

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 090568

Please Read
Application And
Notes, If Any,
Attached

This is to certify that TETRA LLC/John Gordanhas permission to 56 sq ft addition, wheelchair ramp, interior renovationAT 25 MOTLEY ST

CITY OF PORTLAND PERMIT 177 E019001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise dressed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Kelly 6/5/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

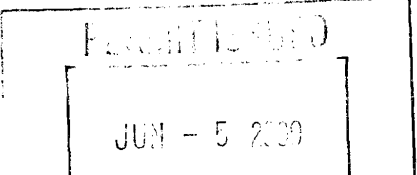
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0568	Issue Date:	CBL: 177 E019001
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Location of Construction: 25 MOTLEY ST	Owner Name: TETRA LLC	Owner Address: 17 Bayview Ave	Phone:
Business Name:	Contractor Name: John Gordan	Contractor Address: 17 Bayview Ave Bucksport	Phone: 2072996172
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: E5

Past Use: Single Family Home	Proposed Use: Single Family Home - 56 sq ft addition, wheelchair ramp, interior renovations	Permit Fee: \$320.00	Cost of Work: \$30,000.00	CEO District: 3
Proposed Project Description: 56 sq ft addition, wheelchair ramp, interior renovations		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB JRC 2003 Signature: Jm 6/5/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 06/05/2009	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: Jm 6/5/09</p>	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <p>Date: _____</p>	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <p>Date: Jm 6/5/09</p>
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

inspectors - please see me before 1st inspection for details.
Tom M

06/12/09 Footings okay
MAM

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

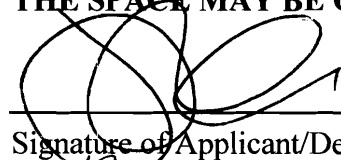
A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**
- Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**
- Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

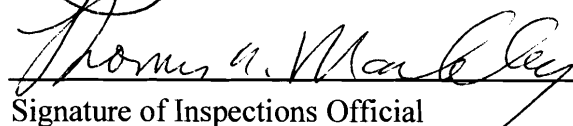
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



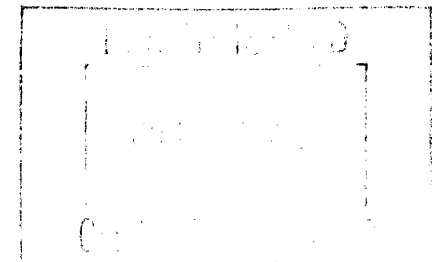
Signature of Applicant/Designee

6-5-09
Date



Signature of Inspections Official

6/5/09
Date





General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>25 MOTLEY STREET</u>		
Total Square Footage of Proposed Structure/Area <u>ADD: 56 SF DECK: 224 SF RAMP: 209 SF</u>		Square Footage of Lot <u>10,000</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot#	Applicant * must be owner, Lessee or Buyer * Name <u>JOHN GORDON</u> Address <u>17 BAYVIEW AVE</u> City, State & Zip <u>BUCKSPORT ME 04416</u>	Telephone: <u>207-299-6172</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>TETRA LLC</u> Address <u>17 BAYVIEW AVE.</u> City, State & Zip <u>BUCKSPORT ME 04416</u>	Cost Of Work: \$ <u>30,000.</u> C of O Fee: \$ <u>320.</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>YES</u> If yes, please name <u>BRIGHTON</u> Project description: <u>SMALL ADDITION (56 SF), DECK, WHEELCHAIR RAMP, INTERIOR RENOV.</u>		
Contractor's name: <u>JOHN GORDON</u> Address: * <u>17 BAYVIEW AVE.</u> City, State & Zip <u>BUCKSPORT ME 04416</u> Telephone: <u>299-6172</u> Who should we contact when the permit is ready: <u>JOHN GORDON</u> Telephone: " " " Mailing address: * <u>SEE ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:

Date: 6.2.09

This is not a permit; you may not commence ANY work until the permit is issued

DECK INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you submit proper and complete application packages. Please label all of the following items on your plans. Thank you.

1. **A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.**
2. **Type of foundation system**
 - Diameter of concrete filler tube
 - depth below grade (minimum 4'-0" below grade)
 - anchorage of column to footing
 - spacing of tubes

Or

 - pre-cast concrete pier size
 - depth below grade (minimum 4'-0")
 - anchorage of column to footing
 - spacing of tubes
3. **Columns (members supporting framing of floor system)**
 - wood size and type
 - anchorage of column to footing
4. **Framing Members**
 - Ledger size attached to building
 - Lag Bolt size and spacing on ledger
 - Location of all flashing
 - Girder Size and spans carrying floor system
 - Joist size, span, and spacing
 - Joist hangers on ledger
 - Decking size
5. **Guardrails & Handrail Details**
 - Guardrail height
 - Baluster spacing
 - Handrail height
6. **Stair Details**
 - Tread depth (measured nosing to nosing)
 - Riser height
 - Nosing on tread
 - Width of stairs

City of Portland, Maine - Building or Use Permit

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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/05/2009

Note: **Ok to Issue:**

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 06/05/2009

Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

This data is provided by the Assessor's Office and is current as of

May. 11, 2009

Fees

CBL	177 E019001	Acct No	24820	Property Address	R5	LCI:	R	
Owner Name 1	ZAMD KAREN			Property Type	RESIDENTIAL	Dist#:	3	Vie
Name 2				Description	177-E-19-20			Vie
Mailing Address	25 MOTLEY ST			Census Tract	17.00	MOTLEY ST 25-31		Vie
City, State, Zip	PORTLAND	ME	04102			10000 SF		
Prop Info	Inspections	Site Plans	Permits	Complaints	Food/Water/Odor	Documents	Letters	Property Mgmt

Land Use	SINGLE FAMILY	Nbr of Units	1	Click Here to View: Picture Sketch
Zone	R5	Neighborhood		
District	DEERING-ROSEMONT	Historic District	No	
Yr Built	1899	House Style	OLD STYLE	NOTES
Total Rms	9	Baths	2	
		1/2 Baths	0	
		Bedrms	4	
Heat Type	BASIC	Basement	FULL	
Fuel Type	OIL	Attic	FULL FINSH	
System Type	HOT WATER			

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	177 E019001
Location	25 MOTLEY ST
Land Use	SINGLE FAMILY
Owner Address	ZAMD KAREN 25 MOTLEY ST PORTLAND ME 04102
Book/Page	25318/162
Legal	177-E-19-20 MOTLEY ST 25-31
	10000 SF

Current Assessed Valuation

Land	Building	Total
\$61,900	\$199,000	\$260,900

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
1899	Old Style	2	2168	0.23	4	2		9	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1980	24X24	C	A

Sales Information

Date	Type	Price	Book/Page
07/24/2007	LAND + BLDING	\$319,000	25318-162
05/01/2003	LAND + BLDING	\$239,000	19465-278
08/07/1996	LAND + BLDING	\$121,000	12654-280
04/19/1991	LAND + BLDING	\$130,000	09532-164

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

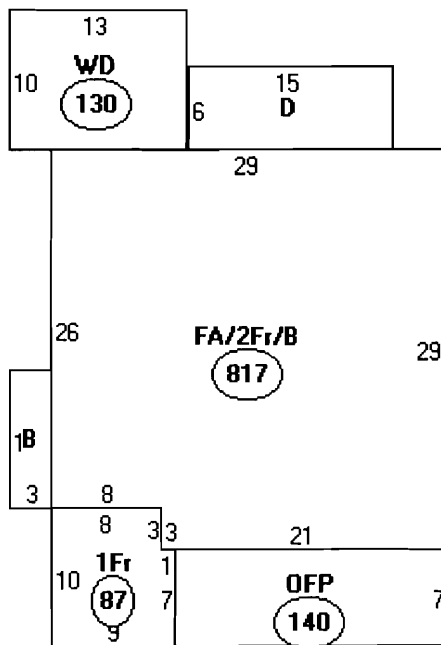
[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

10,000 sq ft lot

40% MAX Coverage



Descriptor/Area

- A: FA/2Fr/B
817 sqft
- B: FBAY/B
30 sqft
- C: WD
130 sqft
- D: 1Fr/B
90 sqft
- E: OFF
140 sqft
- F: 1Fr
87 sqft

1294 sq ft and 13% now

Coverage OK

SETBACKS - RS

- 20 FT Required Front - shown - 25+
- 20 FT Required Rear - shown - 25+ to ~~rear~~ ^{Additional}
- 12 FT Required Sides - shown - 70+ ~~ft~~



WARRANTY DEED
Maine Statutory Short Form

KNOW ALL MEN BY THESE PRESENTS, That **Karen Zamd** of Portland, Maine, for consideration paid, grants to **Tetra, LLC**, a Maine limited liability company with a whose mailing address of 148 U.S.Route One, Bucksport, Maine 04416, with **WARRANTY COVENANTS**, the real property situated in **Portland**, County of **Cumberland** and State of **Maine** more particularly described in Exhibit A attached hereto and incorporated herein by reference.

WITNESS my hand and seal this 27 day of May, 2009.

Witness to all

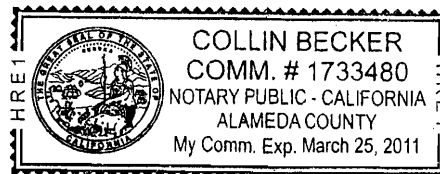


Karen Zamd

State of California 28
County of Alameda, ss. May ~~27~~ 2009

CB

Personally appeared before me the above named **Karen Zamd** and acknowledged the foregoing instrument to be her free act and deed.





Notary Public

EXHIBIT A
(DEED)

Two certain lots or parcels of land, with the buildings thereon, situated on Motley Street in the City of Portland, County of Cumberland and State of Maine, being Lots No. 94 and 95 as shown on plan of Brighton made for George T. Edwards, recorded in the Cumberland County Registry of Deeds in Plan book 11, Page 109.

Meaning and intending to convey and hereby conveying the same premises described in a deed from Stephen W. Nemeroff and Suzanne K. Nemeroff to Karen Zamd dated July 23, 2007 recorded in said Registry of Deeds in Book 25318, Page 162.

THIS IS NOT A BOUNDARY SURVEY

This copyrighted document expires 08-19-09. Reproduction and/or dissemination after this date is unauthorized.

MORTGAGE INSPECTION OF: DEED BOOK 25318 PAGE 162 COUNTY York
 PLAN BOOK 11 PAGE 109 LOT 94 & 95

ADDRESS: 25 Motley Street, Portland, Maine

Job Number: 610-23-R

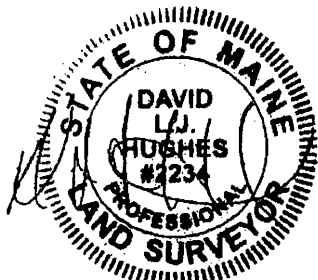
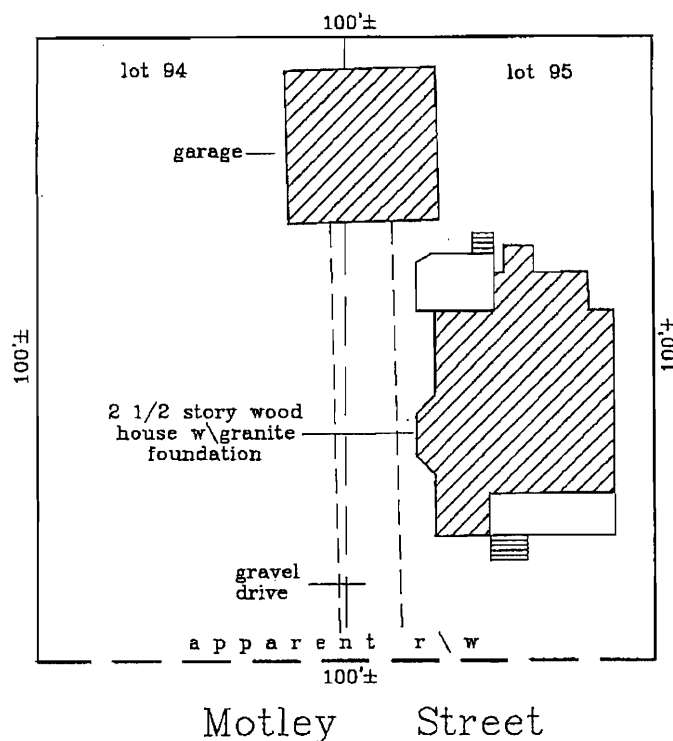
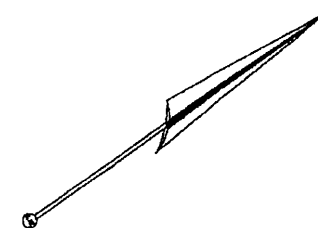
Inspection Date: 05-19-09

Scale: 1" = 30'

Client File #: 90412

Buyer: Tetra, LLC.

Seller: Karen Zamd



I HEREBY CERTIFY TO: Bay Area Title Services, Tetra, LLC
 and its title insurer.

Monuments found did not conflict with the deed description.

The dwelling setbacks do not violate town zoning requirements.

As delineated on the Federal Emergency Management Agency Community Panel 230051-0013B:

The structure does not fall within the special flood hazard zone.

The land does not fall within the special flood hazard zone.

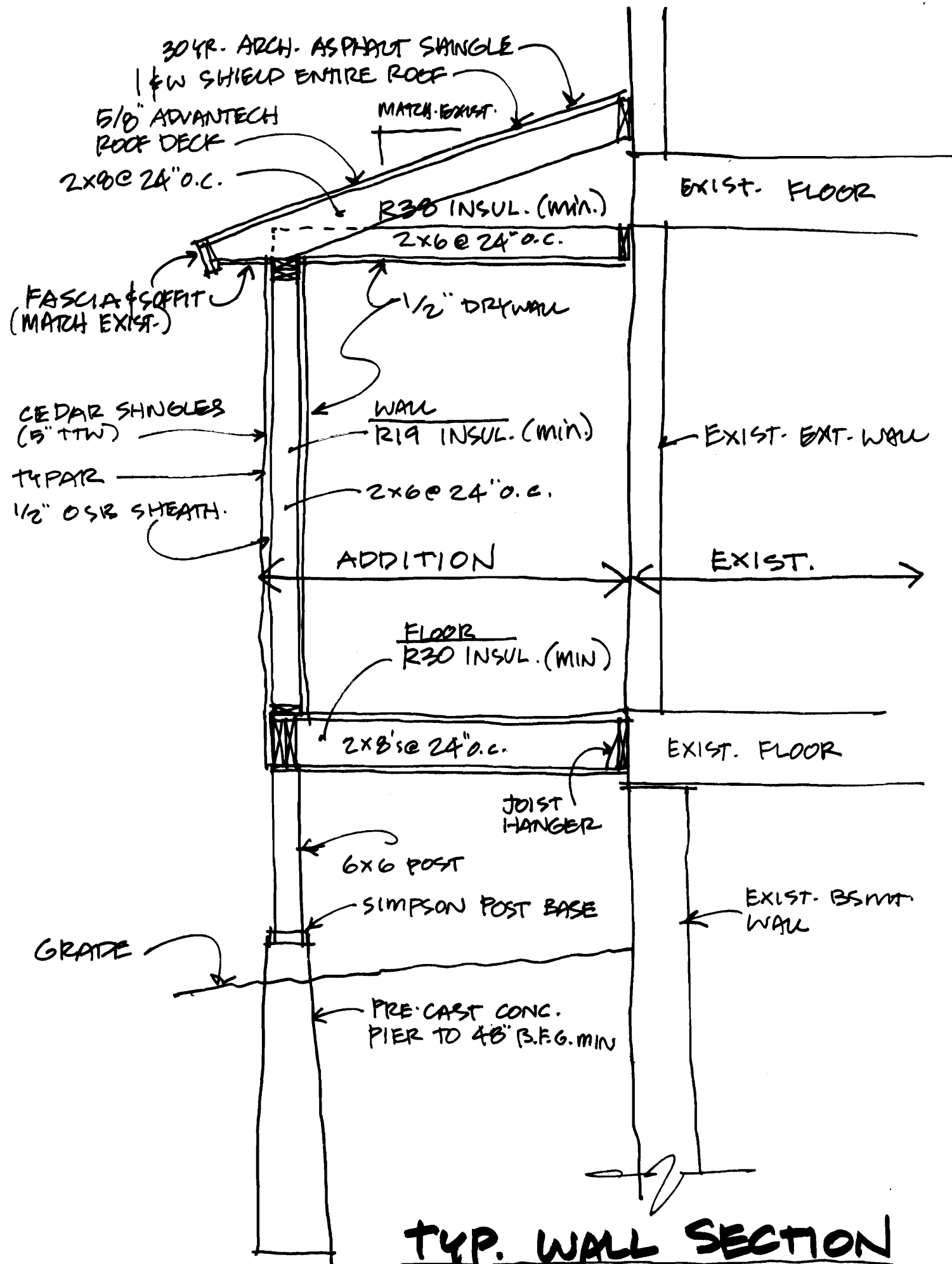
A wetlands study has not been performed.

APPARENT EASEMENTS AND RIGHTS OF WAY ARE SHOWN. OTHER ENCUMBRANCES, RECORDED OR NOT, MAY EXIST. THIS SKETCH WILL NOT REVEAL ABUTTING DEED CONFLICTS, IF ANY.

copyright

Livingston-Hughes
 Professional Land Surveyors
 88 Guinea Road
 Kennebunkport, Maine 04046
 207-967-9761 phone 207-967-4831 fax
 www.livingstonhughes.com

THIS SKETCH IS FOR MORTGAGE PURPOSES ONLY



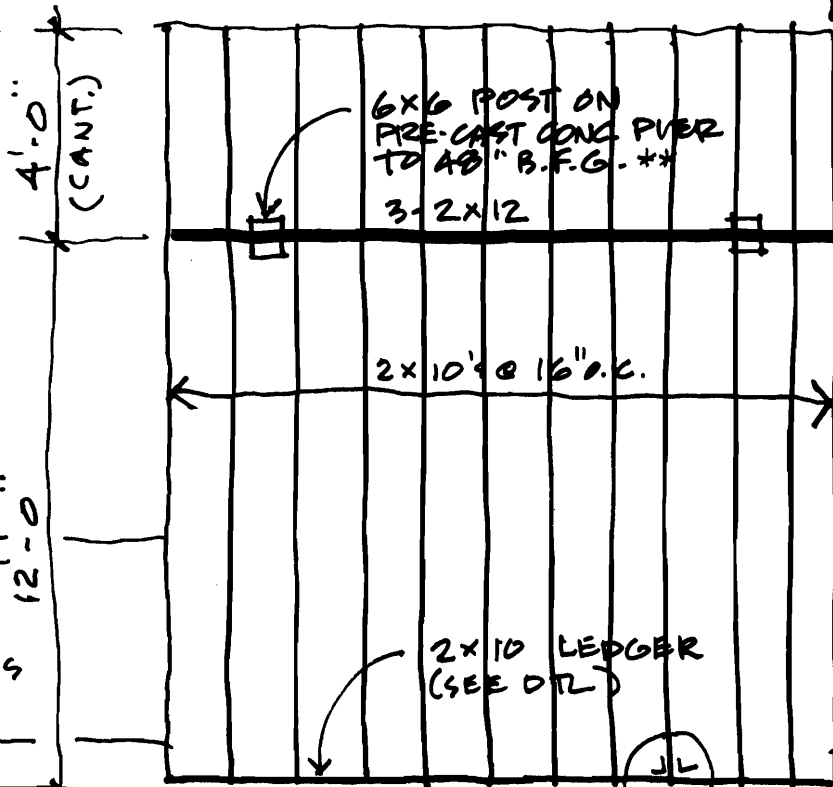
TYP. WALL SECTION
 N.T.S.

RAMP

*NOTE - SEE BUILDING PLAN
FOR RAMP & DECK
CONSTRUCTION NOTES.

** - USE SIMPSON ABUGG POST BASE

RAMP



EXT. WALL @ HOUSE

ATTACH JOIST TO
LEDGER W/HANGER

DECK FRAMING

N.T.S.

PT2x10 ledger thru-bolted to wall with
2 - 5/8" galv. bolts at 24" o.c.
Apply 18" I&N Shield membrane to wall
sheathing prior to installation of ledger
(TYP).

JOIST HANGER



DECK LEDGER DETAIL

N.T.S.

PROPOSED RENOVATIONS / ADDITION
25 MOTLEY STREET



WINDOWS TO BE REMOVED

EXTENSION OF NEW ADDITION

NEW DOOR

REMOVE TOP OF COLLAR ENTRY (TO FIT BELOW NEW DECK)

EXISTING FENCE

5'-0"

5'-0"

16'-11"

5'-0"

5'x5' LANDING

RAMP

5'x5' LANDING

5'-0"

RAMP CONSTRUCTION (Not permanent)

ALL WOOD PRESERVATIVE TREATED.
 ALL FRAMING FASTENERS & CONNECTORS HOT-DIPPED GALV.
 RAMP AND LANDING FRAMING - 2x6 WITH INTERMEDIATE SUPPORTS AS NEEDED FOR SPAN.
 DECKING - 5/4x6 PT-SYP, 5/4x4 IPE, OR 5/4x6 CORRECT DECK.
 DECK FASTENERS TO BE STAINLESS STEEL.

DECK CONSTRUCTION

ALL WOOD PRESERVATIVE TREATED.
 ALL FRAMING FASTENERS & CONNECTORS HOT-DIPPED GALV.
 DECK FRAMING - 2x10's @ 16" O.C.
 MAIN BEAM - (3)2x12's ON 6x6 POSTS TO FOOTING AT 48" B.F.G.
 DECKING - 5/4x6 PT-SYP, 5/4x4 IPE, OR 5/4x6 CORRECT DECK.
 DECK FASTENERS TO BE STAINLESS STEEL.
 GUARDRAIL TO BE 42" H. WITH 1.5" SQ. BALUSTERS AT 5.5" O.C.
 14'-0"

GARAGE

RAMP

13'-6"

change to 36" door

52" BFF

WALK

16'-0"

5'-10"

7 T. @ 10"
8 R. @ 7" = 56"

DECK

table

BENCH

3'-0"

RAMP

22'-6"

EXISTING BASEMENT ENTRY. LOWER ROOF TO FIT BELOW DECK.

4'-3 1/2"

6"

4'-11"

9'-4"

STEPS

11'-7"

6'-1"

EXIST. WINDOW

2'-8"

3'-2"

6'-0"

CLOSET

linen

panel rad.

BATH

NEW VANITY

AKER BFS-63/RF ROLL-IN SHOWER

5'-3"

MUDRM.

NEW 36" DOOR

DEMO EXIST. BATHROOM

NEW CONSTRUCTION
 ROOF/CEILING - 2x8@24" O.C. ROOF RAFTERS AND CEILING JOISTS. R38 MIN.
 EXT. WALLS - 2x6@24" O.C.
 WITH 1/2" WALL SHEATHING. R19 MIN.
 FLOOR - 2x8@24" O.C.
 WITH 3/4" T&G ADVANTECH SUBFLOOR. R30 MIN.

NEW 36" DOOR

NEW 36" DOOR

NEW 48" C.O.

Hardware
 Smokes
 1 Merconnect
 Be New Back-up

BEDROOM

shelves

KITCHEN

8'-0"

LIVING/DINING

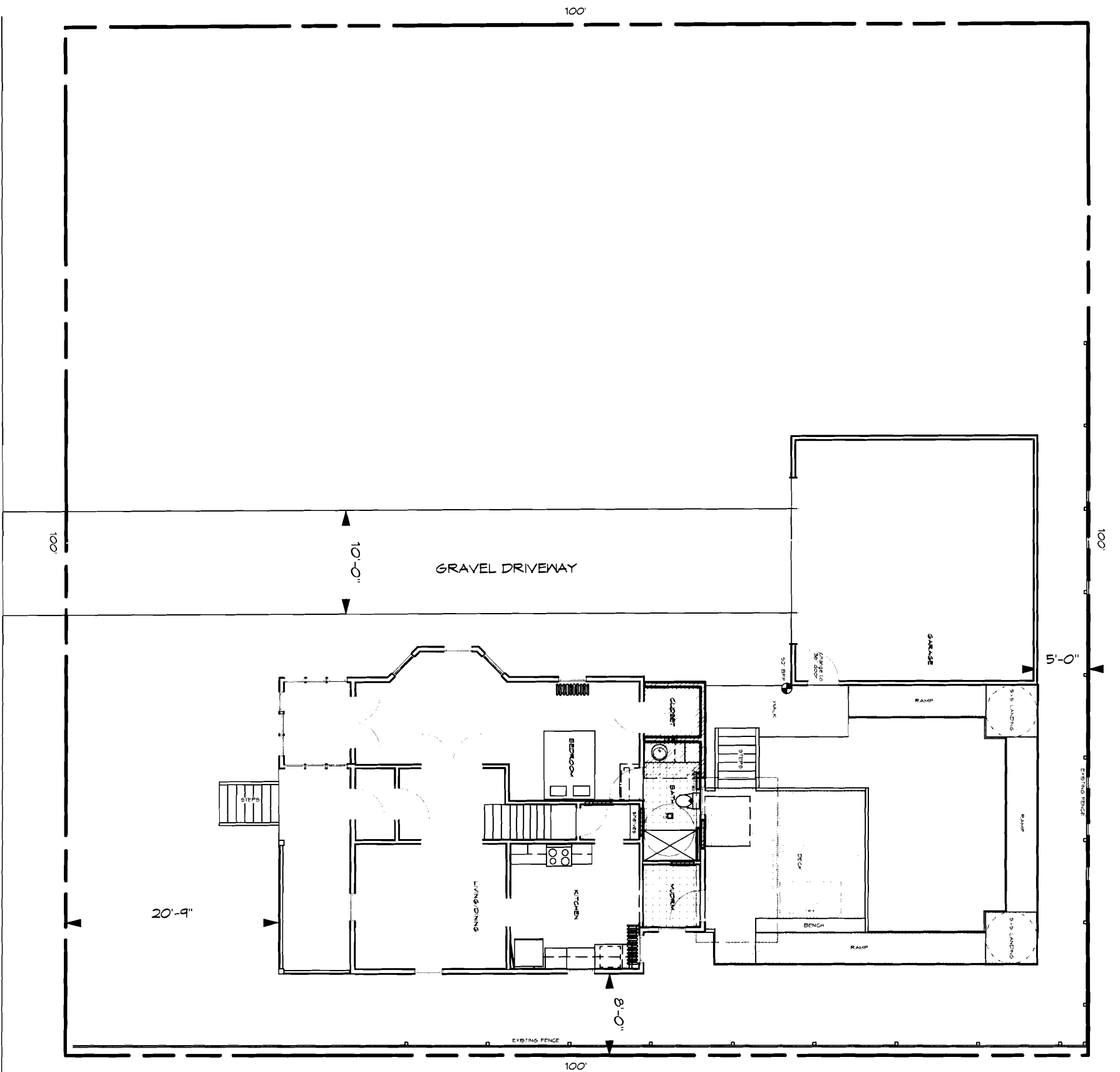
BUILDING PLAN

EXISTING FENCE

Egress
W/Arch

24
20A

25 MOTLEY STREET



PLOT PLAN N.T.S.