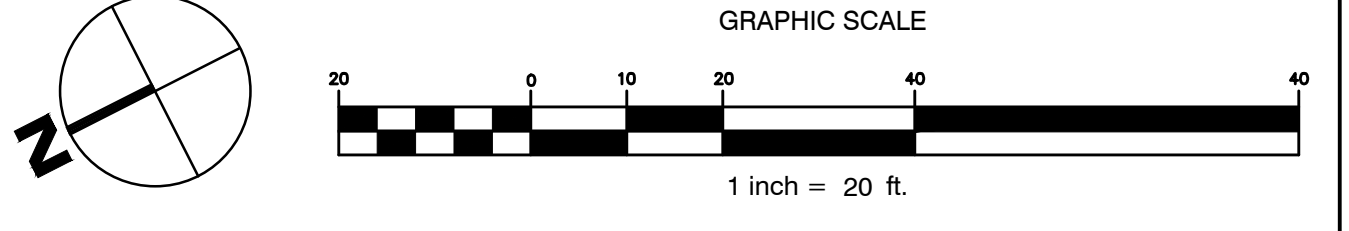
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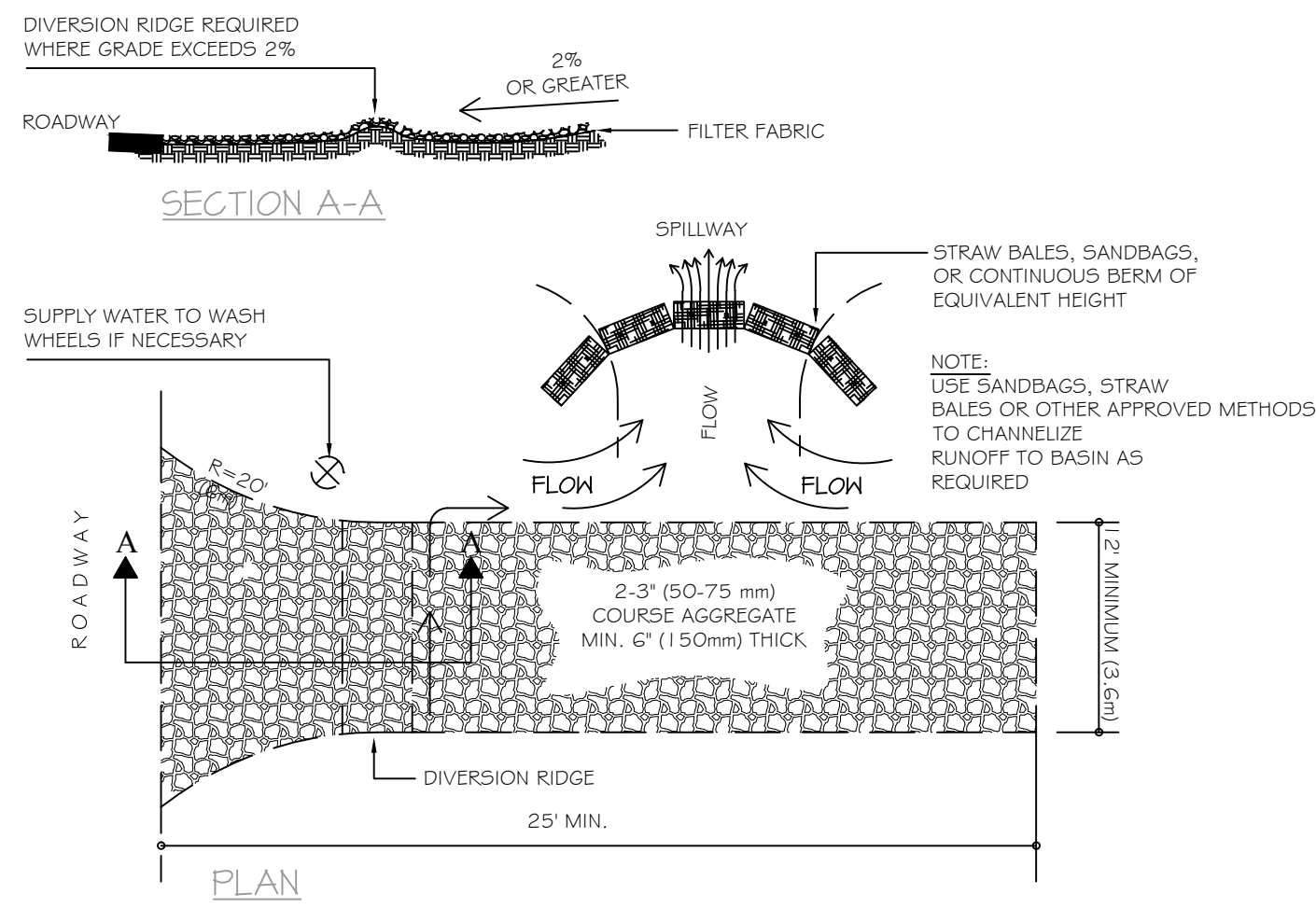
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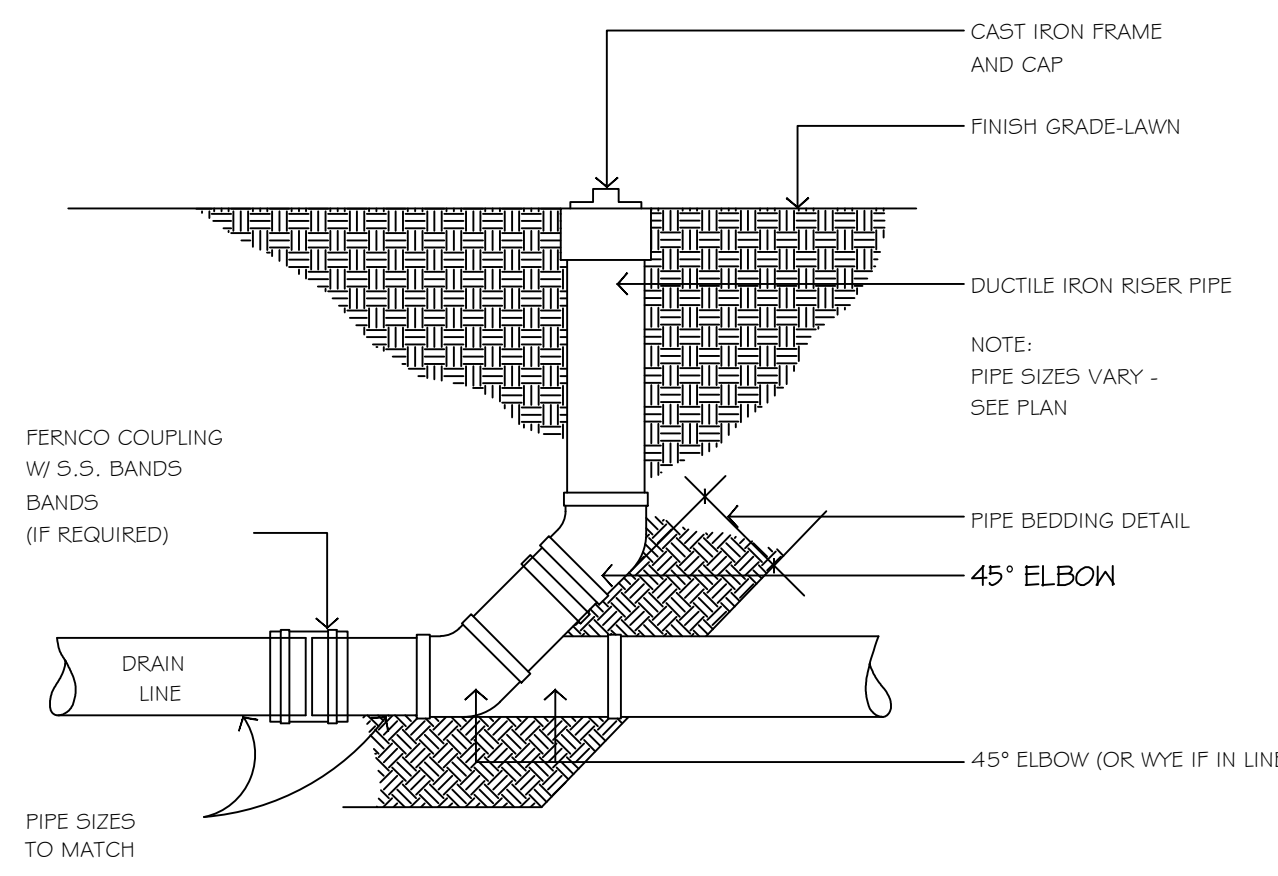
Sheet Title: **SITE LAYOUT AND UTILITIES PLAN**

Job No.: 173 Sheet No.: **C2.0**
Date: NOV 9, 2012
Scale: 1" = 20'
Drawn: SWC
Checked: WRW

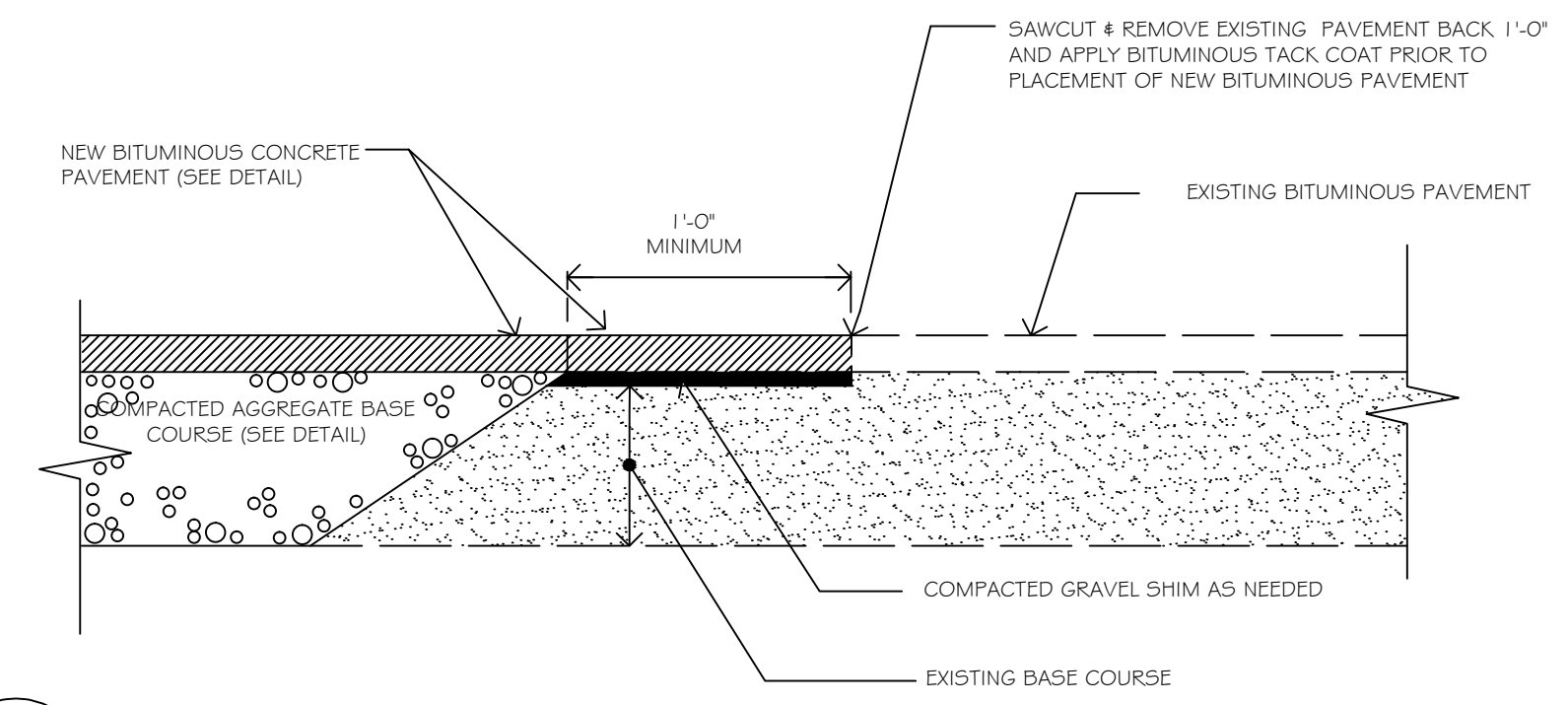




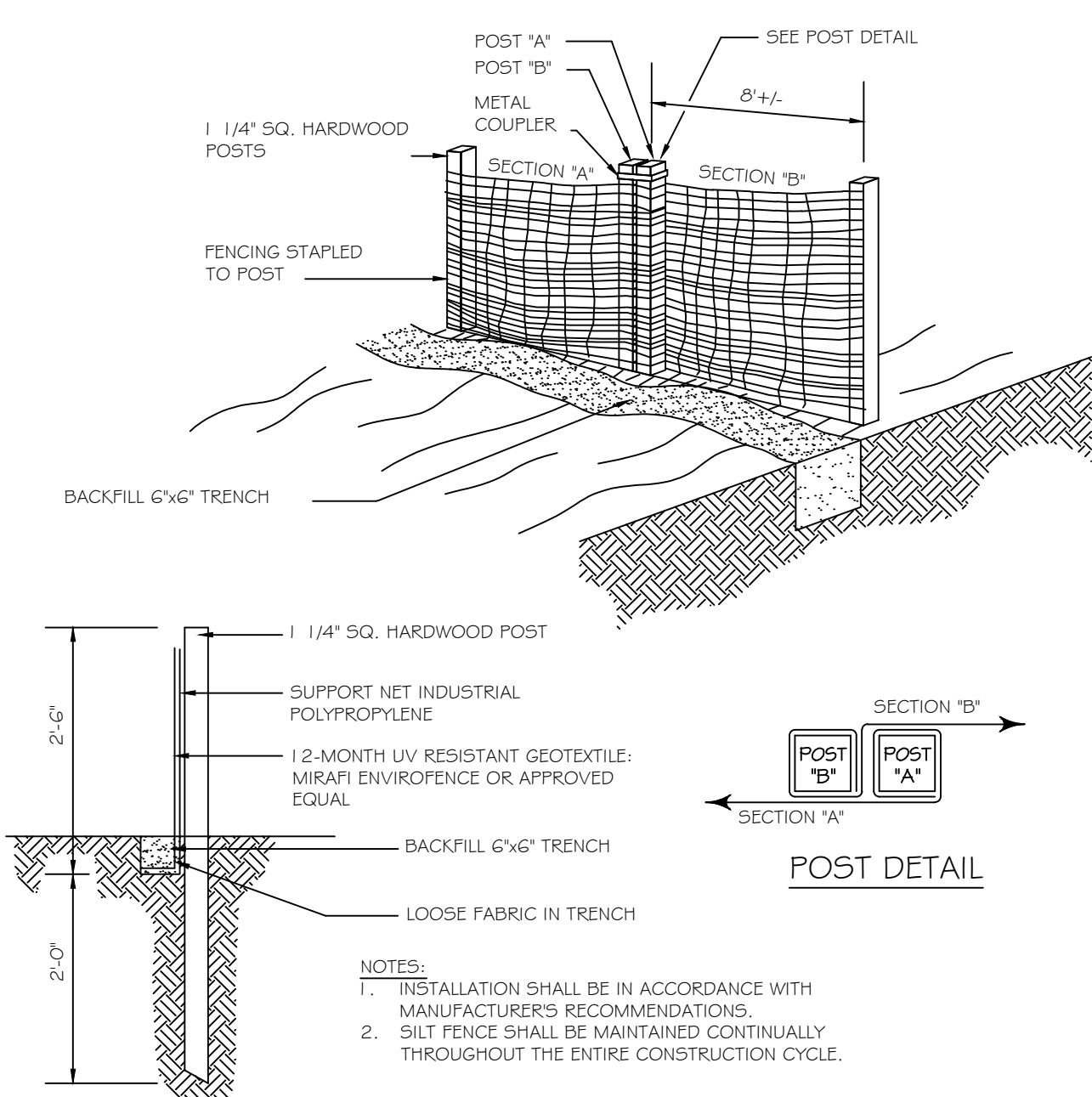
1 CONSTRUCTION ENTRANCE
C3.1 NOT TO SCALE



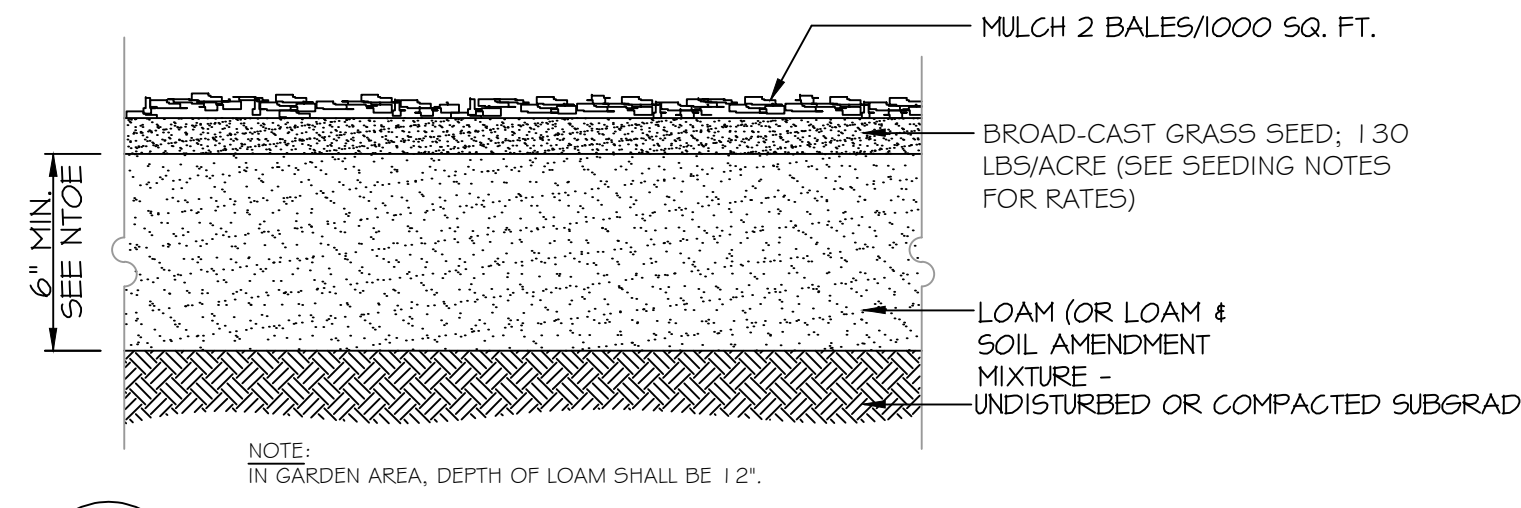
2 PIPE CLEANOUT DETAIL
C3.1 NOT TO SCALE



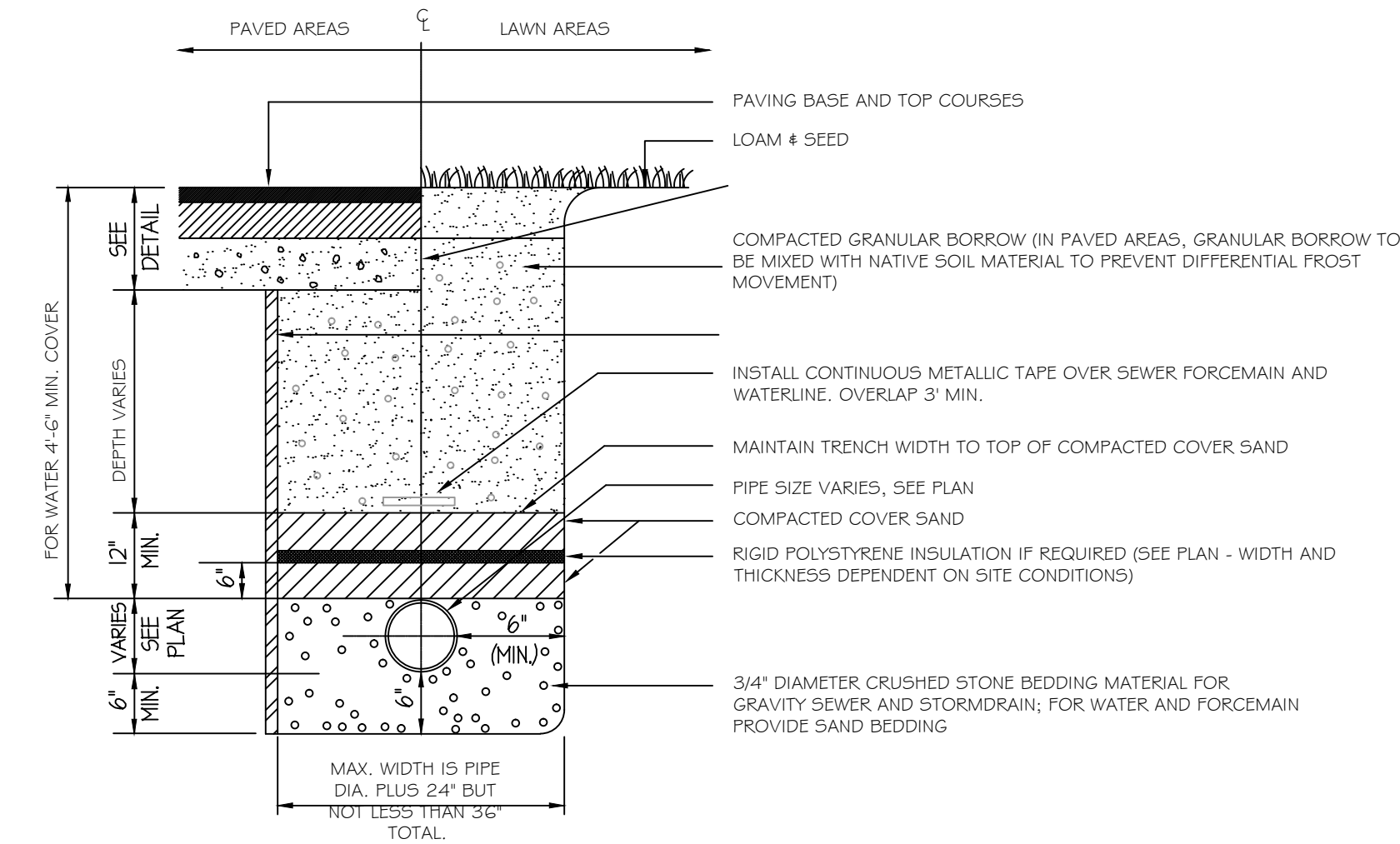
3 PAVEMENT SAW CUT DETAIL
C3.1 NOT TO SCALE



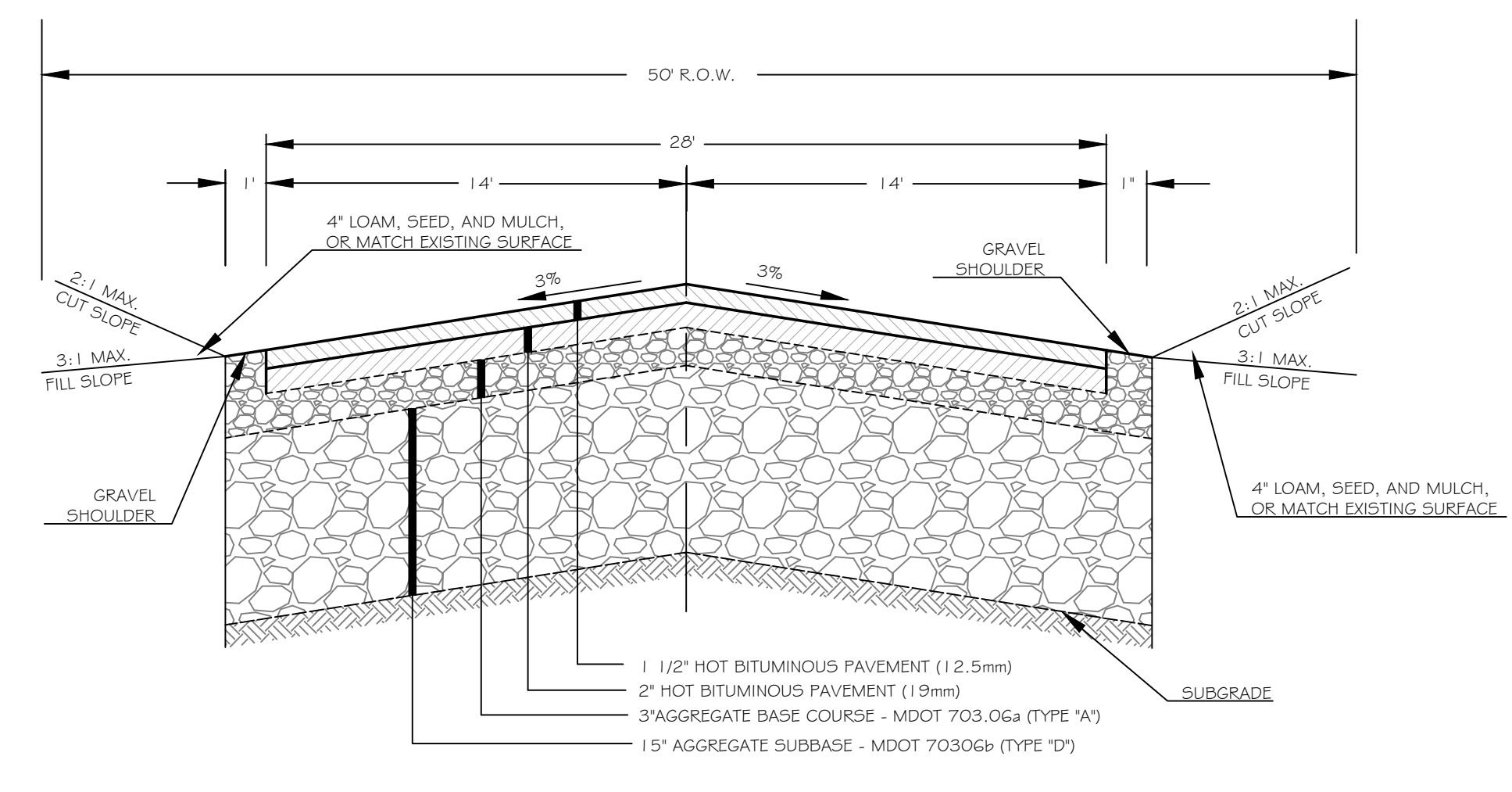
4 PREFABRICATED SILT FENCE
C3.1 NOT TO SCALE



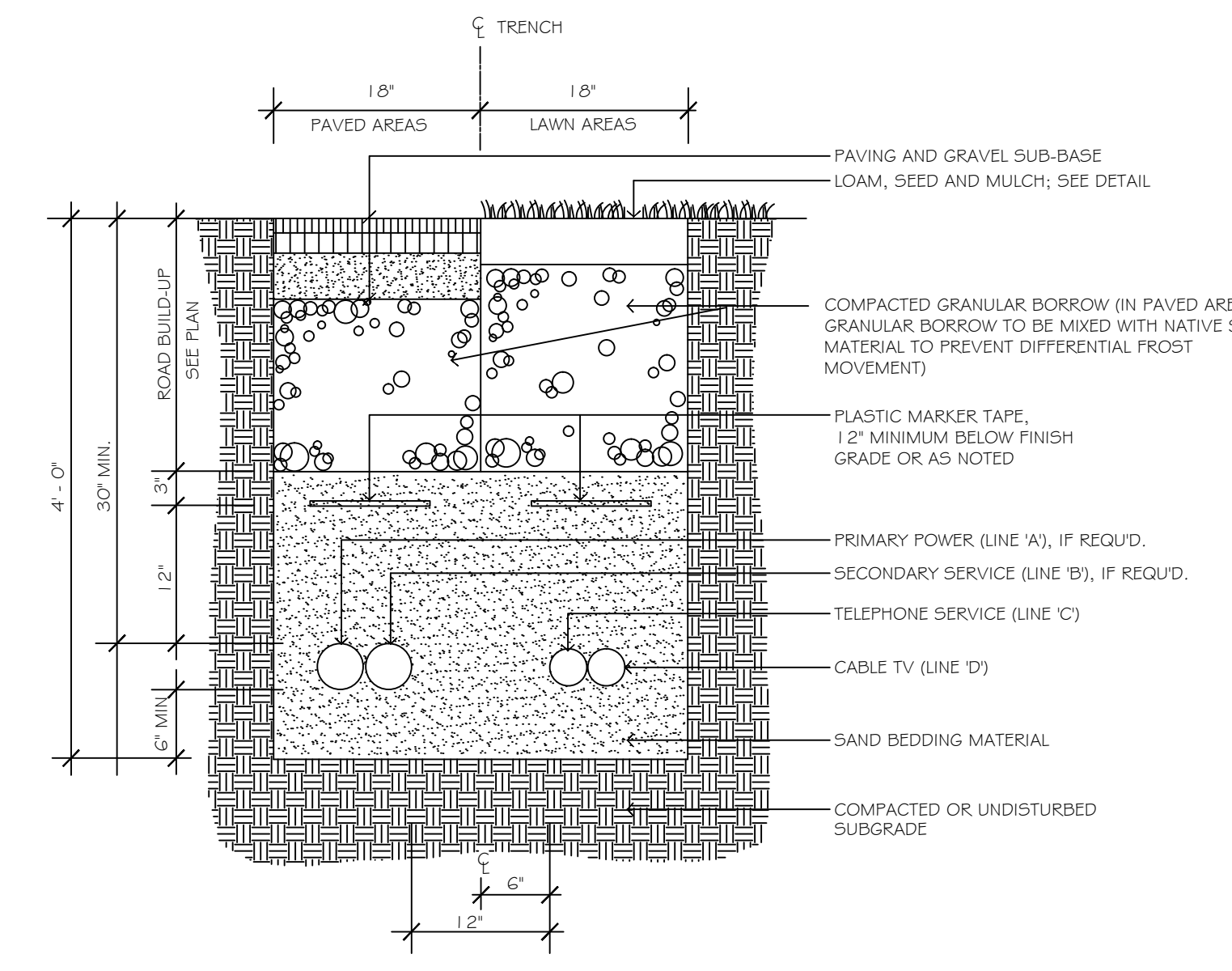
5 LOAM AND SEED DETAIL
C3.1



6 TYPICAL PIPE TRENCHING DETAIL
C3.1 NOT TO SCALE

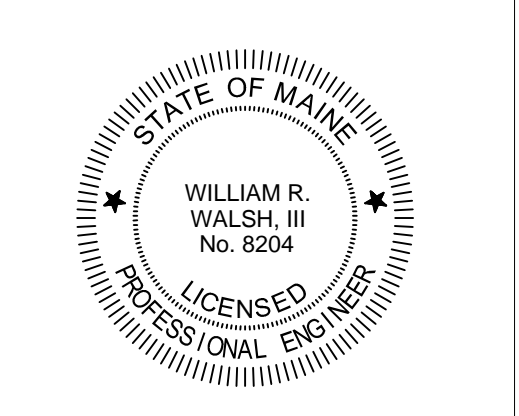


7 TYPICAL ROAD SECTION
C3.1 NOT TO SCALE



| SERVICE | CONDUIT SIZE | CONDUIT TYPE | UTILITY |
|---------|--------------|-------------------------------------|-----------------|
| A | 4" | SCHEDULE 40 P.V.C. ELECTRICAL GRADE | PRIMARY POWER |
| B | 4" | SCHEDULE 40 P.V.C. ELECTRICAL GRADE | SECONDARY POWER |
| C | 3" | SCHEDULE 40 P.V.C. ELECTRICAL GRADE | TELEPHONE |
| D | 3" | SCHEDULE 40 P.V.C. ELECTRICAL GRADE | CATV |

8 UNDERGROUND UTILITY TRENCH SECTION (MULTIPLE CONDUITS)
C3.1 NOT TO SCALE

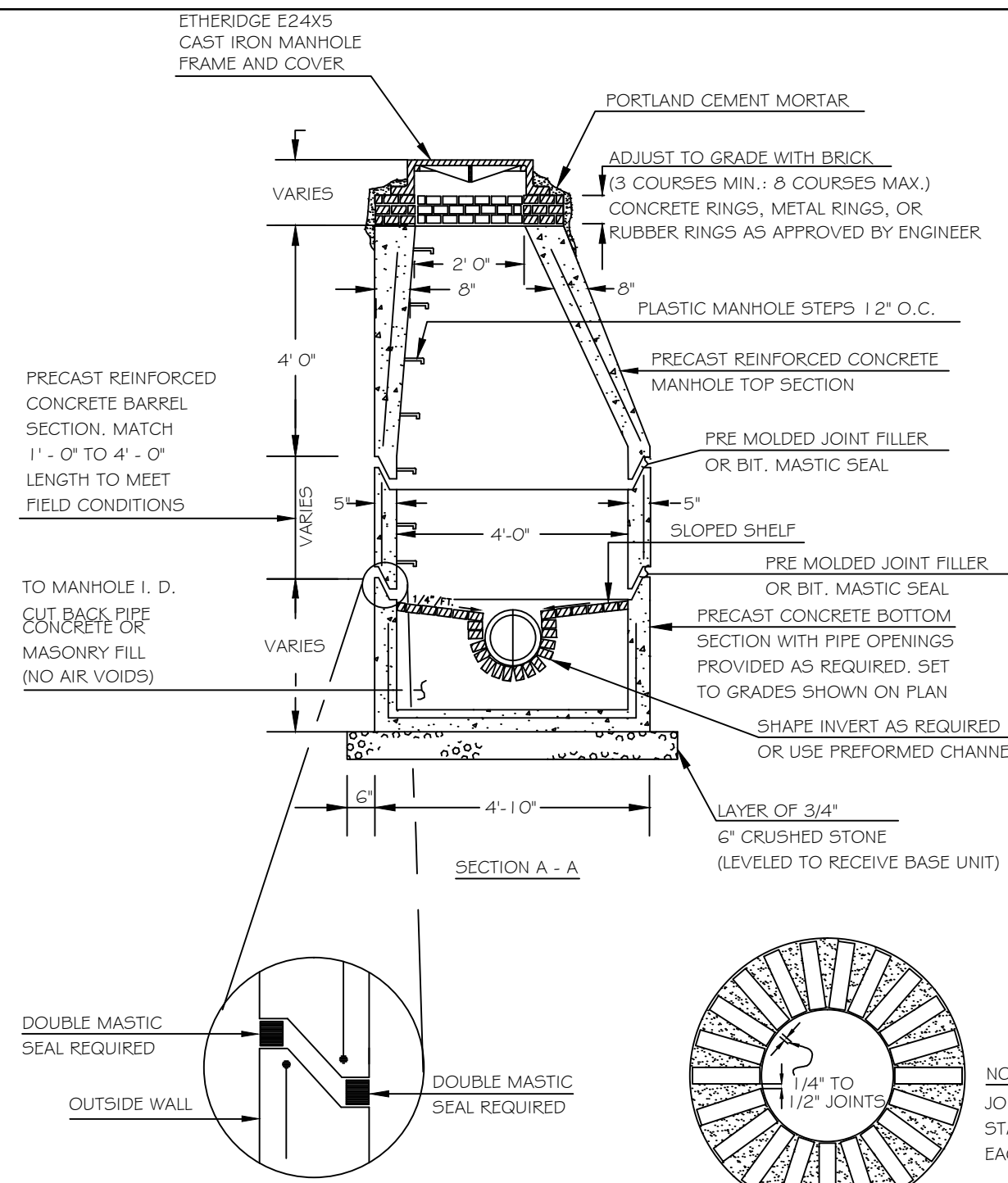


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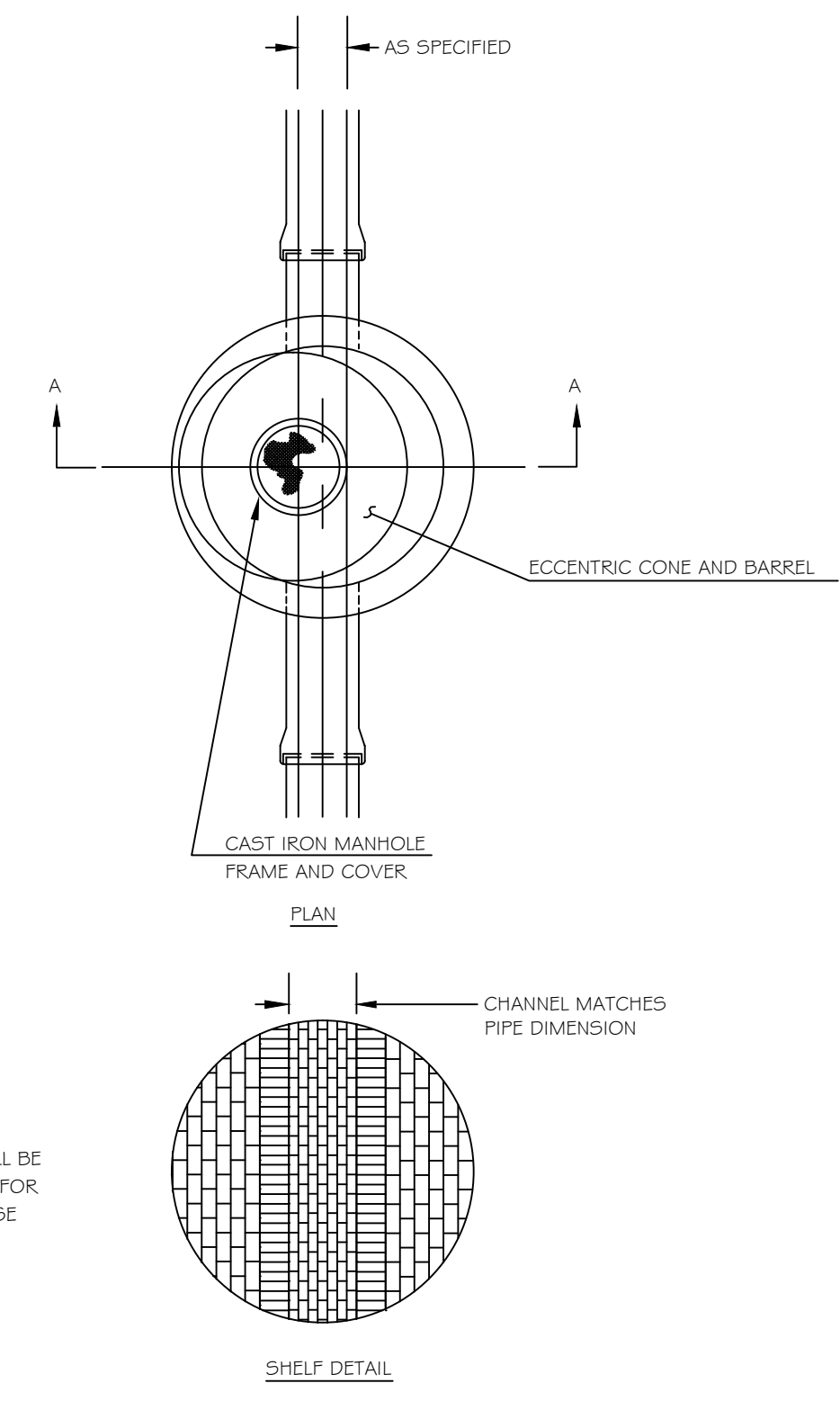
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| A | 11/21/12 | ISSUED FOR SITE PLAN REVIEW | SWC | WRW |

Sheet Title:
SITE DETAILS
Job No.: 173
Date: NOV 9, 2012
Scale: NTS
Drawn: SWC
Checked: WRW
Sheet No.: **C3.1**

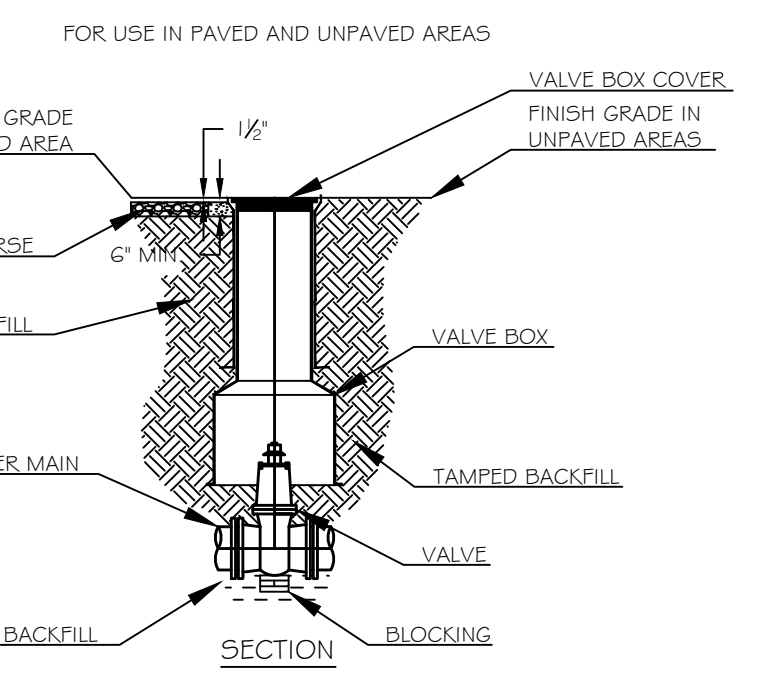


- NOTES:**
1. CONCRETE 4000 PSI AFTER 28 DAYS
 2. REINFORCING H-20 LADING 4x4 1/4x4 W/M
 3. EACH CASTING TO HAVE LIFTING HOLES TO BE FILLED WITH NON-SHRINK MORTAR.
 4. MANHOLE STEPS TO BE HIGH IMPACT PLASTIC.
 5. APPLY TWO COATS OF BITUMASTIC PAINT ON ALL EXTERIOR SECTIONS.
 6. MANHOLE CHANNELS REQUIRING CHANGE OF ALIGNMENT, TO BE BUILT ON SMOOTH RADIUS. CHANNEL TO BE SHAPED TO ACCEPT ADDITIONAL INLET PIPES.
 7. ALL SANITARY MANHOLE COVERS SHALL HAVE "SEWER" CAST INTO THE COVER.

1 TYPICAL SANITARY MANHOLE
C3.2 NOT TO SCALE



2 TYPICAL SEWER CONNECTION DETAIL
C3.2 NOT TO SCALE

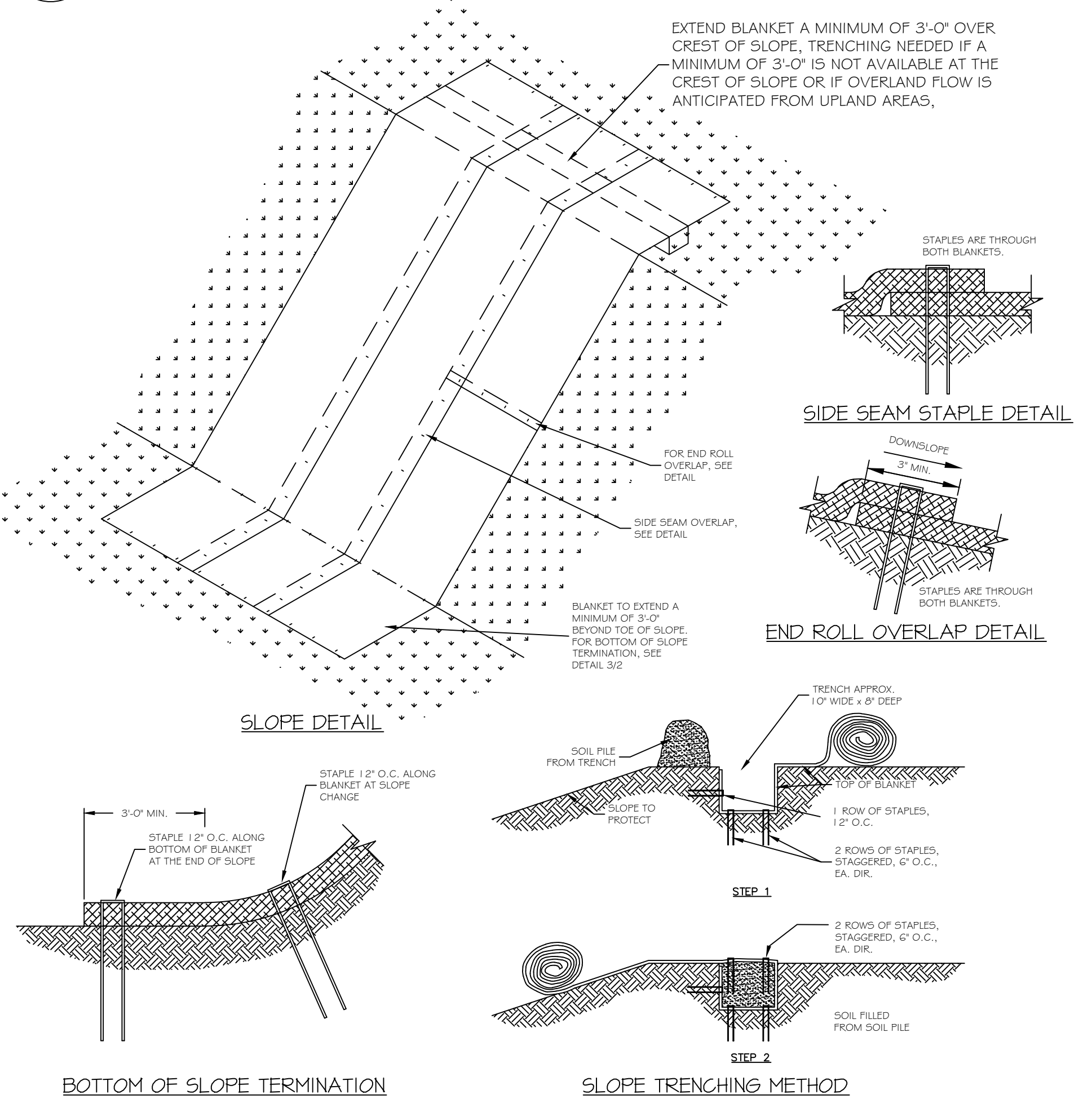


5 VALVE AND VALVE BOX INSTALLATION DETAIL
C3.2 NOT TO SCALE

- NOTES:**
1. ALL WORK TO CONFORM TO THE PORTLAND WATER DISTRICT STANDARDS AND REQUIREMENTS.
 2. D.I.P. MAY BE USED FOR VALVE BOX EXTENSIONS.
 3. VALVE BOX SHOULD NOT CONTACT WATER MAIN OR VALVE.
 4. CONCRETE PROTECTOR RING SHALL BE USED IN ALL UNPAVED AREAS.

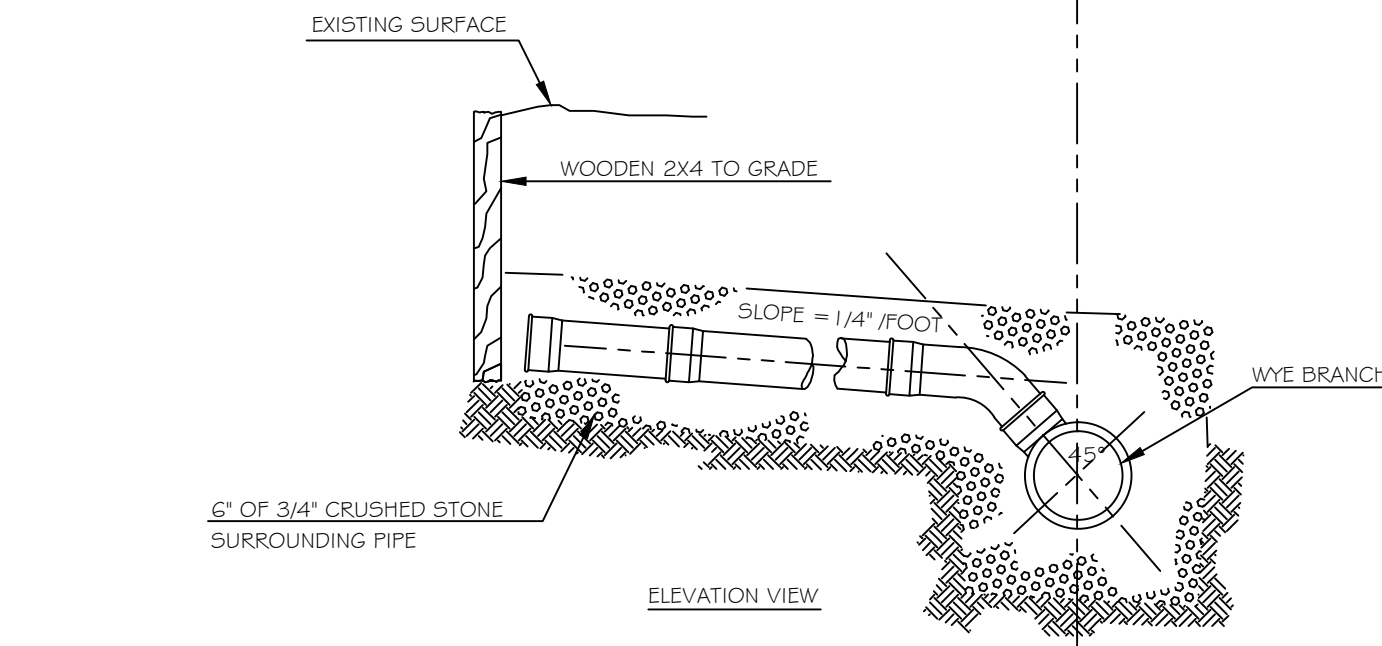


6 BITUMINOUS DRIVEWAY APRON DETAIL
C3.2 NOT TO SCALE



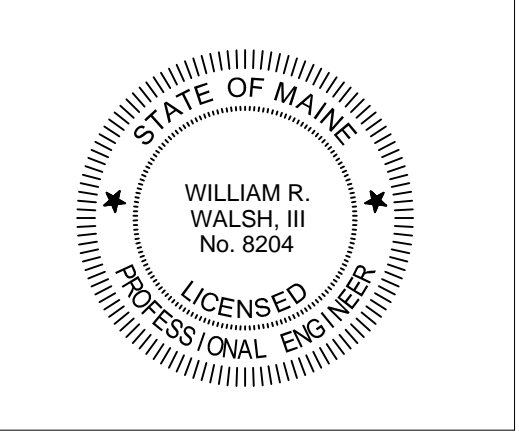
4 STRAW MATTING EROSION CONTROL
C3.2 NOT TO SCALE

NOTE: PRODUCT TO BE BIONET S75 BN SINGLE NET STRAW BLANKET BY NORTH AMERICAN GREEN OR APPROVED EQUAL.



3 STANDARD CORPORATION STOP DETAIL
C3.2 NOT TO SCALE

NOTES: ALL WORK TO CONFORM TO THE PORTLAND WATER DISTRICT STANDARDS AND REQUIREMENTS.



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| A | 1/2/12 | ISSUED FOR SITE PLAN REVIEW | SWC | WRW |

Sheet Title:
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Job No.: 173
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C3.2

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