

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING INSPECTION PERMIT

Permit Number: 071331

This is to certify that NADEAU JAMES D / Dave manhas permission to Demlish & rebuild rear stairAT 264 STEVENS AVE

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or otherwise closed-in. 24 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

#### OTHER REQUIRED APPROVALS

Fire Dept. Craig Cass

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

11/7/07 Chet S. Ph  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

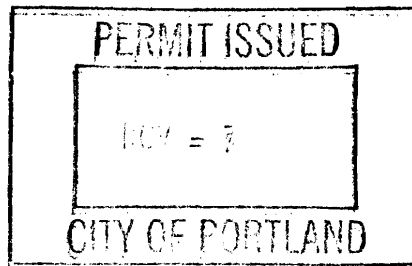
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
07-1331	11/7/01	177 B017001

Location of Construction: 264 STEVENS AVE	Owner Name: NADEAU JAMES D	Owner Address: 264 STEVENS AVE	Phone:
Business Name:	Contractor Name: Dave Enman	Contractor Address: 11 Carigan Windham	Phone: 2078787870
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Multi Family	Zone: R-5

Past Use: Multi- Unit	Proposed Use: Multi-Unit - Demlish & rebuild rear stairwell	Permit Fee: \$90.00	Cost of Work: \$7,000.00	CEO District: 3
Legal Use: Three (3) Residential D.U. Proposed Project Description: Demlish & rebuild rear stairwell		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-2 Type: 5B IBC - 2003	
		Signature: [Signature] PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: [Signature] Date: [Signature]		

Permit Taken By: Idobson	Date Applied For: 10/19/2007	Zoning Approval		
<ol style="list-style-type: none"><li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li><li>Building permits do not include plumbing, septic or electrical work.</li><li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li></ol>		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: [Signature] 11/5/07	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: [Signature]	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: [Signature]

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-1331		<b>Date Applied For:</b> 10/19/2007	<b>CBL:</b> 177 B017001
<b>Location of Construction:</b> 264 STEVENS AVE	<b>Owner Name:</b> NADEAU JAMES D	<b>Owner Address:</b> 264 STEVENS AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Dave Enman	<b>Contractor Address:</b> 11 Carigan Windham	<b>Phone</b> (207) 878-7870
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	
<b>Proposed Use:</b> Three residential dwelling units - Demolish & rebuild rear stairwell		<b>Proposed Project Description:</b> Demolish & rebuild rear stairwell	
<hr/> <b>Dept:</b> Zoning <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Marge Schmuckal <b>Approval Date:</b> 11/05/2007 <b>Note:</b> <span style="float: right;"><b>Ok to Issue:</b> <input checked="" type="checkbox"/></span> 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 3) This property shall remain a three (3) family dwelling. Any change of use shall require a separate permit application for review and approval. <hr/> <b>Dept:</b> Building <b>Status:</b> Approved with Conditions <b>Reviewer:</b> Chris Hanson <b>Approval Date:</b> <b>Note:</b> <span style="float: right;"><b>Ok to Issue:</b> <input checked="" type="checkbox"/></span> 1) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code. 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 3) As discussed during the review process, ballusters must be spaced with less than a 4" opening between each. 4) Fastener schedule per the IRC 2003 5) Guards must be 42 inches in height with openings less than 4 inches. Graspable rails must be installed on both sides of the stair guard. Stair treads shall not be less than 11". Stair risers shall not be more than 7". 6) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities. 7) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor. <hr/> <b>Dept:</b> Fire <b>Status:</b> Approved <b>Reviewer:</b> Ben Wallace Jr. <b>Approval Date:</b> <b>Note:</b> <span style="float: right;"><b>Ok to Issue:</b> <input checked="" type="checkbox"/></span> 1) All construction shall comply with NFPA 101			

**Comments:**

10/24/2007-wallaceb: Drawing A1, Detail 3. Tread depth must comply with 101-7.2.2.2.1.1(a) and 7.2.2.3.5. See explanatory material in Annex A of NFPA 101, 2006.

10/24/2007-wallaceb: Riser height must be 4" to 7" per 101-7.2.2.2.1.1(a). Verify number of risers between second and third floors on drawing A2, Detail 1.

<b>Location of Construction:</b> 264 STEVENS AVE	<b>Owner Name:</b> NADEAU JAMES D	<b>Owner Address:</b> 264 STEVENS AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Dave Enman	<b>Contractor Address:</b> 11 Carigan Windham	<b>Phone</b> (207) 878-7870
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Multi Family	

10/24/2007-wallaceb: Drawing A4. Third Floor. Landings are required at doors per 101-7.2.2.3.2. Such landings must continue for at least the required width of the stair. The elevation of the floor surfaces on both sides of the door shall not vary by more than 1/2" per 101-7.2.1.3.1.

10/24/2007-wallaceb: Separation and protection of outside stairs. The outside stair shall be separated from the interior of the building by construction with a fire resistance of one hour and with fixed or self closing opening protectives with a fire resistance of 45 minutes below the stair landings; with in 10 feet from the stair horizontally; and with in 10 feet from the top landing or the roof line, which ever is lower, per 101-7.2.2.6.3



# General Building Permit Application

If you or the property owner owns real estate or personal property located in or having access to any property within the City, payment arrangements must be made before permits of any kind are processed.

Location/Address of Construction: <u>264-266 STEVENS AVE</u>		
Total Square Footage of Proposed Structure/Area <u>91 SF</u>		Square Footage of Lot <u>9200 SF ±</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>177</u> <u>B</u> <u>17</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>JAMES NADEAU</u> Address <u>86 RACKLEFF ST</u> City, State & Zip <u>PORTLAND 04103</u>	Telephone:  <u>878-7870</u>
Lessee/DBA (If Applicable)  <u>/</u>	Owner (if different from Applicant) Name Address City, State & Zip  <u>/</u>	Cost Of Work: \$ <u>7000</u> C of O Fee: \$ <u>1</u> Total Fee: \$ <u>8</u>
Current legal use (i.e. single family) <u>MULTI-UNIT</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name <u>—</u> Project description: <u>DEMOLISH &amp; REBUILD REAR STAIRWELL</u>		
Contractor's name: <u>DAVE ENMAN</u> Address: <u>1 CARIGAN</u> City, State & Zip <u>WINDHAM, ME 04092</u> Telephone: <u>878-7870</u> Who should we contact when the permit is ready: <u>JAMES NADEAU</u> Telephone: <u>415-6542</u> Mailing address: <u>SEE ABOVE</u>		

OCT 19 2007

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10-16-07

**This is not a permit; you may not commence ANY work until the permit is issued**

October 16, 2007

Portland City Hall  
389 Congress Street  
Inspections Division, Room 315  
Portland, Maine 04101

**RE: 264-266 Stevens Avenue, Portland, Maine**

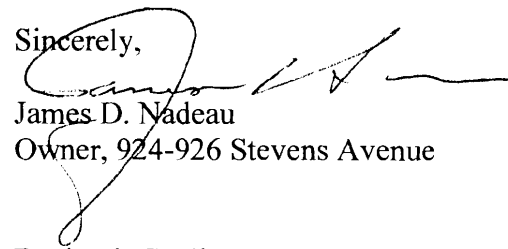
To Inspections Department,

In response to a letter by the Portland Fire Department (attached), I submit the following "Permit Application" packet.

The purpose of this permit submission is to replace an existing rear stairwell increasing tenant safety. It would be appreciated if review of this packet were done promptly so construction can be completed prior to the formal heating season.

I can be reached at 878-7870, 8AM-4PM, Monday thru Friday. Please do not hesitate to call if you have any questions.

Sincerely,



James D. Nadeau  
Owner, 924-926 Stevens Avenue

Benjamin Wallace, FPO



*Strengthening a Remarkable City, Building a Community for Life* [www.portlandmaine.gov](http://www.portlandmaine.gov)

**Fire Department**  
Chief Frederick J. LaMontagne, Jr.

20 August 2007

Mr. James Nadeau  
85 Rackleff Street  
Portland, Maine 04103

Sir;

To restate our discussion on this date, you have agreed that you have an additional 32 day to comply with City Code. This required all three deficiencies to be corrected by September 21, 2007. You must present a plan for providing a second means of egress from the third floor unit, per NFPA 101 Life Safety Code and applicable City code and State statute within that period of time.

If I can do anything else to assist you in this goal, please call.

Thank you for your prompt action,

Benjamin Wallace Jr. FPO  
Portland Fire Department  
756-8096



**CITY OF PORTLAND**

8/20/2007

264-266 STEVENS AVE 3 UNIT  
JAMES D NADEAU  
85 RACKLEFF ST  
PORTLAND, ME 04103

**CBL: 177 B017001 Located at: 0264 STEVENS AVE**

Dear Owner/Manager/Occupant,

The Portland Fire Department recently conducted a Safety Check Inspection of your property (the address of which is noted in the attached Violation Report) to ensure compliance with state and local fire and safety regulations. While conducting this check, violations were observed, all of which are listed on the attached copy Violation Report. The report also identifies the applicable state statute or local ordinance section under which each violation falls.

You have until the compliance date of the attached Violation Report to correct these violations. If the corrections cannot be accomplished by this date, you must contact Fire Prevention Officer Benjamin Wallace at 207-756-8096 within one week of your receipt of this notice to discuss the matter and the process to submit a Plan of Action for addressing these safety issues.

Please note that one follow-up inspection will be done to ensure your building is brought into compliance. Should additional inspections be required you will be charged \$75.00 for each reinspection.

If all of the violations cited have not been corrected by the compliance date noted on the Violation Report or the date contained within a Plan of Action Approved by the Portland Fire Department, you will receive a summons and complaint requiring your appearance in the Maine District Court. At that time the City of Portland will seek a Court Order requiring the correction of all violations, as well as fines, attorneys' fees and costs.

Your immediate attention to the violations noted herein will assure the safety and protection of the occupants of your property.

Thank-you for your prompt action.

Yours in Fire and Life Safety,  
The Portland Fire Department

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**CITY OF PORTLAND**  
**Fire Department**  
**380 Congress Street**  
**Portland, Maine 04101**

**Fire Inspection Violations**

<b>Business</b> 264-266 STEVENS	<b>Location</b> 264 STEVENS AVE	<b>Number</b> 57111-0-0	<b>Inspection Type</b> FP Routine Inspection
<b>Owner/Manager</b> NADEAU JAMES D	<b>CBL</b> 177 B017001	<b>Inspector</b> ERIC DUNN Shift: 001 Unit: L3	

<b>Code</b>	<b>Type</b>	<b>Location</b>	<b>Inspection Date</b>	<b>Target Compliance</b>	<b>Actual Compliance</b>
1	<b>TITLE 25</b>	Does not meet State exit Law	Rear wooden ladder/ metal escape ladder is unsafe	8/17/04	9/19/04

CITY OF PORTLAND  
Fire Department  
380 Congress Street  
Portland, Maine 04101

Fire Inspection Violations

<b>Business</b> 264-266 STEVENS AVE 3 UNIT	<b>Location</b> 0264 STEVENS AVE	<b>Number</b> 57111-0-0	<b>Inspection Type</b> FP Routine Inspection
<b>Owner/Manager</b> NADEAU JAMES D	<b>CBL</b> 177 B017001	<b>Inspector</b> BRAD C JAMES Shift: 001 Unit: L3	

Code	Type	Location	Inspection Date	Target Compliance	Actual Compliance
2	NFPA70 <sup>Light fixture</sup> <del>Incorrect fuse size</del>	1st floor rear porch	8/5/06	9/21/07	
3	OCC3.4.4 Smoke detector required	hard wired battey backed interconnected oke	8/5/06	9/21/07	

# SITE PLAN - REQUEST FOR BUILDING PERMIT

## GENERAL NOTES:

GEOMETRIC SHAPE OF LOT PER CURRENT DEED AND MUNICIPAL ASSESSORS MAP 177.

THIS IS NOT A BOUNDARY SURVEY.

CURRENT USE IS LEGAL NON-CONFORMING RESIDENTIAL.

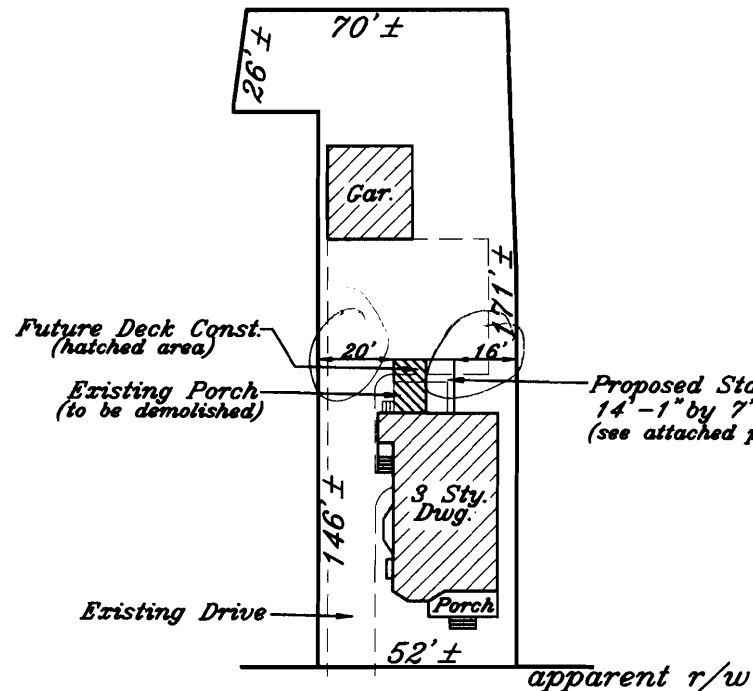
THE SOLE PURPOSE OF THIS SITE PLAN IS TO OBTAIN A BUILDING PERMIT TO REPLACE EXISTING REAR DECK/PORCH WITH A NEW STAIRWELL WHICH CONFORMS TO FIRE CODE.

SEE LETTER DATED AUGUST 20, 2207 (ATTACHED) FOR BENJAMIN WALLACE, JR. FPO PORTLAND FIRE DEPARTMENT

ADDRESS: 264-266 Stevens Avenue  
Portland, Maine

INSP. DATE: 10-15-2007

SCALE: 1" = 50'



12-5 Zone

Front: N/A

Sides: 12' min Reg- 2 story 16' 4" 20' given

REAR: 20' min 20' + slope

40% lot cov. ok

JDN

RECORD OWNER: James D. Nadeau  
MAILING ADDRESS: 85 Rackleff Street  
Portland, Maine 04103

FILE # 207995

## TITLE REFERENCE:

DEED BOOK: 20654 PAGE: 232

COUNTY: Cumberland

## MUNICIPAL REFERENCE:

MAP: 177 BLOCK: B LOT: 17

James D. Nadeau, LLC  
Professional Land Surveyors

*[Signature]*  
10-15-07

918 BRIGHTON AVE. PH. (207) 878-7870  
PORTLAND, ME. 04102 F. (207) 878-7871

THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING

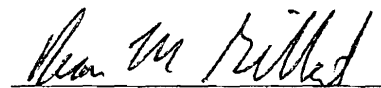
**WARRANTY DEED**  
Maine Statutory Short Form

MAINE REAL ESTATE TAX PAID

KNOW ALL PERSONS BY THESE PRESENTS That We, **Christopher D. Wilson and Anne N. Wilson** of Portland, County of Cumberland, State of Maine, for consideration paid, grant(s) to **James D. Nadeau** of Portland, County of Cumberland, State of Maine, with a mailing address of 85 Rackleff Street, Portland, Maine 04103, WITH WARRANTY COVENANTS the following:

A certain lot or parcel of land with the buildings thereon situated in the City of Portland, County of Cumberland and State of Maine, and being more particularly described in Exhibit A attached hereto and made a part hereof.

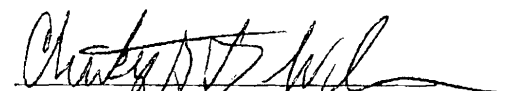
Witness our hand and seal this 8th day of December, 2003.



Witness

as to both

Witness



Christopher D. Wilson



Anne N. Wilson

State of Maine  
County of Cumberland

December 8, 2003

Personally appeared the above named **Christopher D. Wilson and Anne N. Wilson** and acknowledged the foregoing to be their free act and deed.

Before me,

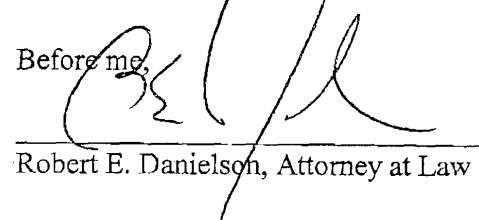
  
Robert E. Danielson, Attorney at Law

EXHIBIT A

A certain lot or parcel of land with any buildings thereon situated on the easterly side, but not abutting, Belfield Street, in the City of Portland, County of Cumberland, and State of Maine, bounded and described as follows:

Commencing at a stake at the southwesterly corner of land of one Angela Hutchins, said stake being one hundred forty-five and forty-eight hundredths (145.48) feet from the westerly side of Stevens Avenue, as measured along the southerly sideline of said land of Angela Hutchins; thence northerly forty-three and seventy-eight hundredths (43.78) feet to a stake marking the northwesterly corner of said land of Hutchins; thence westerly seventy-six (26) feet along the sideline between land being conveyed herein and land formerly of one N. Gerrish; thence southerly at a 90° angle to the last described bound; seventy (70) feet, more or less, to a point by on the sideline between Lot #1 and Lot #2 as shown on a plan made by H.I. & E.C. Jordan, Civil Engineers dated April 25, 1955; thence easterly along said sideline twenty-six (26) feet, more or less, to a point in the westerly sideline of Lot #10 as shown on said plan; thence northerly along said sideline to the point of beginning.

Also a certain lot or parcel of land together with the buildings thereon, situated on the Westerly side of Stevens Avenue, Portland, County of Cumberland and State of Maine, being numbered two hundred sixty-four (264) and two hundred sixty-six (266) Stevens Avenue, bounded and described as follows:

Beginning at a point in the Westerly side line of Stevens Avenue, which point is exactly three hundred eleven and ninety-five one hundredths (311.95) feet from the intersection of the Westerly side line of said Stevens Avenue, with the Northerly side line of Brighton Avenue; thence in a Northeasterly direction along the Westerly side line of said Stevens Avenue, fifty-two (52) feet to a stake; thence in a Westerly direction and along the Southerly side line of lot numbered (12) as shown on plan made by H.I. & E.C. Jordan, Civil Engineers, dated April 25, 1955, one hundred thirteen and fifty-four one hundredths (113.54) feet to an iron in property now or formerly of one N. Gerrish; thence in a Southerly direction and along land of said N. Gerrish, thirty-one and seventy-two one hundredths (31.72) feet to a stake; thence in a Southerly direction and along the Easterly side line of lot numbered one (1) as shown on said plan, forty-three and seventy-eight one hundredths (43.78) feet to a stake; thence in an Easterly direction and along the Northerly side line of lot numbered ten (10) as shown on said Plan, one hundred forty-five and forty-eight one hundredths (145.48) to a stake in the Westerly side line of said Stevens Avenue and the point of beginning.

Being the same premises described in a deed from Kevin Hutchins to Christopher D. Wilson and Anne N. Wilson dated 06/29/2001 and recorded in the Cumberland County Registry of Deeds in Book 16486, Page 47.

Received  
Recorded Register of Deeds  
Dec 09, 2003 03:40:51P  
Cumberland County  
John B. O'Brien

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	177 B017001
Location	264 STEVENS AVE
Land Use	THREE FAMILY
Owner Address	NADEAU JAMES D 264 STEVENS AVE PORTLAND ME 04103
Book/Page	20654/232
Legal	177-B-17 STEVENS AVE 264-266  9213 SF

Current Assessed Valuation

Land	Building	Total
\$91,400	\$244,700	\$336,100

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1929	Old Style	2	3067	0.212	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
6	3		9	Full Finsh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1986	22X24	C	A

Sales Information

Date	Type	Price	Book/Page
12/09/2003	LAND + BLDING	\$282,000	20654-232
07/03/2001	LAND + BLDING	\$230,000	16486-047

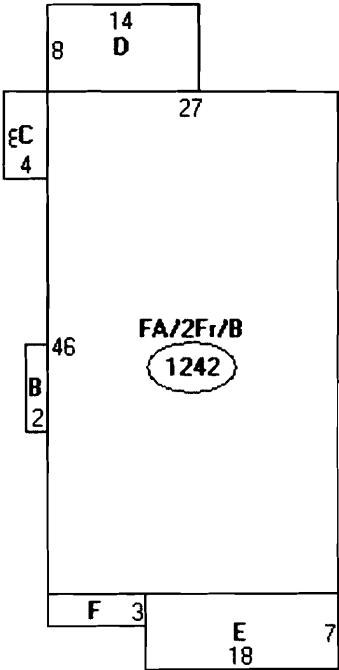
Picture and Sketch

Picture	Sketch	Tax Map
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Click here to view Tax Roll Information.  
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search!**

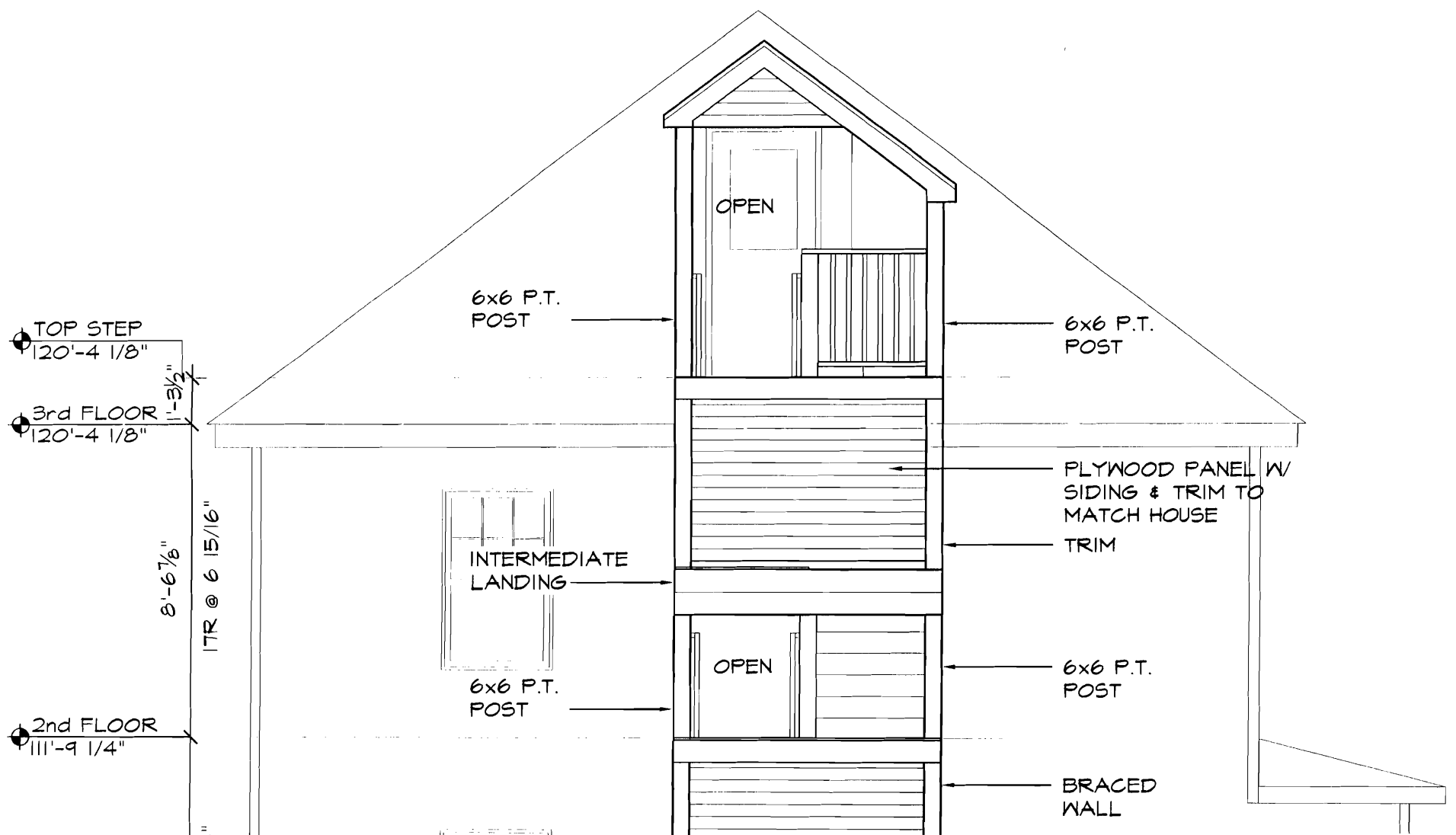


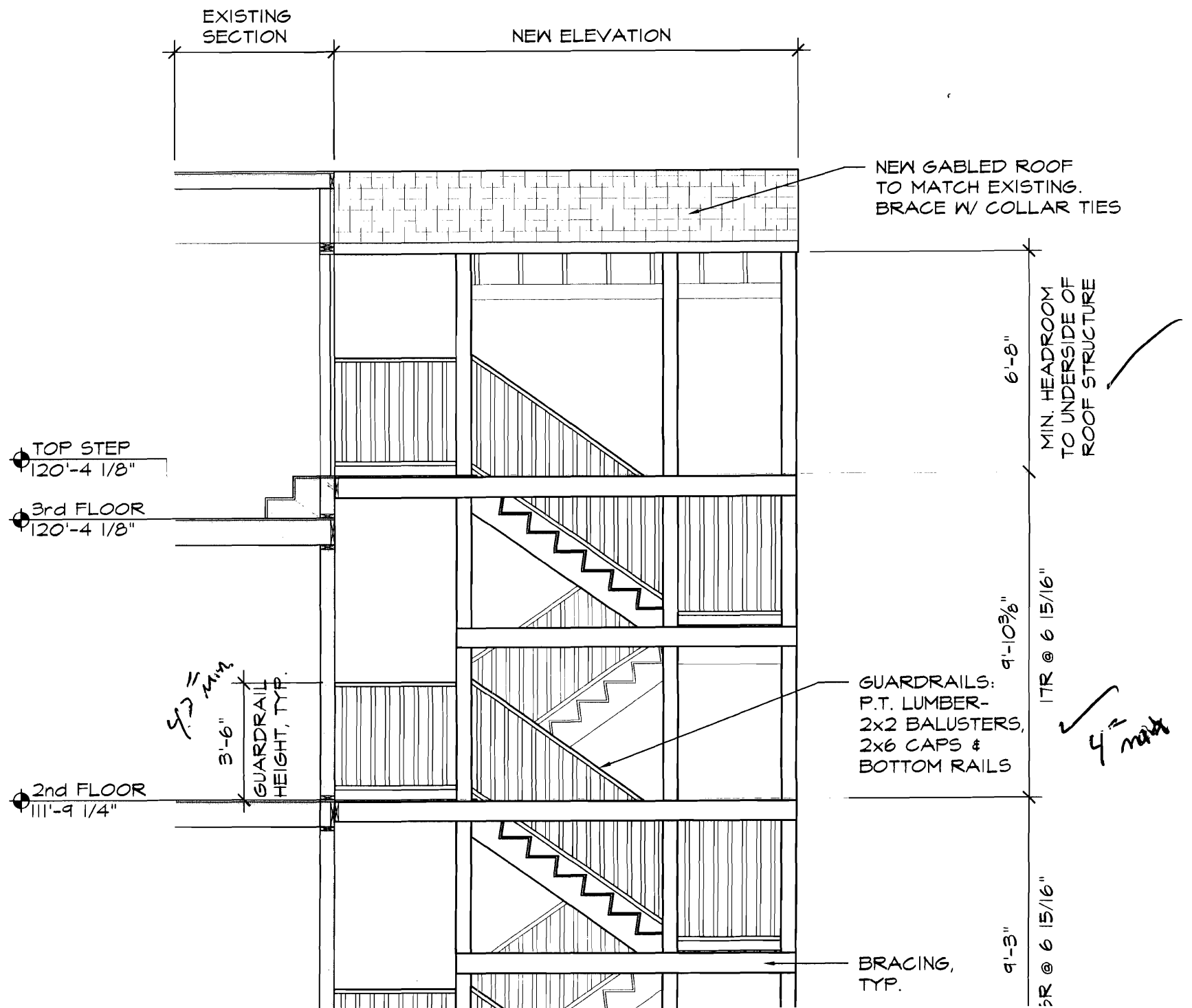


Descriptor/Area

- A: FA/2Fr/B  
1242 sqft
- B: 2FBAY  
16 sqft
- C: EP  
32 sqft
- D: OP/OP  
112 sqft
- E: OFP  
126 sqft
- F: 2FBAY/B  
27 sqft









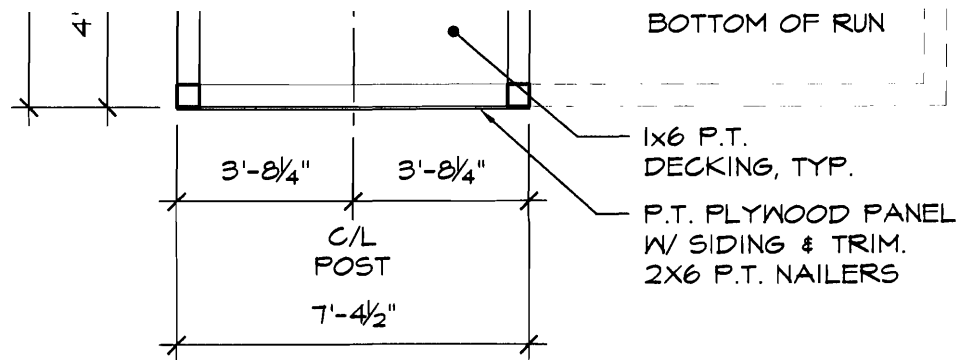
DEPTH TO  
NOSING

BOTTOM OF RUN

3

### TREAD/RISER DETAIL

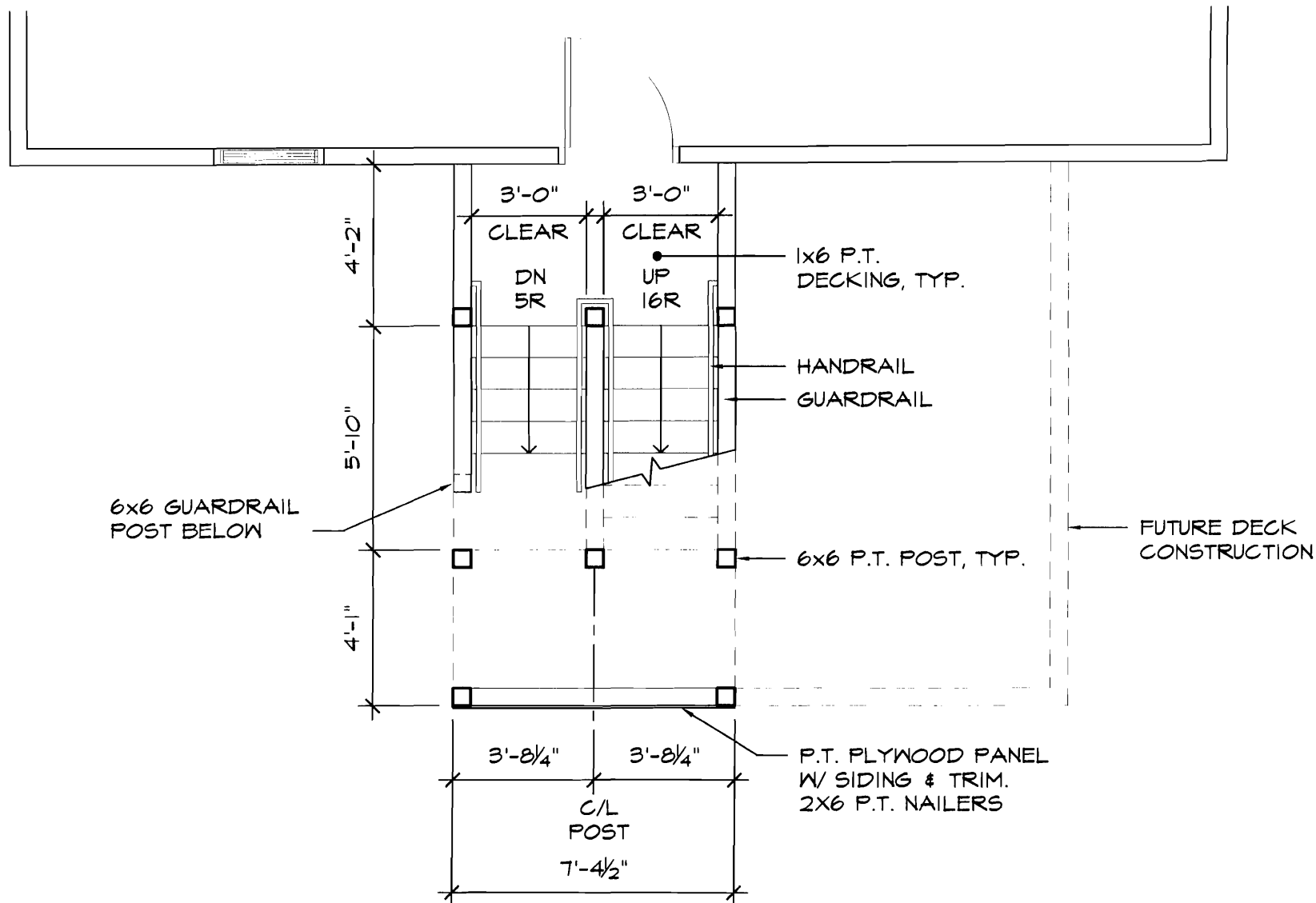
3/4" = 1'-0"



2

### SECOND FLOOR

1/4" = 1'-0"



1

### FIRST FLOOR

1/4" = 1'-0"

ARCHITECTURE  
INTERIOR DESIGN  
PLANNING

49 DARTMOUTH STREET  
PORTLAND, MAINE 04101  
www.pdtarchs.com

© 2007 PDT Architects

264-266 Stevens Avenue  
PORTLAND, MAINE

TITLE  
Plans

JOB NO 00-000

DATE 10 OCTOBER 2007

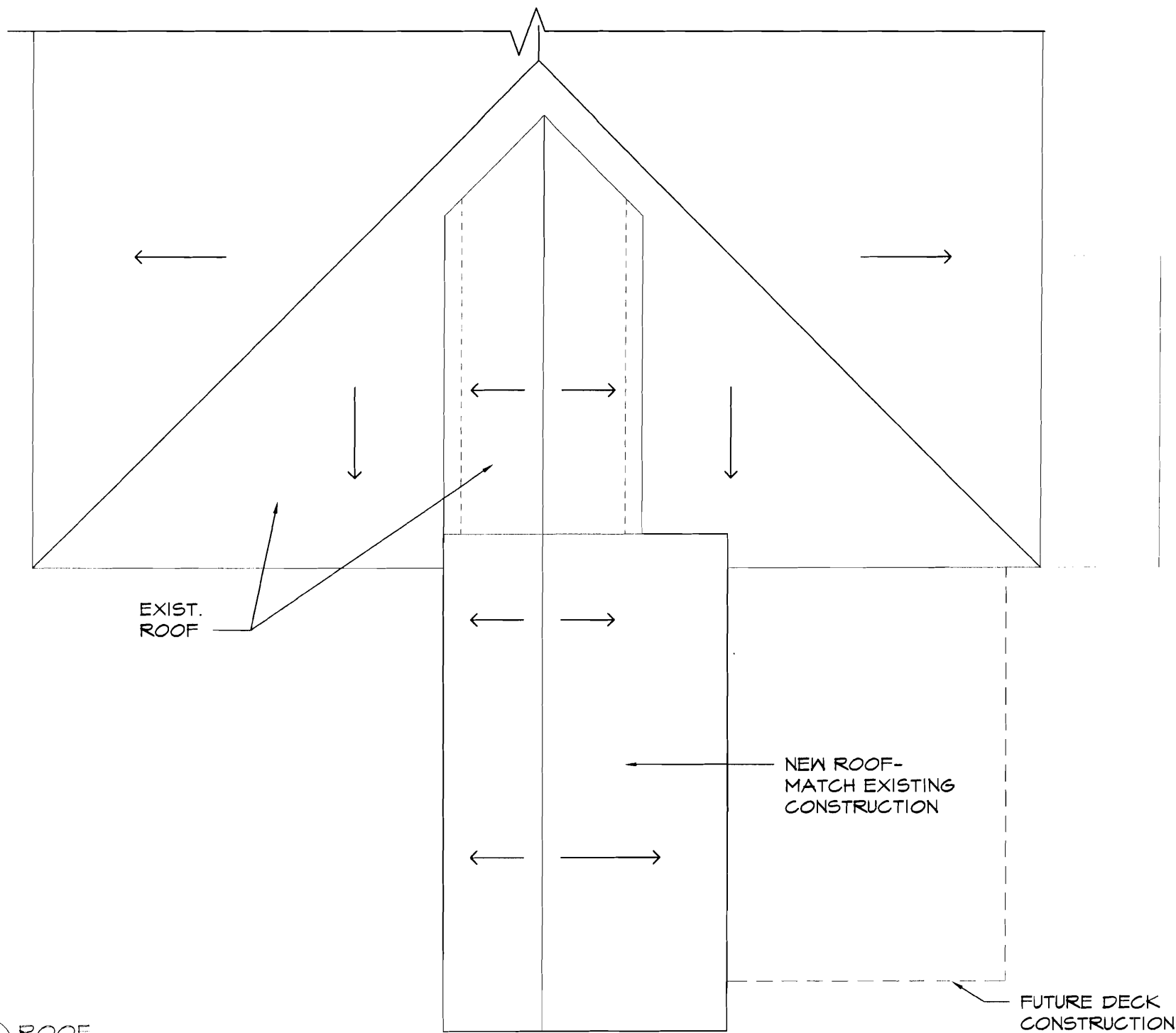
SCALE 1/4"=1'-0"

SHEET

AI

ARCHITECTS

Oct 11, 2007 - 11:33am



2 ROOF  
1/4" = 1'-0"

