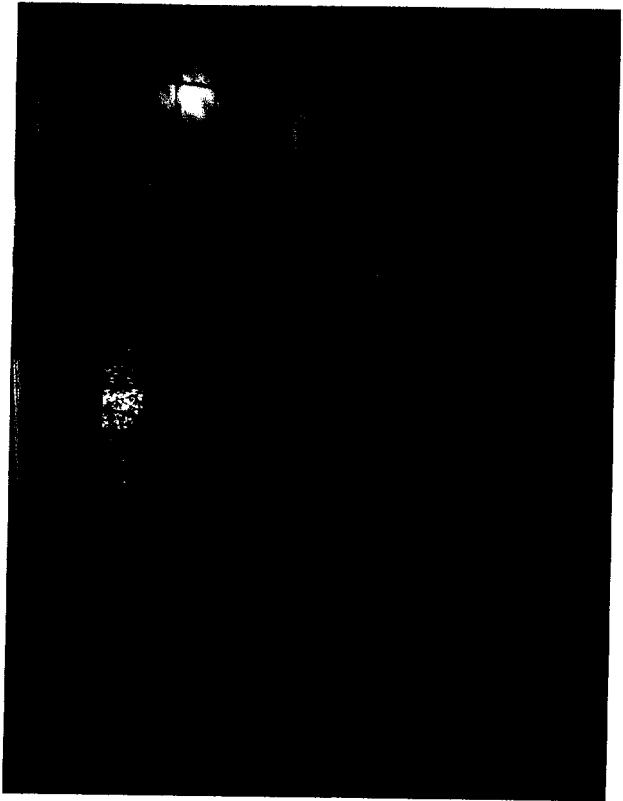
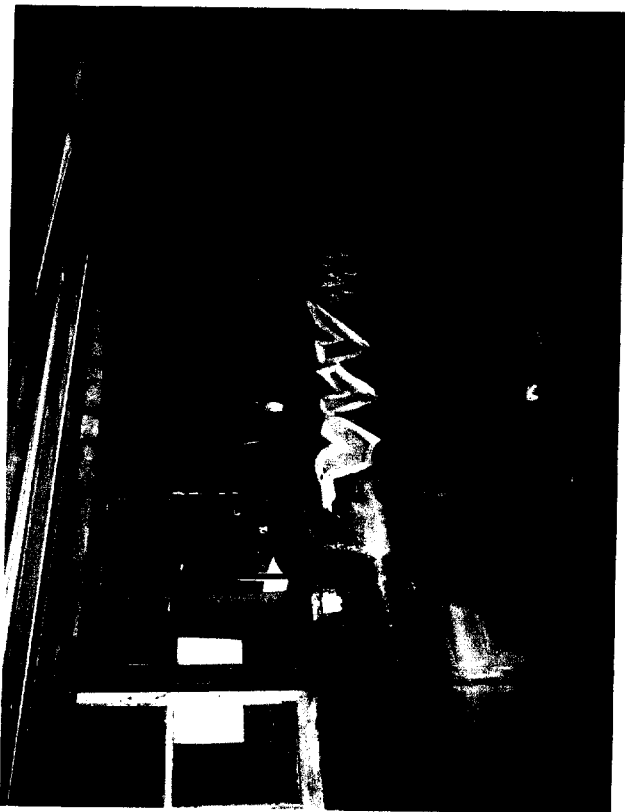
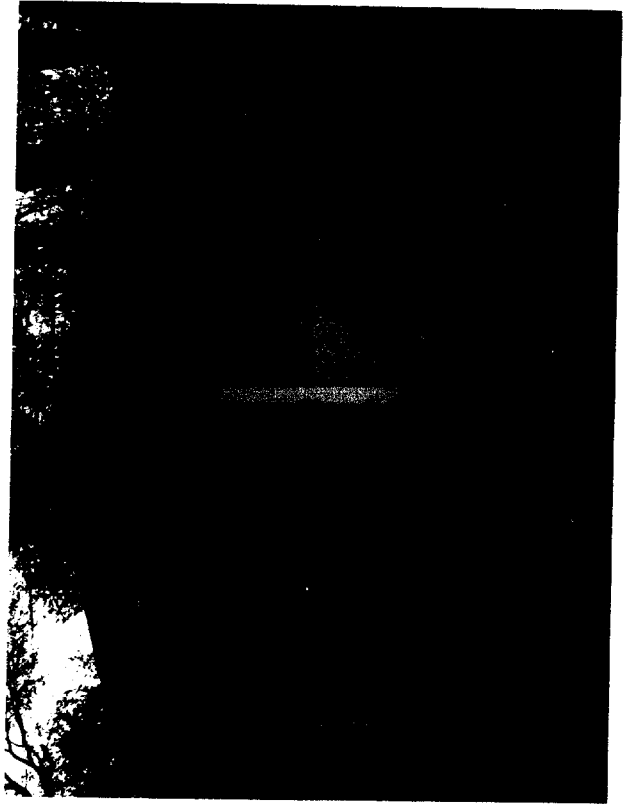
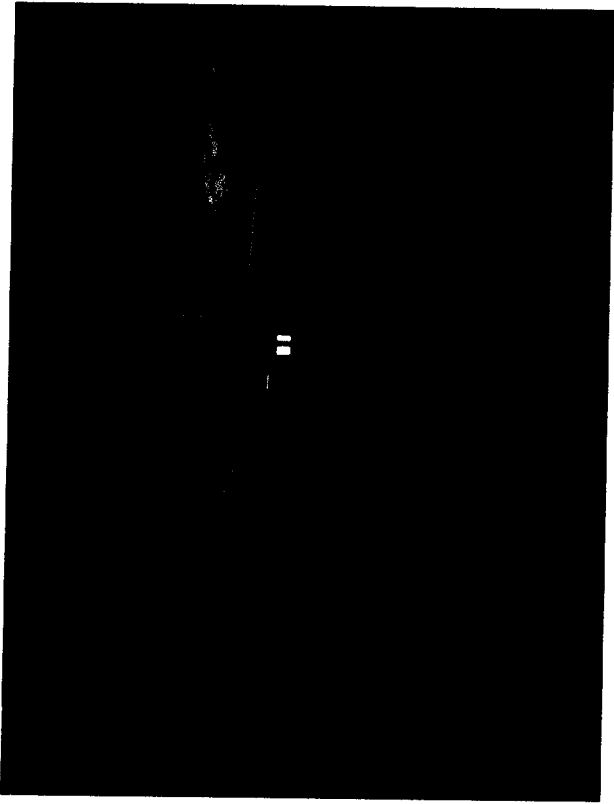


External height increase: 5"
Internal height increase: 0"
Entire drawing neglects 1/2" clapboard siding, sheaths outside of dimensions shown
flashing required between added 2x6PT and clapboard



QTY	Item	Cost/unit	Subtotal
30	2"x3" x 8'	\$ 1.65	\$ 49.50
40	2"x4" x 8'	\$ 2.70	\$ 108.00
12	2"x4" x 10'	\$ 4.30	\$ 51.60
16	2"x6" x 10', PT	\$ 7.50	\$ 120.00
150	1/2" x 6" siding, sqft	\$ 2.00	\$ 300.00
2	1/2" x 4'x8' plywood	\$ 30.00	\$ 60.00
30	1/2" x 4'x10' drywall	\$ 6.60	\$ 198.00
1	Insulation board, 1 1/2"	\$ 210.00	\$ 210.00
1	R13 fiberglass insulation	\$ 230.00	\$ 230.00
1	primer/paint	\$ 75.00	\$ 75.00
1	Insulated security door	\$ 150.00	\$ 150.00
1	Vinyl window	\$ 80.00	\$ 80.00
1	Feeder wire, #2 Cu	\$ 250.00	\$ 250.00
1	125A main panel, 16 circuits	\$ 150.00	\$ 150.00
1	Outlets/boxes/strain relief	\$ 130.00	\$ 130.00
1	Internal wiring	\$ 200.00	\$ 200.00
14	PVC, 2 1/2" dia. x 10'	\$ 7.00	\$ 98.00
1	25T 3/4" stone, delivered	\$ 501.00	\$ 501.00
1	7yds concrete, delivered	\$ 551.00	\$ 551.00
60	1/2" x 10' rebar	\$ 3.50	\$ 210.00
32	5" L-bolts, nuts, washers	\$ 5.50	\$ 176.00

EXCLUDE

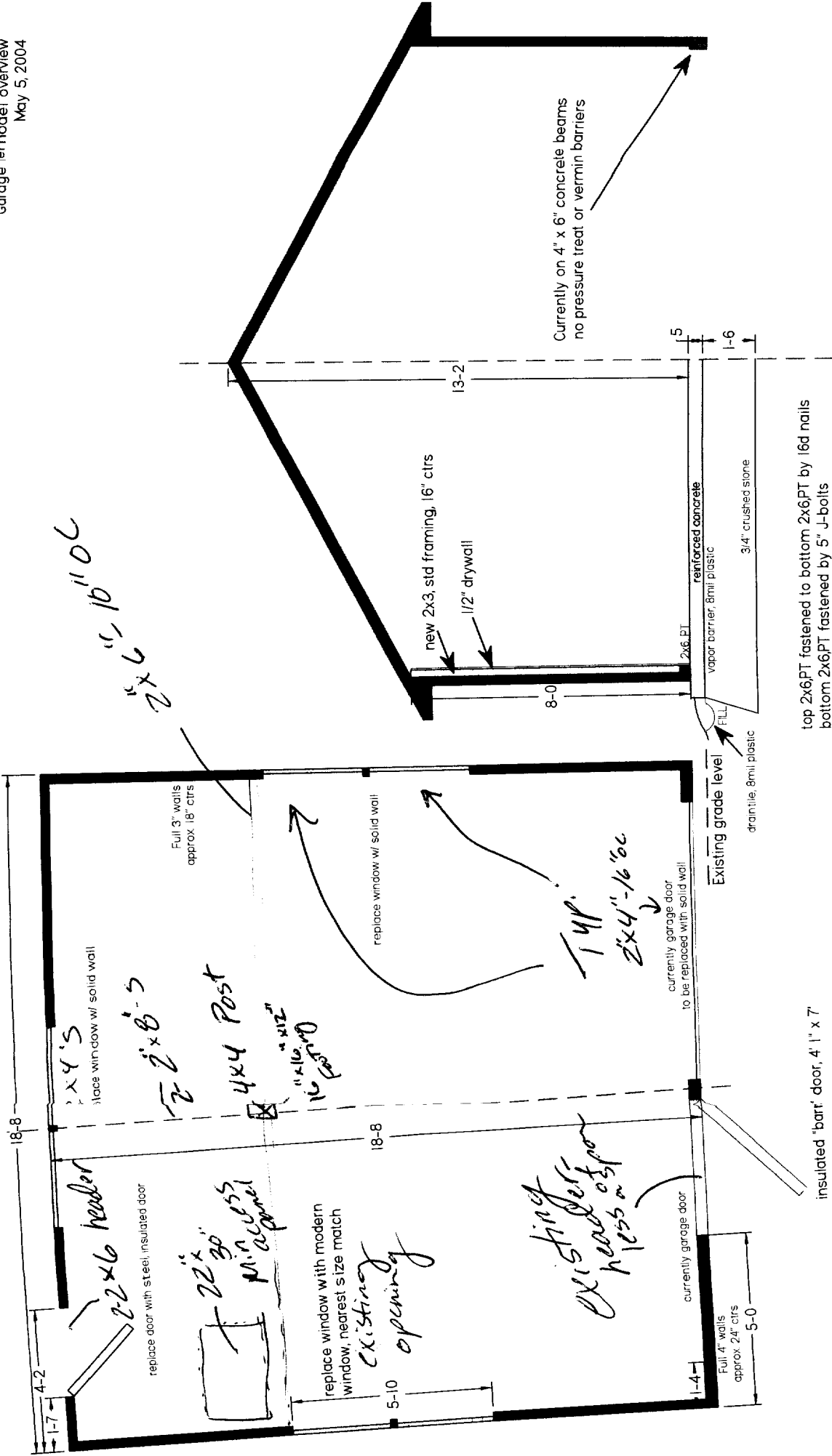
Total materials \$ ~~3,898.10~~ → \$3,070
~~-828~~

Estimated labor

Electrical installation \$ 400.00 → 0
Concrete pad / excavation \$ 600.00
Carpentry \$ 1,200.00

Estimated labor costs \$ ~~2,200.00~~ → 1,800

Estimated total project costs \$ ~~6,098.10~~ → \$4,870



top 2x6PT fastened to bottom 2x6PT by 16d nails
bottom 2x6PT fastened by 5" J-bolts

External height increase: 5"
Internal height increase: 0"
Entire drawing neglects 1/2" clippboard siding, sheaths outside of dimensions shown
flashing required between added 2x6PT and clippboard

Currently on 4" x 6" concrete beams
no pressure treat or vermin barriers

Handwritten: 2x6-16"OC

Handwritten: TYP. 2x4"-16"OC

Handwritten: existing header post mess

Handwritten: existing opening

Handwritten: 22x30 min. panel

Handwritten: 2x2x6 header

Handwritten: 4x4 Post
2x2x8-5
1" x 16" x 12" post

Existing grade level
drain tile, 8mil plastic

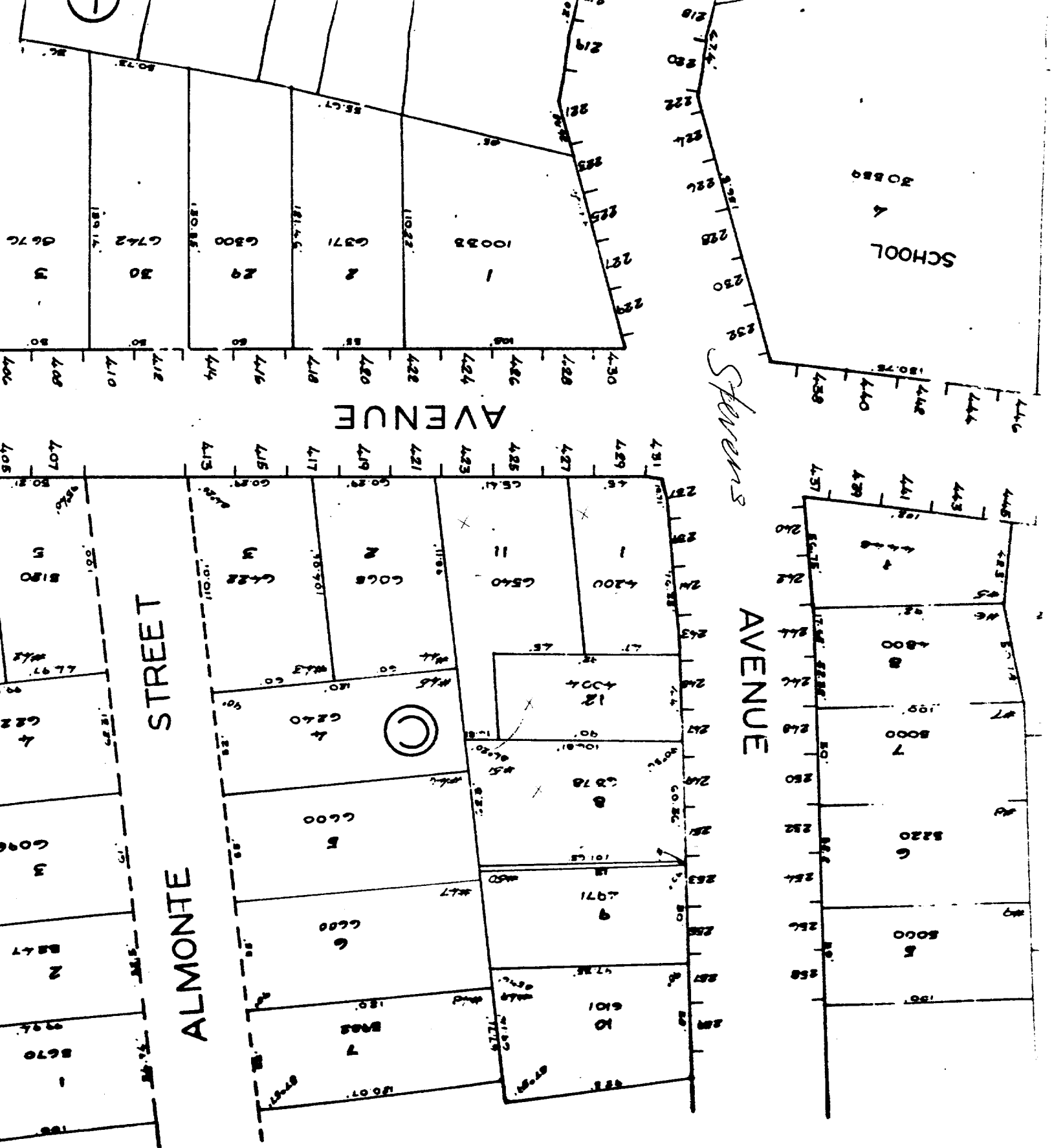
2x6, PT
reinforced concrete
vapor barrier, 8mil plastic
3/4" crushed stone

new 2x3, std framing, 16" cirs
1/2" drywall

Full 3" walls
approx 18" cirs

Full 4" walls
approx 24" cirs

insulated 'barr' door, 4' 1" x 7'



122

Shaw's

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE LOAN INSPECTION PLAN

483 BRIGHTON AVENUE
PORTLAND, MAINE

No 533-06

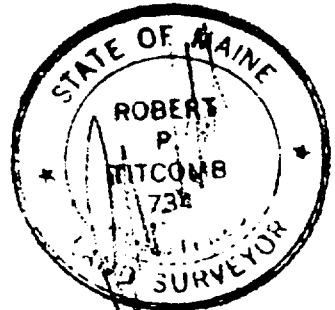
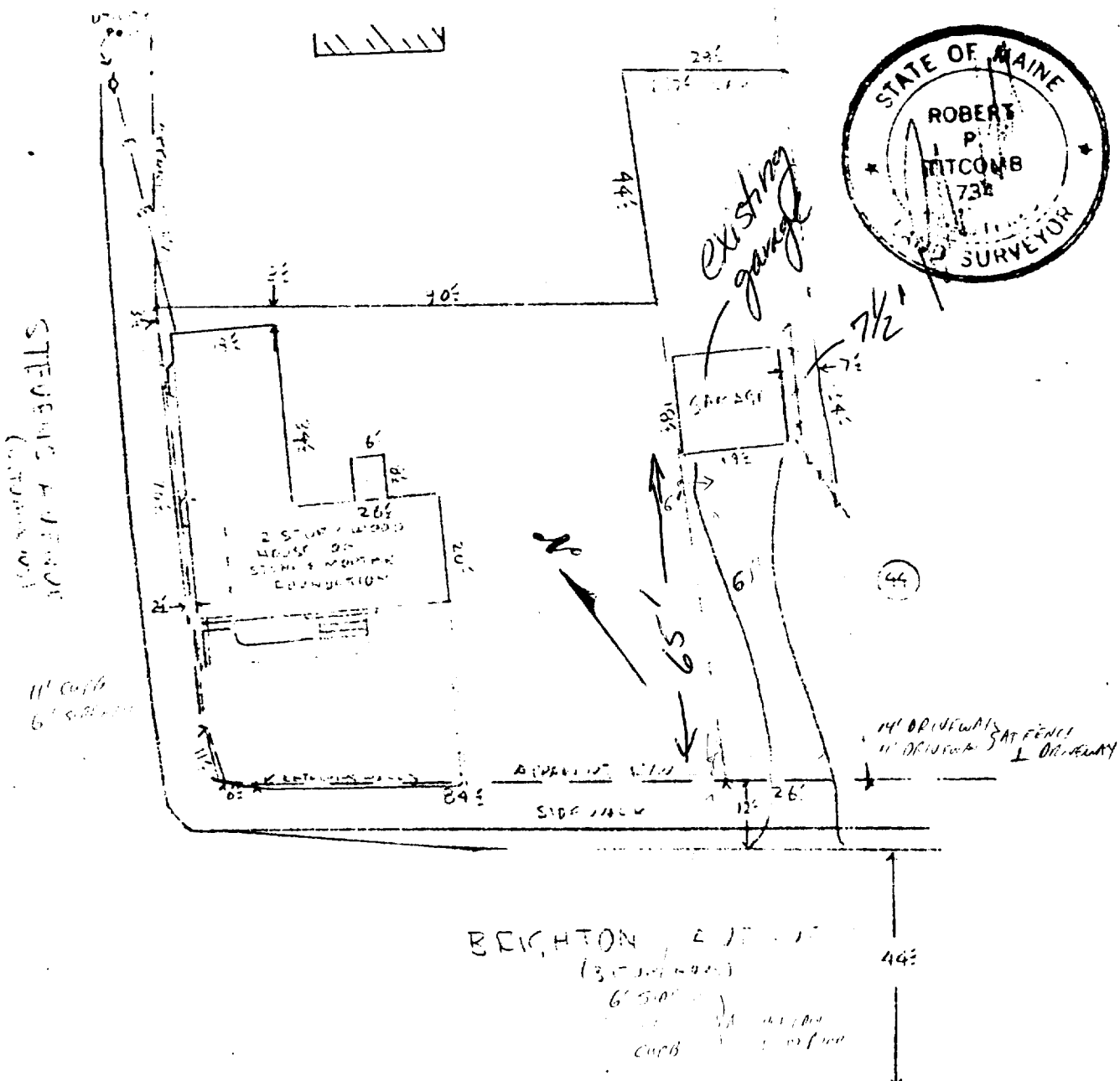
TO THE LENDING INSTITUTION AND ITS TITLE INSURER
I hereby certify that the location of the dwelling shown
on this plan did ~~not~~ conform with the local zoning
laws in effect at the time of construction. The property
does not fall within a special flood hazard zone

BOOK 4582 PAGE 287 COUNTY Cumberland

PLAN BOOK 13 PAGE 109 LOT 44

EDYEN JOHN C. SURVEYOR, III ROSIE LAFLEUR

SELLEY DAVID A. PATRICK LAUSSEUR



THIS IS NOT A BOUNDARY SURVEY. This plan is based
 solely on information provided by others and
 does not take into consideration any conflicts
 which abutting descriptions may contain.
 This plan was not made from an instrument survey.
 The certifications are for mortgage purposes only.
 This plan applies only to conditions existing as of
 the date shown hereon. This plan is not for recording

Date 6-11-65 Scale 1"=30'

RP TITCOMB ASSOCIATES, INC. Falmouth, Maine Drawn By G.S.

NOTICE

INSPECTION SERVICES IS NOW OFFERING SAME DAY PERMITTING FOR THE FOLLOWING:

SINGLE FAMILY AND TWO FAMILY DWELLINGS ONLY:

- ADDITIONS
- DECKS AND PORCHES
- ATTACHED AND DETACHED GARAGES
- SHEDS

TUESDAY, MAY 11 3 PM
Rm 315

W/ST. PLANS (SETBACKS!)
→ ALL OF THEM
& DRAWING
FOUNDATION CROSS-SECTION
INTERNAL LAYOUT
MAT. COST
FIRST LABOUR

IN ORDER FOR US TO DO A REVIEW AT THE COUNTER THE FOLLOWING
MUST BE SUBMITTED:

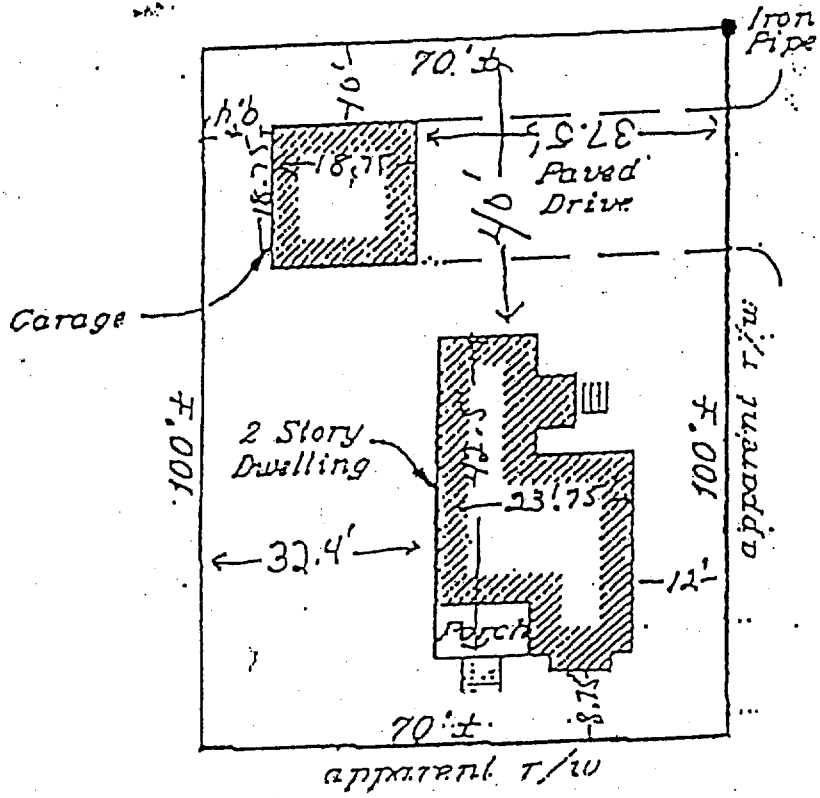
- **PLOT PLAN:** SHOWING ALL EXISTING BUILDINGS AND SETBACKS FROM PROPERTY LINES
- **COMPLETE CONSTRUCTION DETAIL SHOWING EVERY ELEMENT OF CONSTRUCTION:** FROM FOOTING/FOUNDATION DETAIL TO STAIR AND HAND RAIL DETAIL, AND ROOF LINE

THIS PROCESS COULD TAKE UP TO 45 MINUTES SO PLEASE BE PREPARED TO GO OVER THE DETAILS WITH US. INCOMPLETE INFORMATION WILL RESULT IN SIGNIFICANT DELAYS IN THE PERMITTING PROCESS.

SAME DAY PERMITS ARE BY APPOINTMENT

Please contact either of our Residential Plan Reviewers:
Jeannie Bourke: 874-8715 Tammy Munson: 874-8706

WE MAY NOT BE ABLE TO ISSUE THE PERMIT AT THE COUNTER IF FURTHER REVIEW IS REQUIRED, OR DETAILS ARE NOT COMPLETE



Lot Front

SINGLE FAMILY ADDITIONS AND ALTERATIONS

Your submissions must include the following to be accepted as a complete application:

- 1 copy of the deed if you have owned the property less than 365 days
- 1 copy of a legible site/plot plan
- 1 copy of the building/construction plan
- If your plans are larger than 11" x 17" we will need one copy on paper no larger than 11" x 17" of all submissions. We cannot accept applications without the reduced submission. Electronic plans may be submitted in place of the 11" x 17" copies.

If you are doing an exact replacement of a deck, stairs or shed it will still require a plot plan, showing all setbacks from property lines to finished construction.

PLOT PLAN INCLUDES THE FOLLOWING:

- A neat legible scaled plot plan must be submitted. This plan must show all setbacks from all property lines from finished construction. This will include all existing buildings with dimensions. The plan must show all proposed additions/alterations/accessory structures with dimensions. If the property has any easements, please scale them into your plot plan, along with parking areas and driveways with dimensions.
- The proposed construction measurements must be staked out for a site plan visit to confirm measurements on the plot plan. This includes all property lines in relation to proposed construction.

A COMPLETE SET OF CONSTRUCTION DRAWINGS INCLUDES THE FOLLOWING:

- Cross Sections w/Framing details
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Stair and handrail details (interior & exterior)
- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.

SEPARATE PERMITS ARE REQUIRED FOR INTERNAL & EXTERNAL PLUMBING, HVAC AND ELECTRICAL INSTALLATIONS

- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) Installation must comply with the 1993 BOCA Mechanical Code.

The cost of construction is as follows:

Basic permit fee: \$30.00

The first \$1,000.00 worth of construction is covered in the \$30.00 base fee

Every additional \$1,000.00 will cost ~~\$7.00~~ ^{\$9.00}

If a Certificate of Occupancy is needed, it must be issued and paid for before the structure may be occupied. The fee is \$75.00

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 431 BRINGTON AVE.		
Total Square Footage of Proposed Structure 400 ft²	Square Footage of Lot 6540 ft²	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 177 C 11	Owner: JOSEPH W. PAULUS	Telephone: 776-1437
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: JOSEPH W. PAULUS	Cost Of Work: \$ 4870 Fee: \$ 500 6
Current use: GARAGE/WORKSHOP		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: GARAGE/WORKSHOP		
Project description: REPLACE DIRT FLOOR W/ 5" CONCRETE PAD. RENOVEL INTERIOR W/ INSULATION AND UPGRADE ELECTRICAL SERVICE		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: _____		
Mailing address:		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: May 11, 2004
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**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

N/A **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X [Signature]
Signature of Applicant/Designee

Date

5/11/04

[Signature]
Signature of Inspections Official

Date

CBL: 177-8-001

Building Permit #: 04-0579

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 040579

Please Read Application And Notes, If Any, Attached

This is to certify that Paulus Joseph/no contractor of _____

has permission to lift existing building, add slat under, structurally secure build

AT 431 Brighton Ave _____ L 177 C001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and written permission procured before this building or part thereof is occupied or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

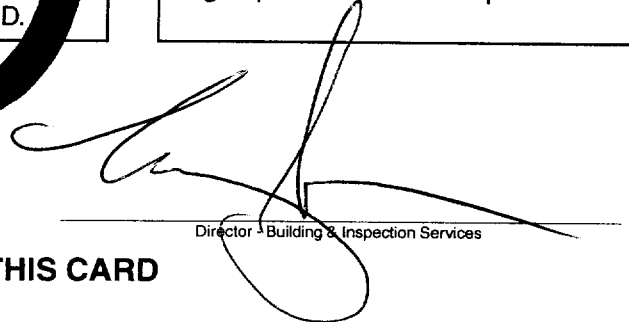
Appeal Board _____

Other _____

Department Name
CITY OF PORTLAND

PERMIT ISSUED

MAY 11 2004

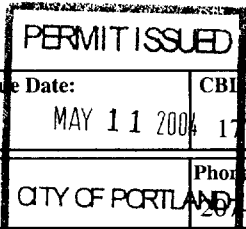


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0579	Issue Date: MAY 11 2004	CBI: 177 C001001
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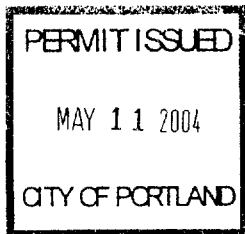
Location of Construction: 431 Brighton Ave	Owner Name: Paulus Joseph	Owner Address: 431 Brighton Ave # 2	Phone: CITY OF PORTLAND 207-776-1437
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Garages - Detached	Zone: R-5

Past Use: detached garage	Proposed Use: detached garage - lift existing building, add slab under, structurally secure building	Permit Fee: \$66.00	Cost of Work: \$4,870.00	CEO District: 3
Proposed Project Description: lift existing building, add slab under, structurally secure building		FIRE DEPT: N/A <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied	INSPECTION: Use Group: <i>OU</i> Type: <i>SB</i> <i>BOCA 1999</i>	

Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	
Signature:	Date:

Permit Taken By: tmm	Date Applied For: 05/11/2004	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input checked="" type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/11/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>5/11/04</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE