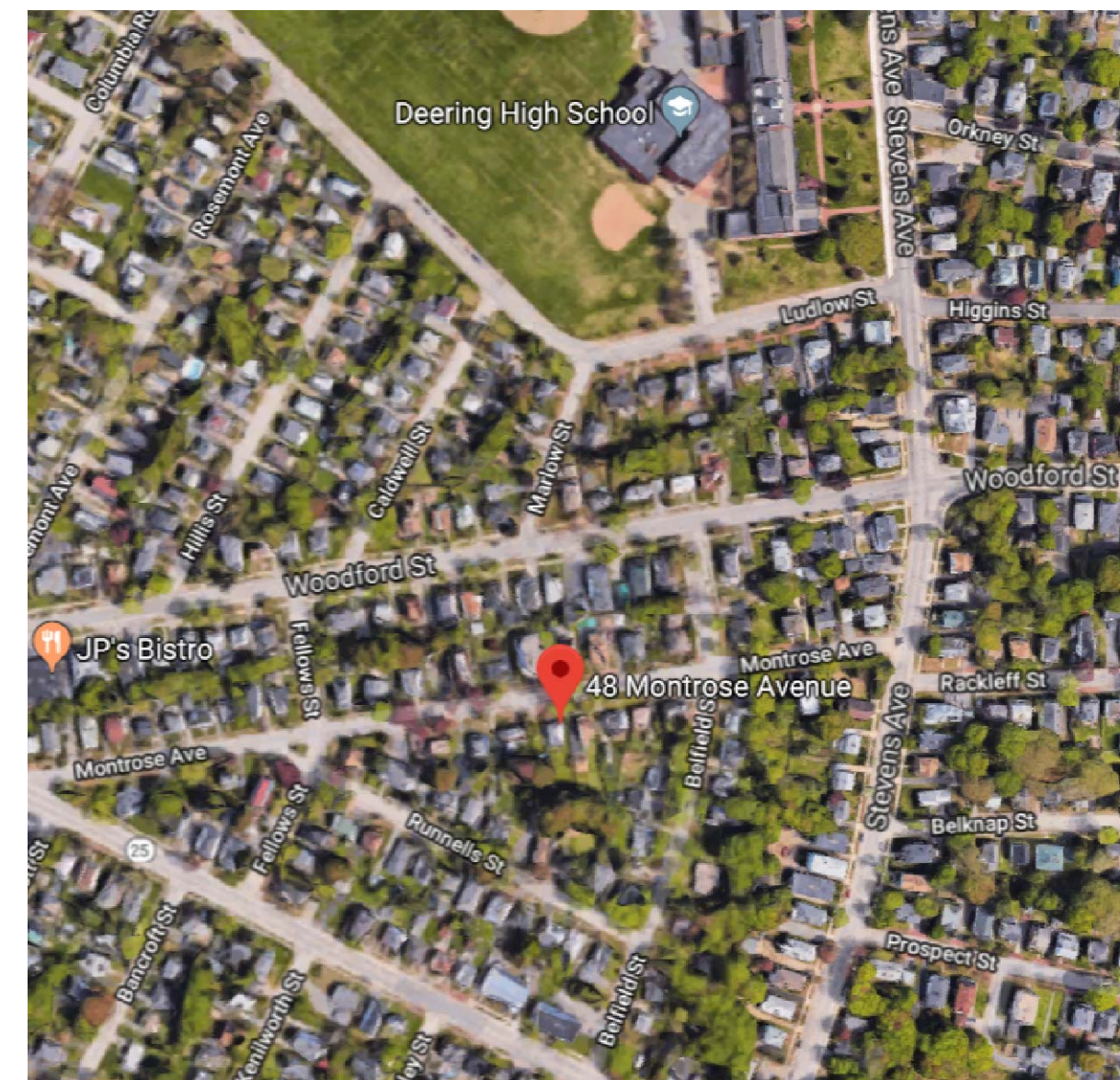
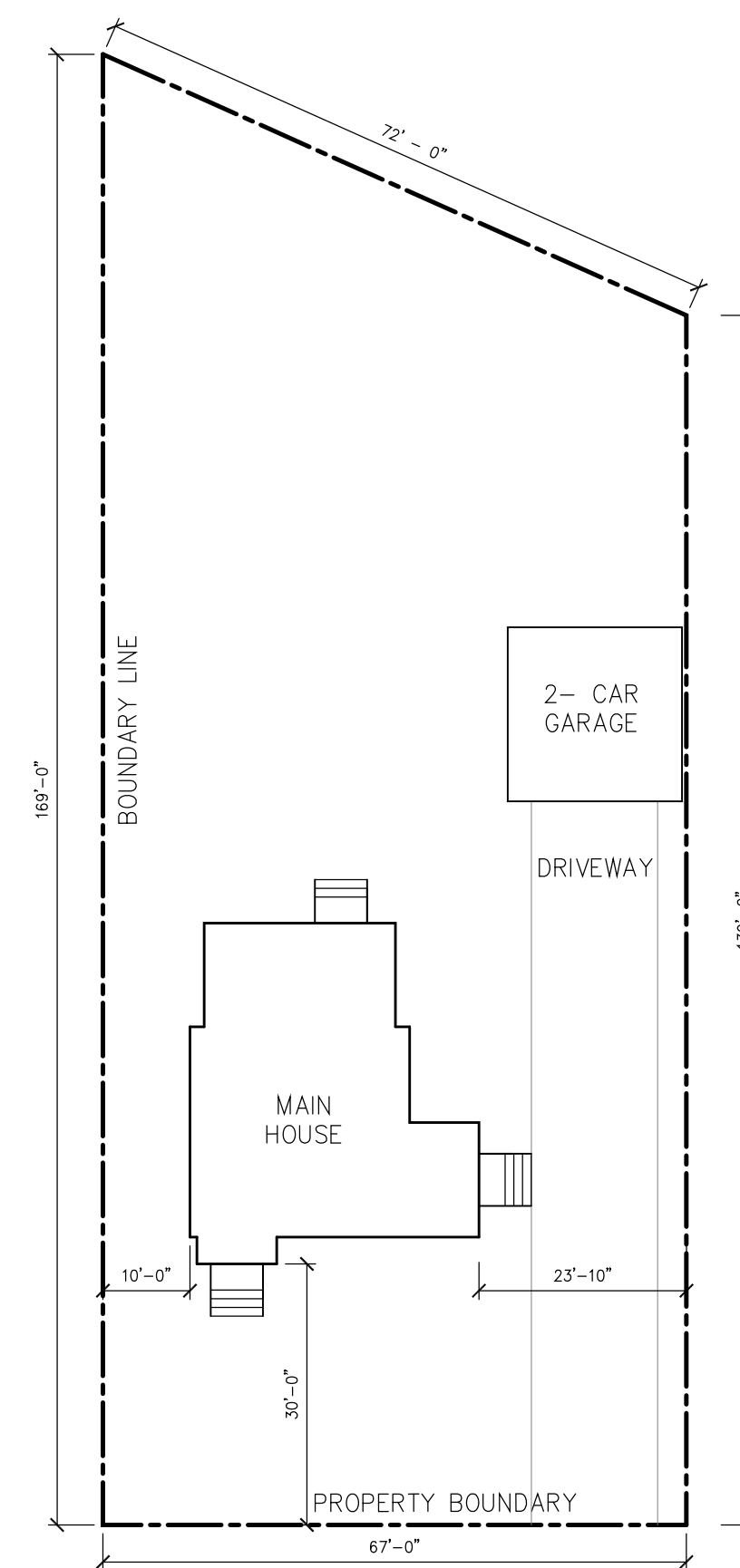


**DRAWING LIST:**

- G1.0 TITLE SHEET, INDEX, PLOT PLAN, LIFE SAFETY NOTES, SCHEDULES
- A1.0 EXISTING/DEMO PLANS
- A1.1 PROPOSED FLOOR PLANS
- A1.2 ROOF PLAN AND DETAILS
- A2.0 BUILDING ELEVATIONS
- A2.1 BUILDING ELEVATIONS
- A3.0 BUILDING SECTIONS
- E.M.P ELECTRICAL, MECHANICAL, AND PLUMBING CONSIDERATIONS
- S1 FLOOR FRAMING PLANS
- S2 FRAMING DETAILS



LOCATION REFERENCE GOOGLE IMAGE 1  
NO REFERENCE



GRAPHIC SCALE 0' 5' 10' 20' 40'  
PROJECT NORTH  
PLOT PLAN 2  
1" = 20'

**PROJECT TEAM**

ARCHITECT – JAKE KEELER, JAKE KEELER DESIGN BUILD  
STRUCTURAL ENGINEER – JOE LEASURE, L&L STRUCTURAL ENGINEERS

**PROJECT SUMMARY**

EXISTING PROPERTY IS A SINGLE FAMILY RESIDENTIAL. THE OWNERS WOULD LIKE TO UPDATE ALL FINISHES AND SYSTEMS IN THE HOUSE, AND REPAIR SOME OF THE DAMAGED EXTERIOR FINISHES. THE REAR SUNROOM WALLS WILL BE REMOVED AND A NEW 2-STORY ADDITION WILL BE BUILT ON THE EXISTING 8" WIDE CONCRETE FROST WALL. ALL WORK EXCEPT FOR (2) NEW SMALL EXTERIOR STAIRS ARE WITHIN THE EXISTING BUILDING FOOTPRINT. NO NEW SERVICES FROM THE STREET. NO INCREASE IN EXISTING BUILDING HEIGHT. CONTINUES SAME USE AS SINGLE FAMILY RESIDENTIAL.

**LIFE SAFETY NOTES**

NO CHANGES TO EXTERIOR BUILDING FOOTPRINT, AS PART OF THIS PROJECT. NO CHANGE TO EXISTING STAIRS BETWEEN 1ST AND 2ND FLOOR. ALL BEDROOMS HAVE AN OPERABLE WINDOW OF EGRESS OPENING SIZE.

NEW SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS TO BE INSTALLED/REVIFIED/UPDATED IN ENTIRE HOUSE AS PER CODE. SEE EMP FOR SMOKE/CO DETECTOR LAYOUT

**GENERAL CONSTRUCTION NOTES:**

1. STRUCTURE LOCATIONS ARE APPROXIMATE AND FOR REFERENCE. TO BE VERIFIED IN FIELD.
2. CONTRACTOR TO PROVIDE SOLID BLOCKING AS REQUIRED AT TOILET ROOM PARTITIONS, ACCESSORIES, COUNTERTOPS, WALL HUNG EQUIPMENT AND SHELVING, TYPICAL THROUGHOUT.

**INSULATION AND ENERGY EFFICIENCY NOTES**

NEW INSULATION IN AREAS OF THE PROJECT IMPACTED BY THE WORK TO COMPLY WITH 2009 ENERGY CODE REQUIREMENTS. SEE A3.0.

**WINDOW SCHEDULE**

WINDOW	UNIT SIZE (WXH)	SILL HEIGHT AFF	NOTES
001/A	2'6" x 1'0"		RETAIN EXISTING
001/B	2'6" x 1'0"		RETAIN EXISTING
001/C	2'6" x 1'0"		RETAIN EXISTING
001/D	2'6" x 1'0"		RETAIN EXISTING
001/E	2'6" x 1'0"		RETAIN EXISTING
001/F	2'6" x 1'0"		RETAIN EXISTING
001/G	2'6" x 1'0"		RETAIN EXISTING
101/A	2'6"x2'6"		
102/A	2'6"x4'8"	24"	
102/B	2'6"x4'8"	24"	
102/C	2'6"x4'8"	24"	
103/A	2'6"x4'8"	24"	
104/A	2'6"x4'8"	24"	
105/A	2'6"x4'8"	24"	
105/B	2'6"x4'8"	24"	
106/A	2'6"x4'8"	24"	
106/B	2'6"x4'8"	24"	
106/C	2'6"x4'8"	24"	
106/D	2'6"x4'8"	24"	
106/E	2'6"x4'8"	24"	
106/F	2'6"x4'8"	24"	
106/G	2'6"x4'8"	24"	
106/H	2'6"x4'8"	24"	
201/A	2'6"x4'8"	24"	TEMPERED GLASS IN STAIRWAY
202/A	2'6"x4'8"	24"	
202/B	2'6"x4'8"	24"	EGRESS WINDOW CASEMENT
203/A	2'6"x4'8"	24"	EGRESS WINDOW CASEMENT
203/B	2'6"x4'8"	24"	
204/A	2'6"x4'8"	24"	TEMPERED GLASS IN BATHROOM
206/A	2'6"x4'8"	24"	TEMPERED GLASS IN BATHROOM
207/A	2'6"x4'8"	24"	EGRESS WINDOW CASEMENT
207/B	2'6"x4'8"	24"	EGRESS WINDOW CASEMENT
208/A	1'4"x2'6"	24"	
301/A	2'4"x3'0"	24"	
301/B	2'4"x3'0"	24"	

**WINDOW SPECIFICATIONS AND NOTES:**

1. SIZES ABOVE ARE GENERAL UNIT SIZES AND SHOULD BE FIELD MEASURED AND VERIFIED PRIOR TO ORDERING. ADJUST UNIT SIZES AND THUS ROUGH OPENINGS ACCORDING TO EXISTING OPENINGS OF EXISTING WINDOWS AND ALSO TO WINDOW PRODUCT (MARVIN INTEGRITY OR ANDERSEN 400)
2. EXTERIOR FULL SILL, SIDE JAMB, AND HEAD VICOR WINDOW AND DOOR FLASHINGS AROUND OPENINGS. INTEGRATE WITH BUILDING WRAP FOR FULL WATER DRAINAGE. ALUM HEAD FLASHING ABOVE HEAD CASINGS, TYP.
3. CONFIRM EXTERIOR AND INTERIOR WINDOW COLOR (WHITE INTERIOR AND BLACK EXTERIOR RECOMMENDED) AND GRILLE PATTERN (1/4" OR 3/8" RECOMMENDED) WITH OWNER CONFIRM DBH OR CASEMENT WINDOWS WITH OWNER
4. VERIFY SILL HEIGHTS AND PROXIMITY TO FALL HAZARDS IN BATHROOMS AND STAIRS FOR WINDOW TEMPERING REQUIREMENTS
5. WINDOWS MAX U VALUE = 0.35 TO COMPLY WITH ENERGY CODE

**DOOR SCHEDULE**

DOOR	UNIT SIZE (WXH)	GLAZING	NOTES
001/1	2'6"x6'8"	1/2 LITE	DOOR FOR ACCESS TO BASEMENT
101/1	2'8"x6'8"	1/4 LITE	FIBERGLASS ENTRY DOOR
101/2	2'0"x6'8"	--	CLOSET
103/1	2'8"x6'8"	1/4 LITE	FIBERGLASS ENTRY DOOR
104/1	2'6"x6'8"	--	
106/1	6'0"x6'8"	FULL LITE	SLIDING PATIO DOORS
202/1	2'6"x6'8"	--	
202/2	5'0"x6'8"		CLOSET DOORS
203/1	2'6"x6'8"		
203/2	5'0"x6'8"		CLOSET DOORS
204/1	2'6"x6'8"		
205/1	2'8"x6'8"		SLIDING BARN DOOR HARDWARE
206/1	2'8"x6'8"		SLIDING BARN DOOR HARDWARE
207/1	2'8"x6'8"		SLIDING BARN DOOR HARDWARE
208/1	2'8"x6'8"		SLIDING BARN DOOR HARDWARE

**DOOR SPECIFICATIONS AND NOTES:**

1. EXTERIOR DOORS TO BE FIBERGLASS DOORS WITH ROT PROOF FRAMES. EXAMPLE – THERMATRU, JELDWEN, ETC
2. EXTERIOR FULL SILL, SIDE JAMB, AND HEAD VICOR WINDOW AND DOOR FLASHINGS AROUND OPENINGS. INTEGRATE WITH BUILDING WRAP FOR FULL WATER DRAINAGE. ALUM HEAD FLASHING ABOVE HEAD CASINGS, TYP.
3. INTERIOR DOOR BROSCO INTERIOR DOOR. CONFIRM PANEL CONFIGURATION WITH OWNER
4. SIZES ABOVE FOR REFERENCE. CONFIRM ALL SIZES WITH OWNER AND FIELD MEASUREMENTS PRIOR TO ORDERING.

Jake Keeler

Design Build

43 Hardy Road  
Falmouth, ME 04105  
603-828-5100



Reviewed for Code Compliance  
Permitting and Inspections Department  
Approved with Conditions

03/06/2019

48 MONTROSE RENOVATION  
48 MONTROSE AVE

PORTLAND, ME

**TITLE:**

TITLE, INDEX, LIFE SAFETY NOTES

**DATE:**

1/16/19  
RV-1 2/14/19

**ISSUED FOR:**

PERMITTING

**DRAWING NO:**

G1



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Permitting and Inspections Department  
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03/06/2019

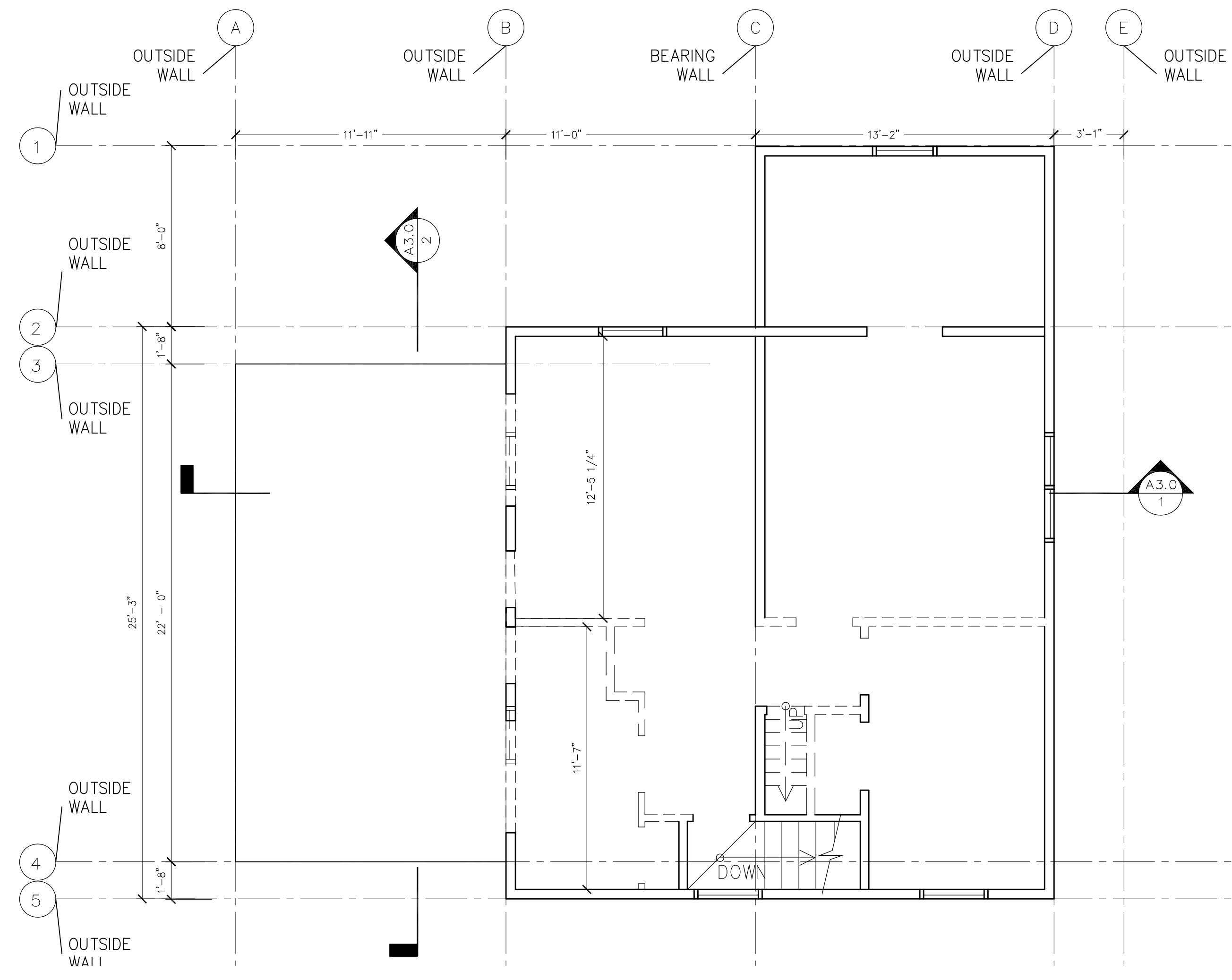
48 MONTROSE RENOVATION  
48 MONTROSE AVE  
PORTLAND, ME

TITLE:  
EXISTING/DEMO FLOOR PLANS

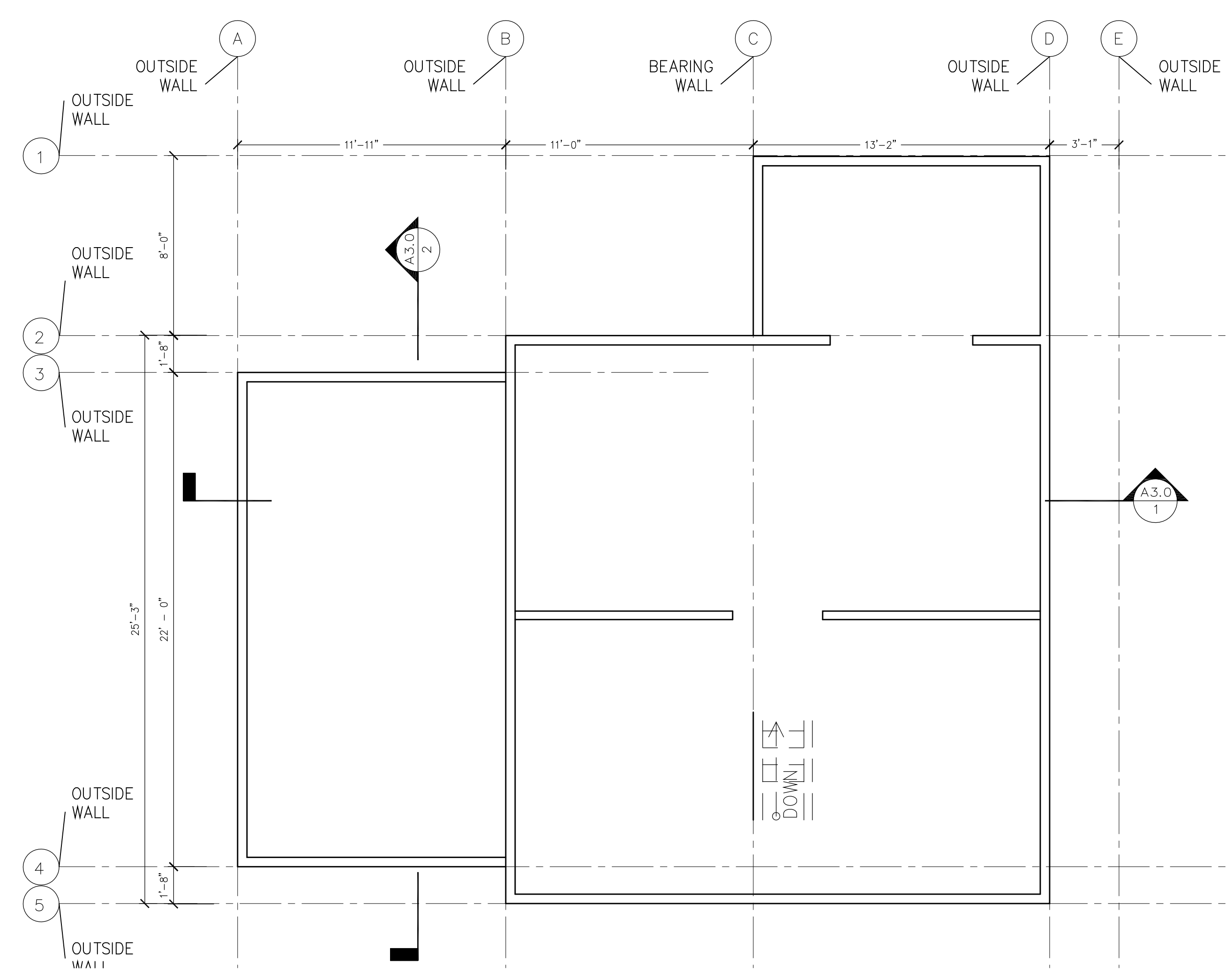
DATE:  
1/16/19  
RV-1 2/14/19

ISSUED FOR:  
PERMITTING

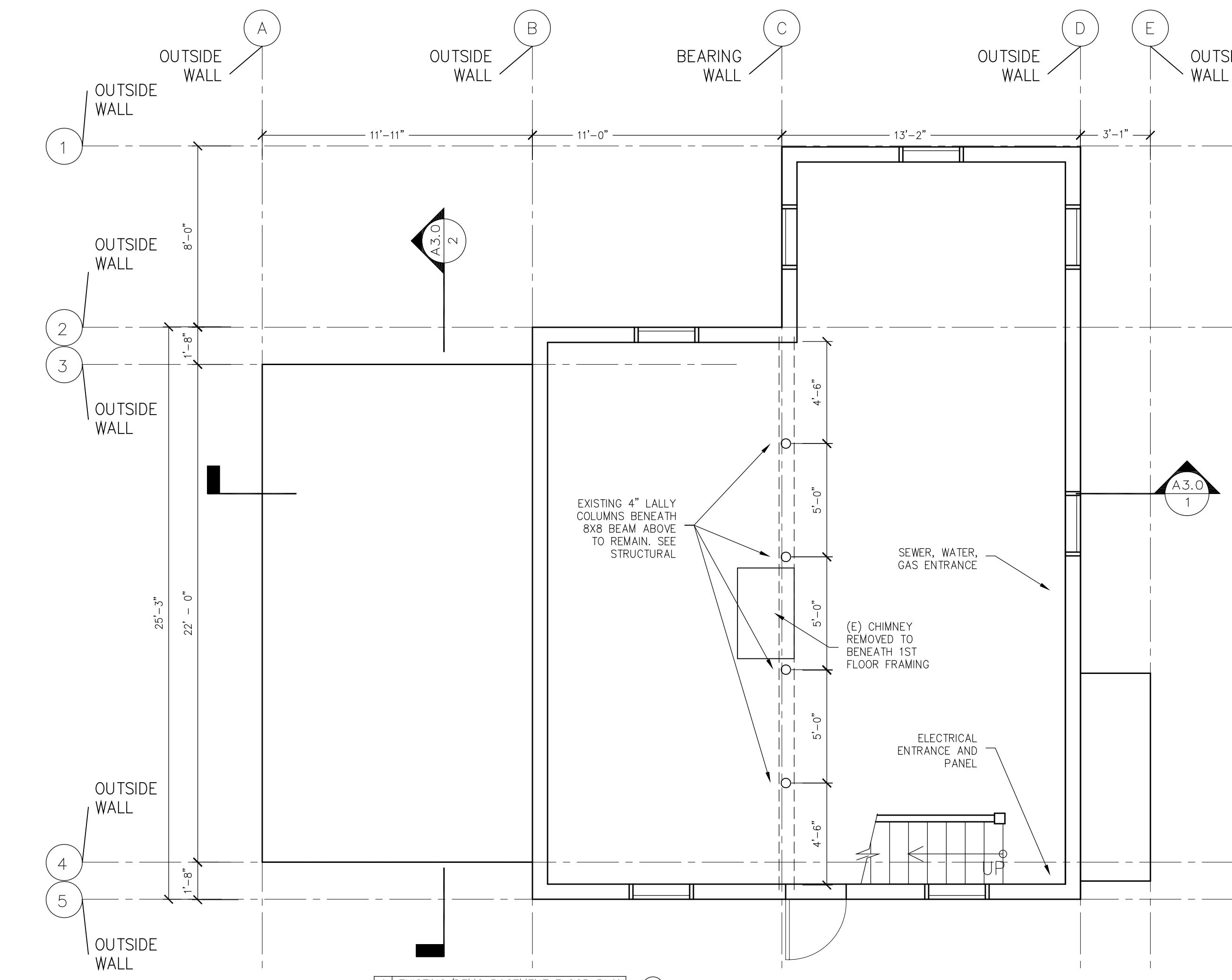
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A1.0



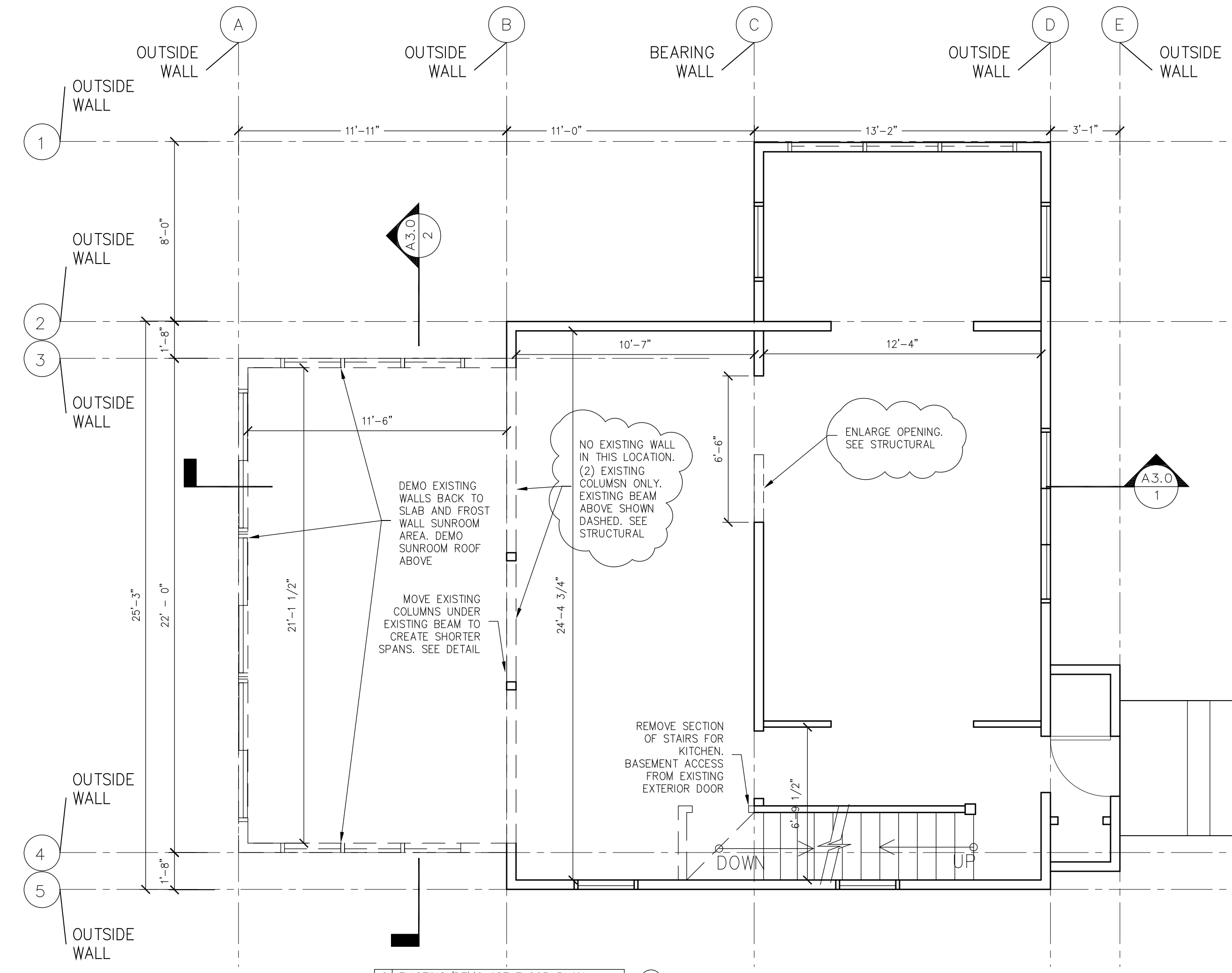
3 EXISTING/DEMO 2ND FLOOR PLAN  
1/4" = 1' - 0"



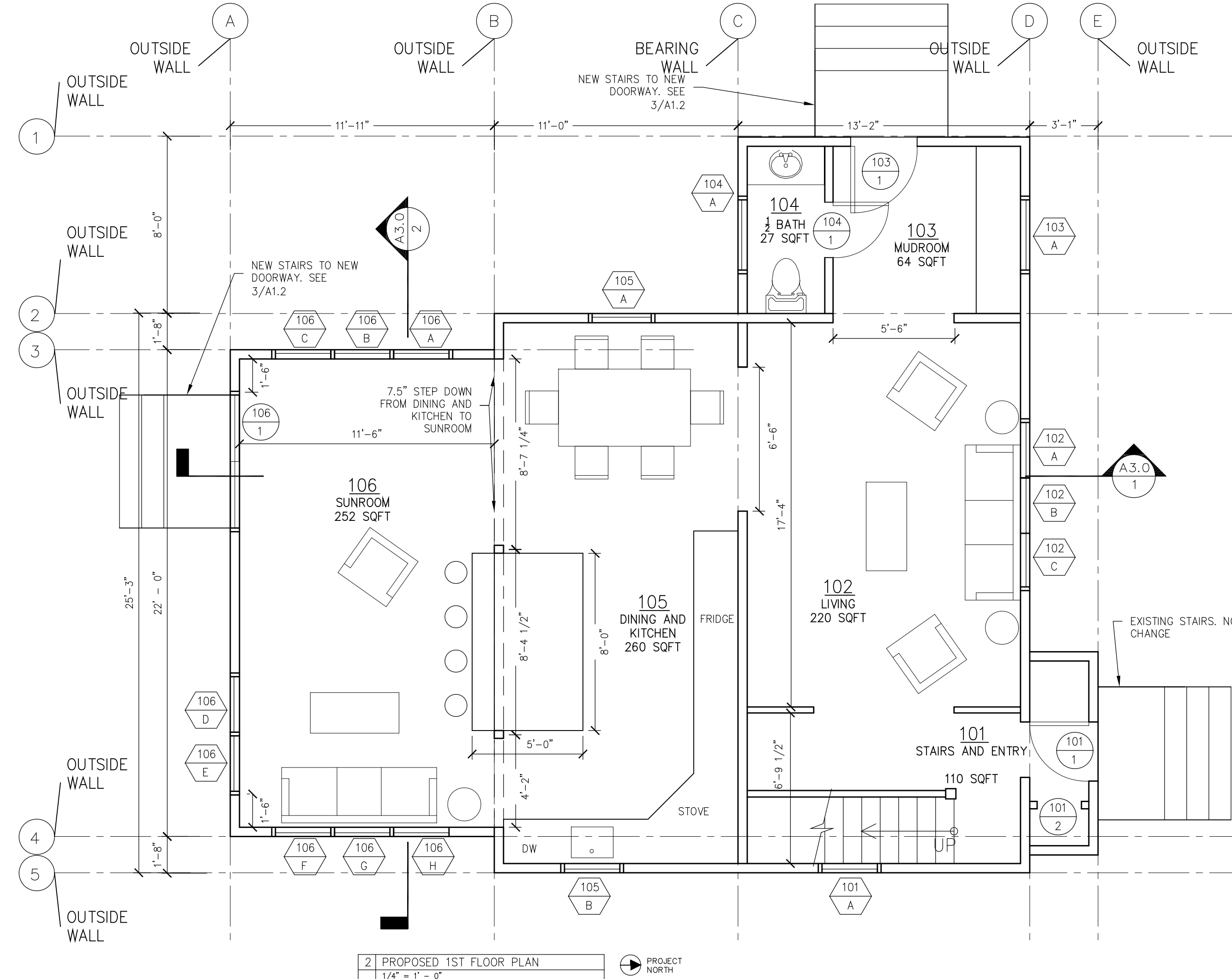
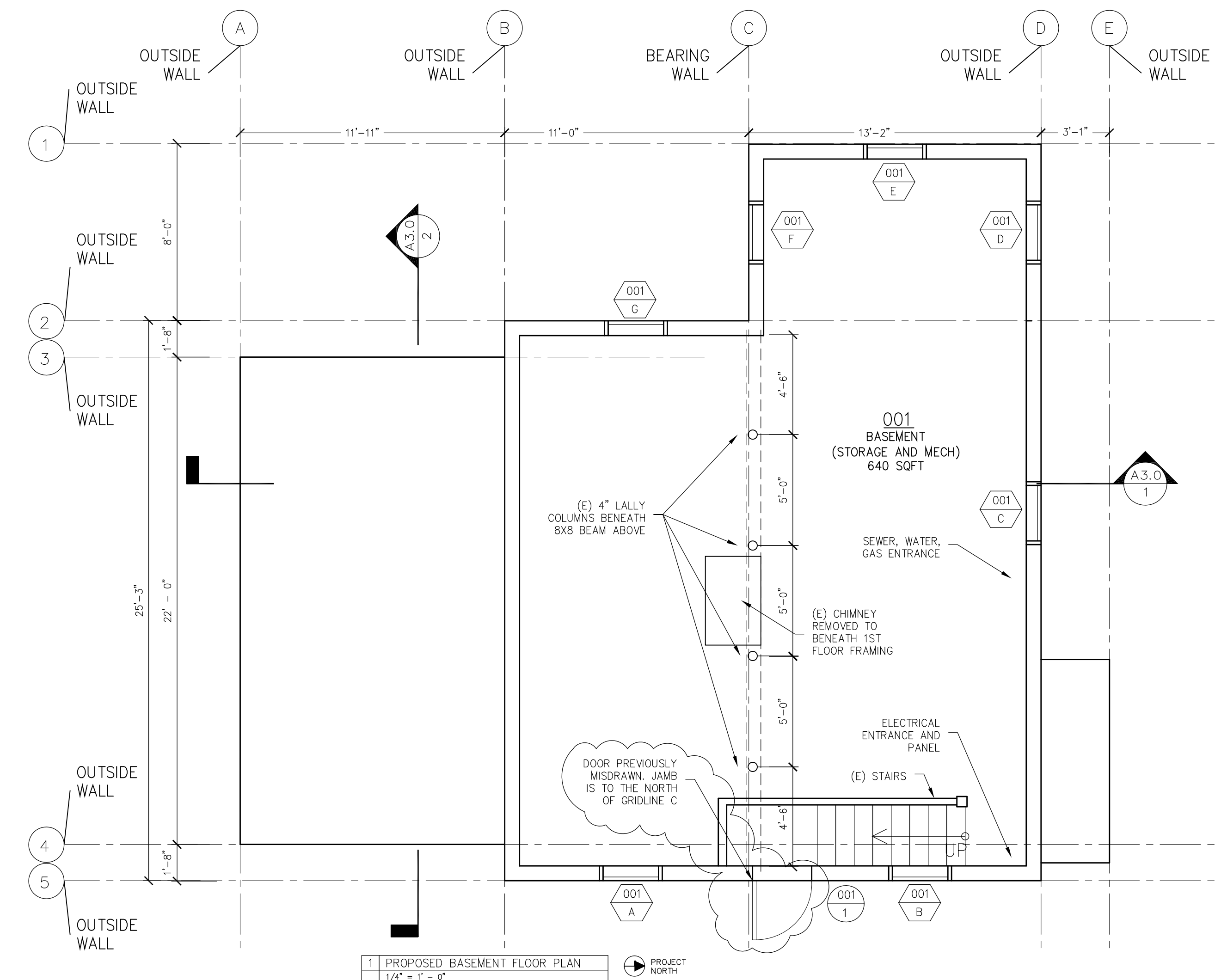
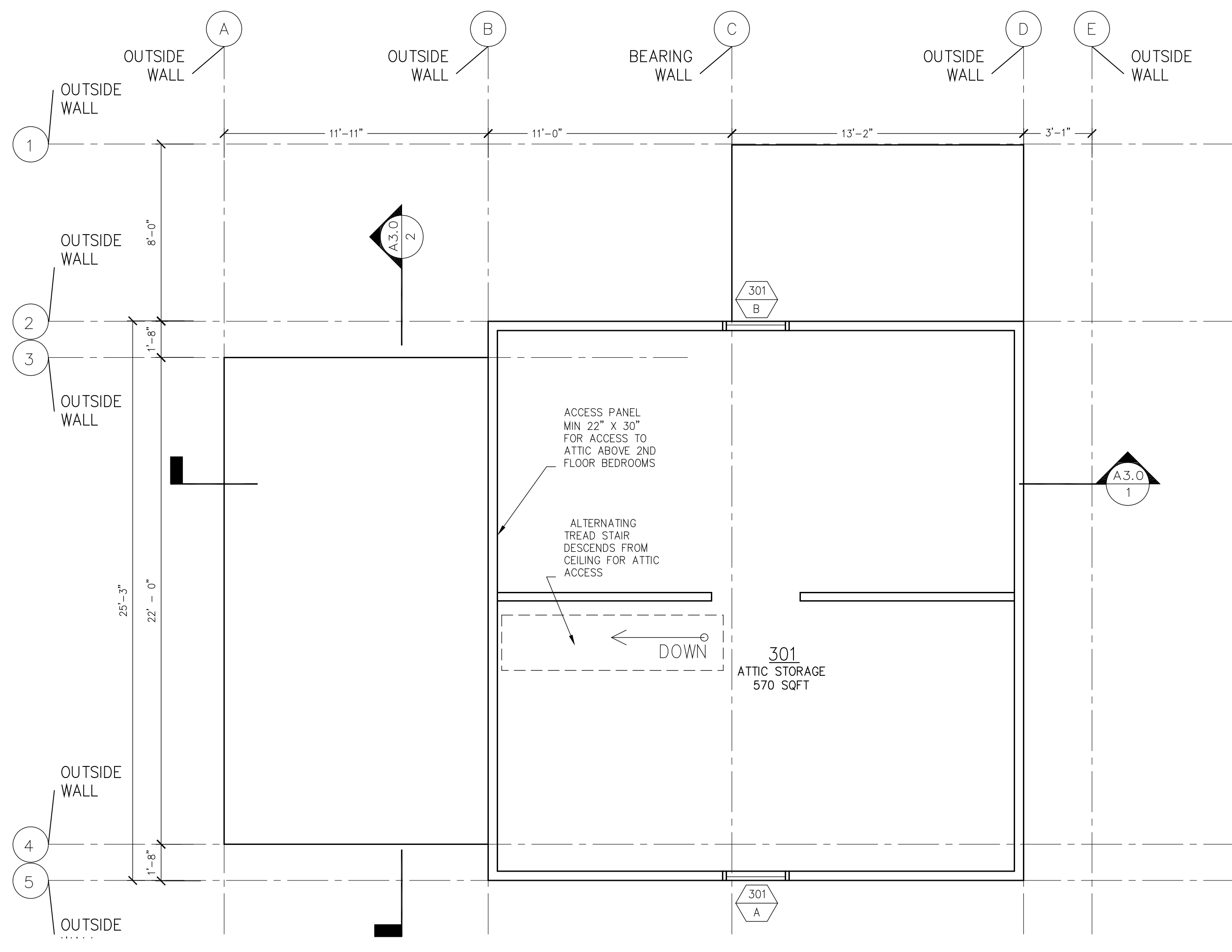
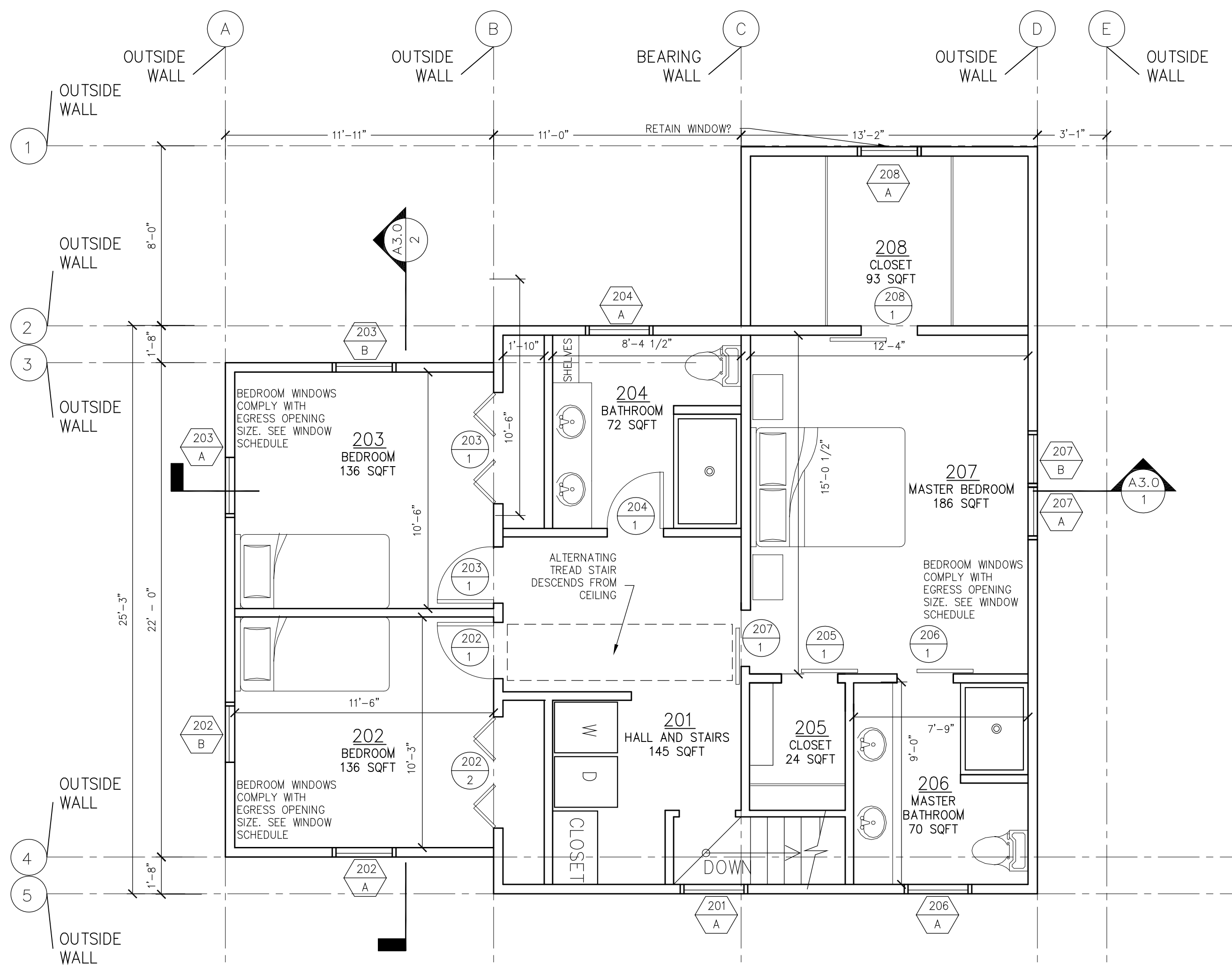
4 EXISTING/DEMO 3RD FLOOR PLAN  
1/4" = 1' - 0"



1 EXISTING/DEMO BASEMENT FLOOR PLAN  
1/4" = 1' - 0"



2 EXISTING/DEMO 1ST FLOOR PLAN  
1/4" = 1' - 0"



Jake Keeler

Design Build

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603-828-5100



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03/06/2019

48 MONTROSE RENOVATION  
48 MONTROSE AVE

PORTLAND, ME

TITLE:  
PROPOSED FLOOR  
PLANS

DATE:  
1/16/19  
RV-1 2/14/19

ISSUED FOR:  
PERMITTING

DRAWING NO:  
A1.1

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Design Build

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Falmouth, ME 04105  
603-828-5100



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Permitting and Inspections Department  
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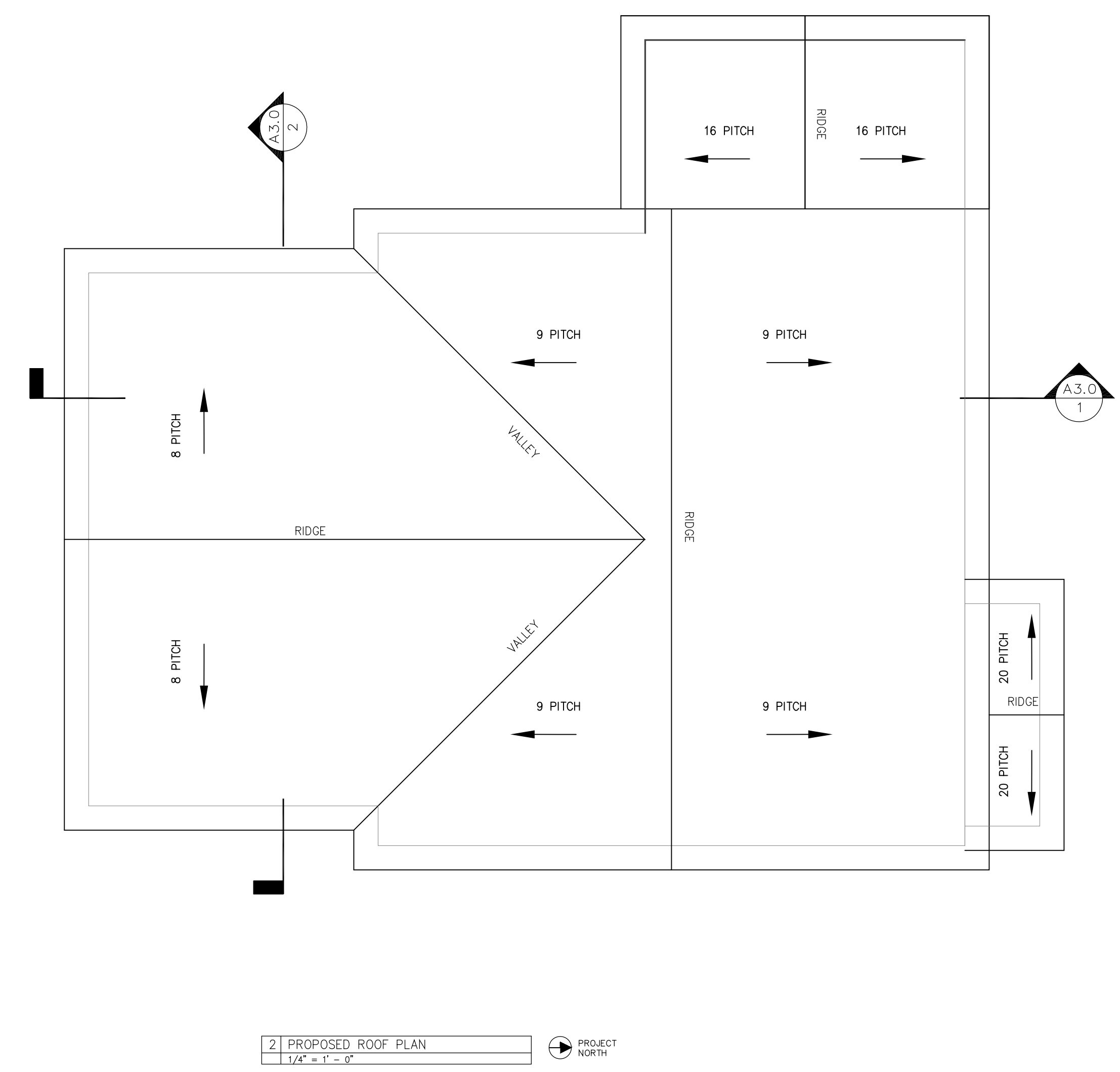
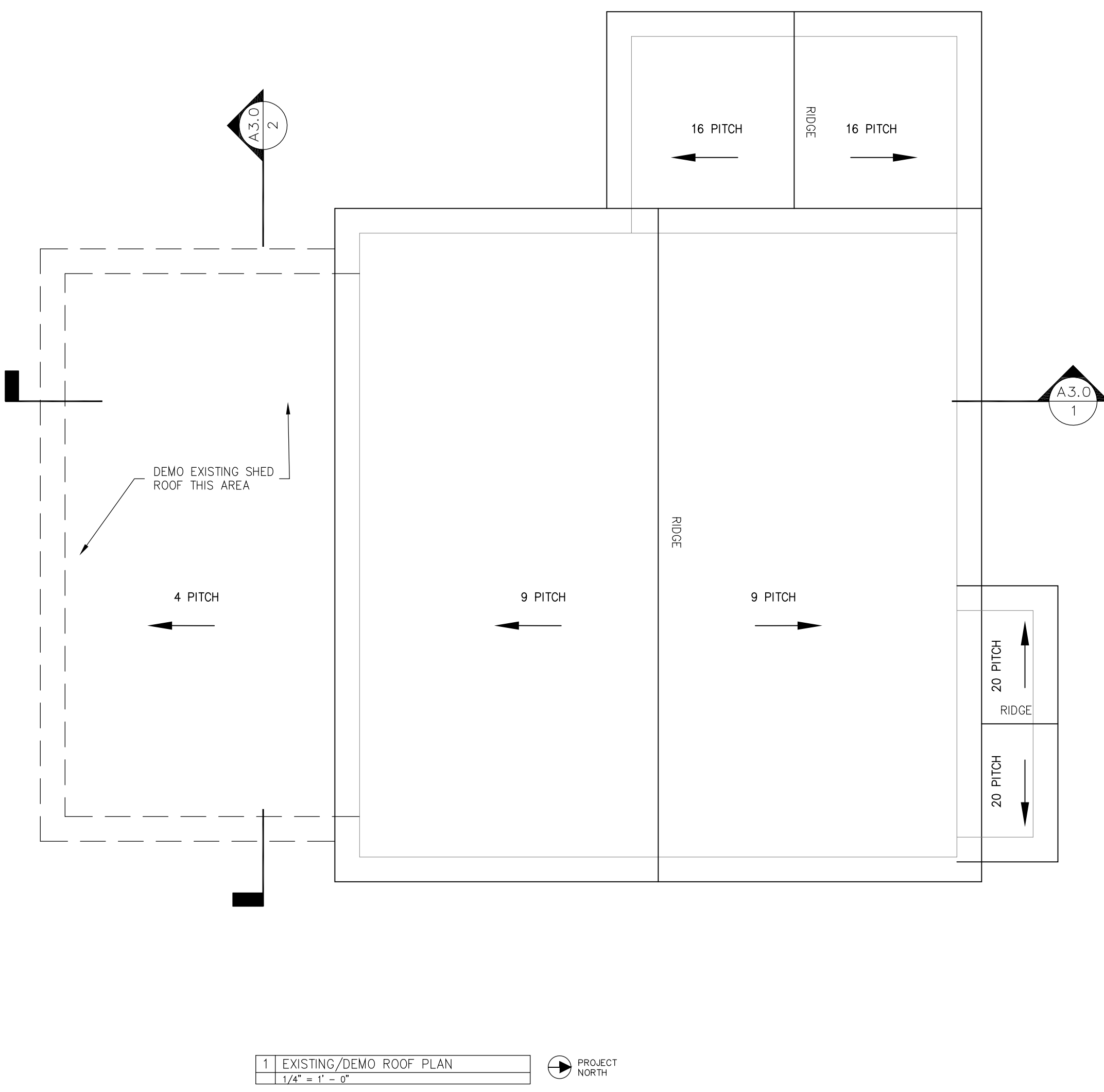
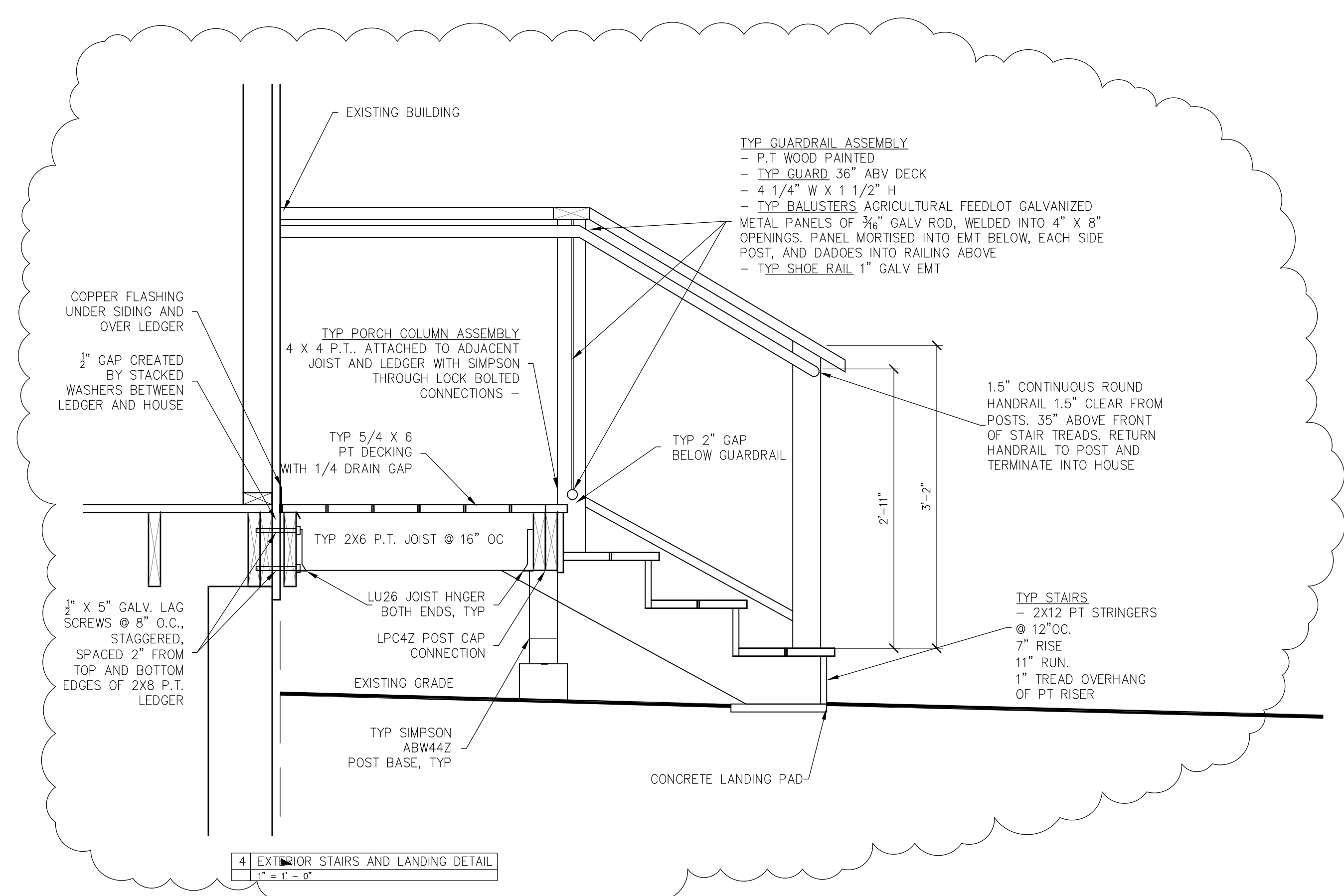
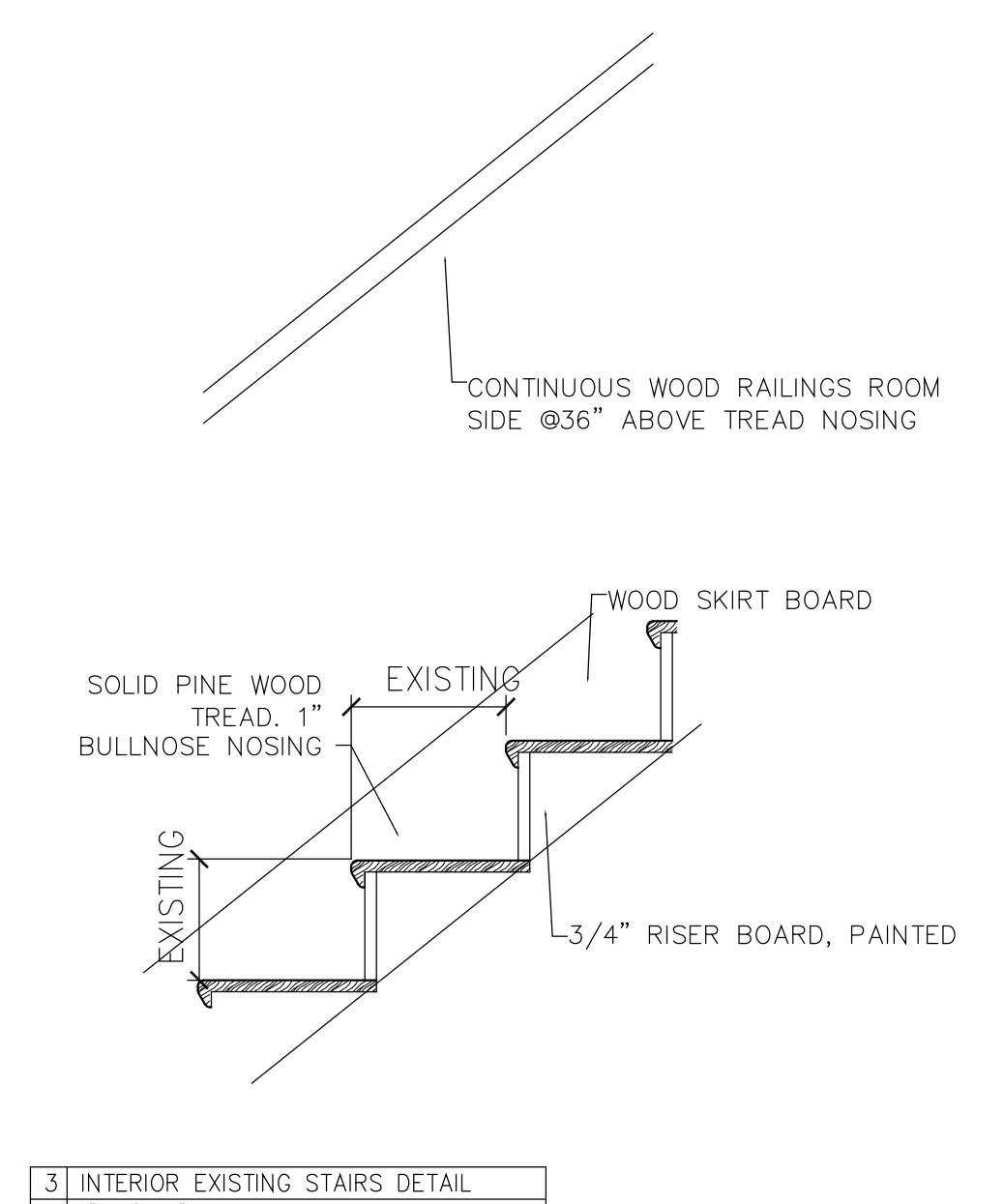
48 MONTROSE RENOVATION  
48 MONTROSE AVE  
PORTLAND, ME

**TITLE:**  
ROOF PLANS AND  
SCHEDULES

**DATE:**  
RV-1 1/16/19  
2/14/19

**ISSUED FOR:**  
PERMITTING

**DRAWING NO:**  
A1.2

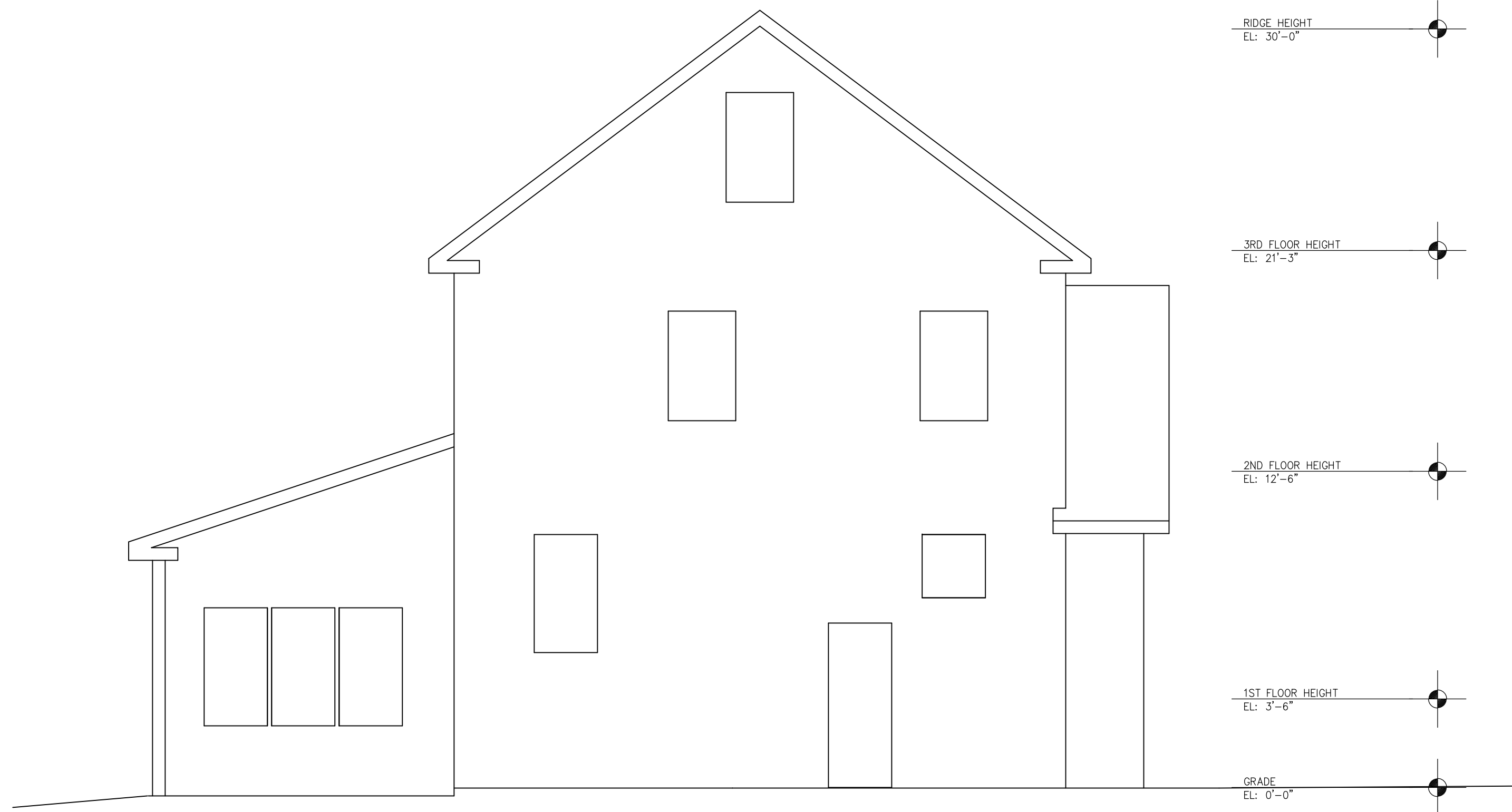


1 EXISTING/DEMO ROOF PLAN  
1/4" = 1' - 0"

2 PROPOSED ROOF PLAN  
1/4" = 1' - 0"



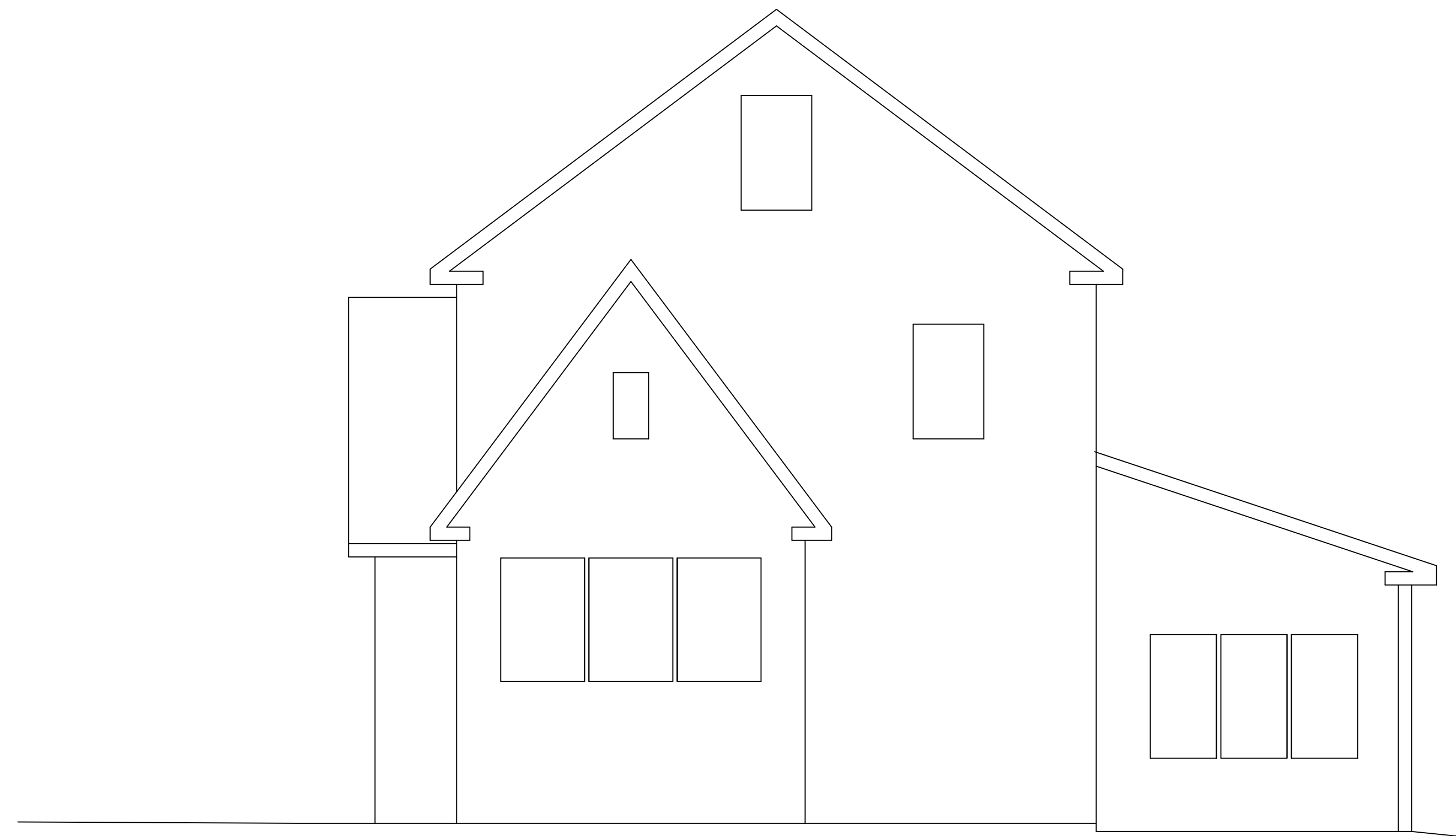
3 | EAST ELEVATION - PROPOSED  
1/4" = 1' - 0"



1 | EAST ELEVATION - EXISTING  
1/4" = 1' - 0"



4 | WEST ELEVATION - PROPOSED  
1/4" = 1' - 0"



2 | WEST ELEVATION - EXISTING  
1/4" = 1' - 0"

Jake Keeler  
Design Build

43 Hardy Road  
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Permitting and Inspections Department  
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03/06/2019

48 MONTROSE RENOVATION  
48 MONTROSE AVE  
PORTLAND, ME

TITLE:  
BUILDING  
ELEVATIONS

DATE:  
RV-1 1/16/19  
2/14/19

ISSUED FOR:  
PERMITTING

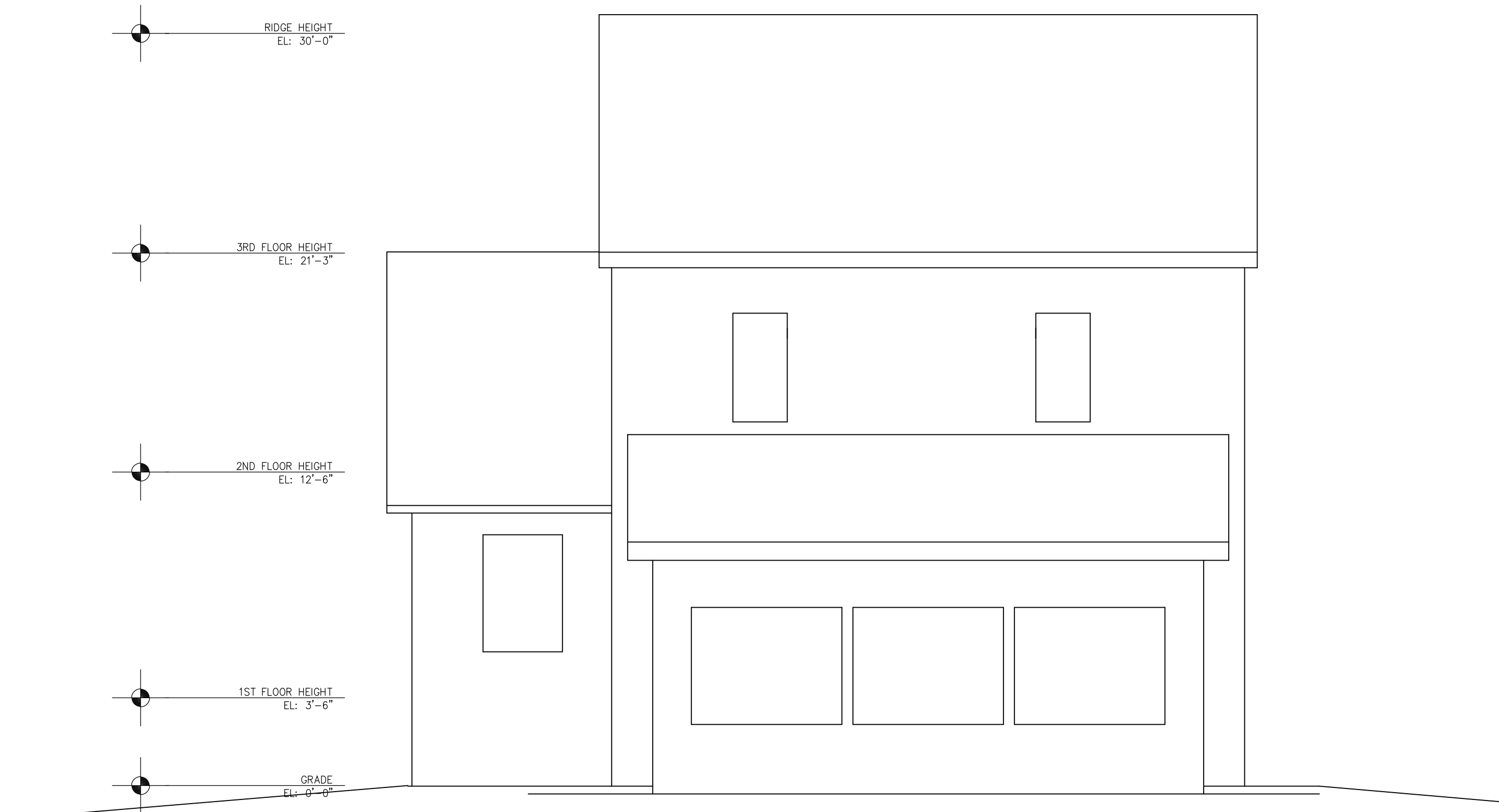
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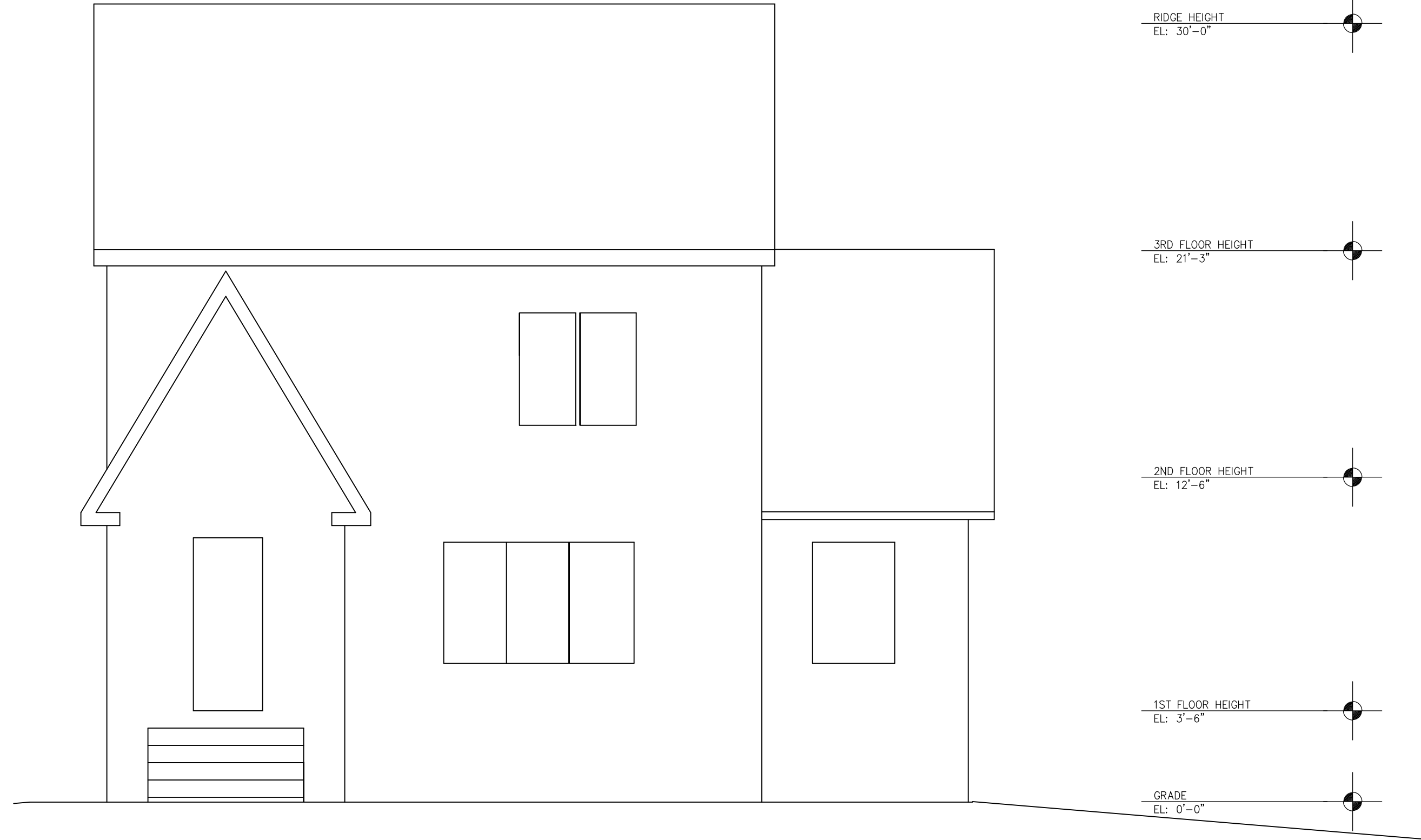
3 | SOUTH ELEVATION - PROPOSED  
1/4" = 1' - 0"



4 | NORTH ELEVATION - PROPOSED  
1/4" = 1' - 0"



1 | SOUTH ELEVATION - EXISTING  
1/4" = 1' - 0"



2 | NORTH ELEVATION - EXISTING  
1/4" = 1' - 0"

Jake Keeler

Design Build

43 Hardy Road  
Falmouth, ME 04105  
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Permitting and Inspections Department  
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03/06/2019

48 MONTROSE RENOVATION  
48 MONTROSE AVE  
PORTLAND, ME

**TITLE:**  
BUILDING  
ELEVATIONS

**DATE:**  
RV-1 1/16/19  
2/14/19

**ISSUED FOR:**  
PERMITTING

**DRAWING NO:**  
A2.1

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Falmouth, ME 04105  
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03/06/2019

48 MONTROSE RENOVATION  
48 MONTROSE AVE

PORTLAND, ME

TITLE:

BUILDING SECTIONS

DATE:

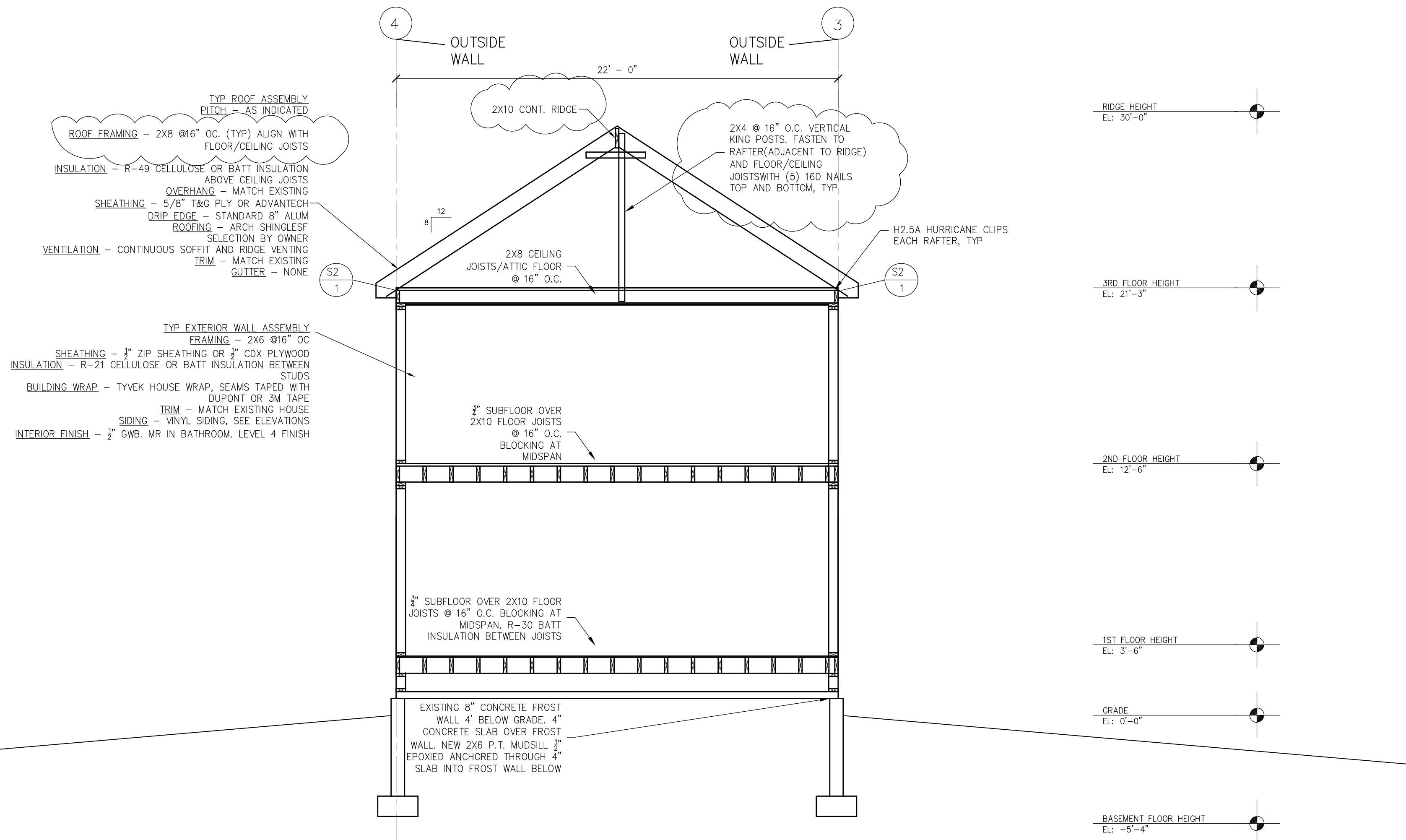
1/16/19  
RV-1 2/14/19

ISSUED FOR:

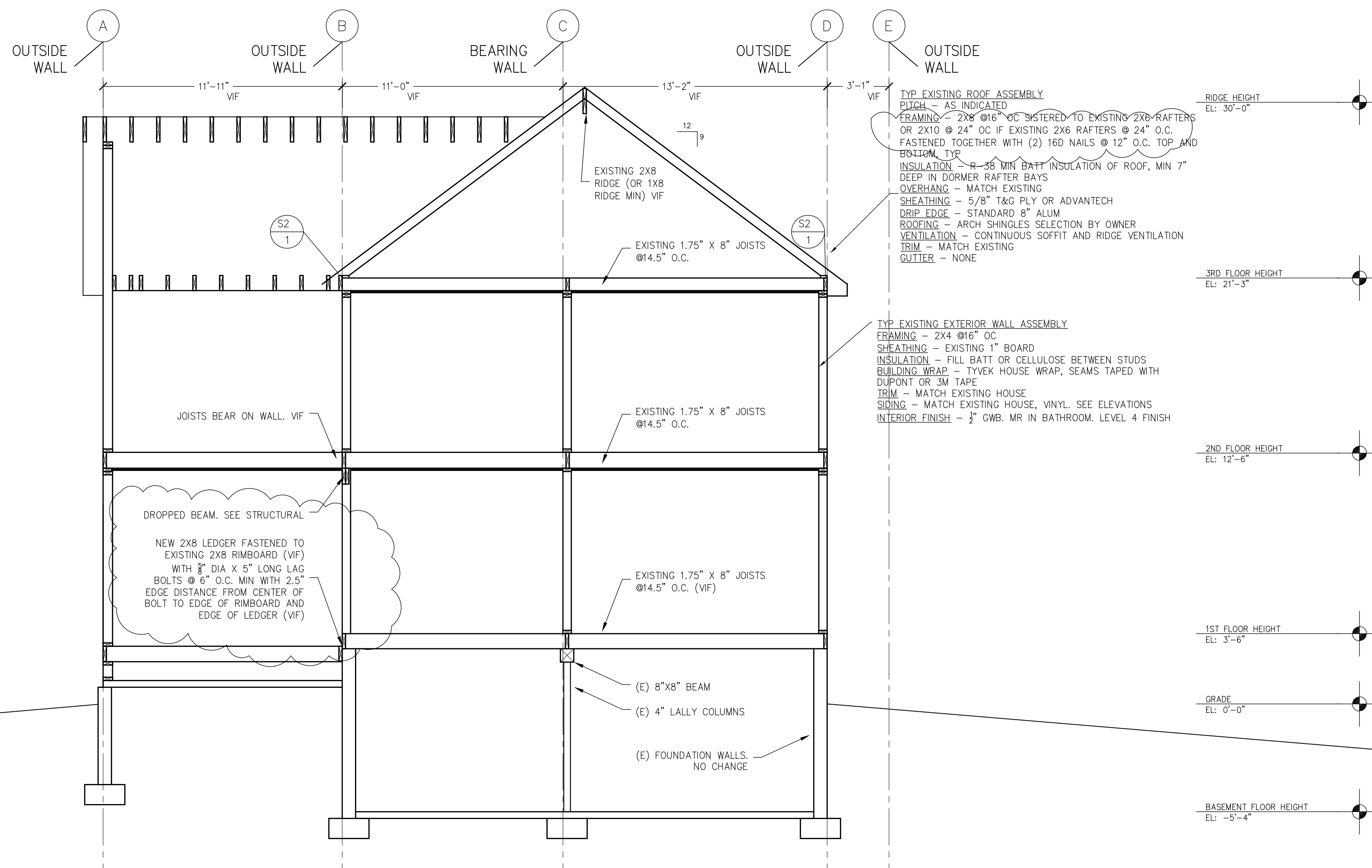
PERMITTING

DRAWING NO:

A3.0



2 BUILDING SECTION  
1/4" = 1' - 0"



1 BUILDING SECTION  
1/4" = 1' - 0"

PLUMBING FIXTURE SCHEDULE

ITEM NO	QTY	FIXTURE	SPECIFICATIONS/COMMENTS
(A)		TOILET	
(B)		VANITY	
(C)		SINK FAUCETS	
(D)		SHOWER	
(E)		SHOWER FAUCET	
(F)		WASHING MACHINE	
(G)		SHOWER	
(H)		SHOWER FAUCET	

SCHEDULE TO BE COMPLETED BY OWNER AND CONTRACTOR

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	LAMP	MANUFACTURER CATALOG NUMBER	MAX WATTS
A	-	-	-	-
B1	-	-	-	-
B2	-	-	-	-
C	-	-	-	-
D	-	-	-	-
D3	-	-	-	-

SCHEDULE TO BE COMPLETED BY OWNER AND CONTRACTOR

APPLIANCE SCHEDULE

ITEM NO	QTY	EQUIPMENT CATEGORY	SPECIFICATIONS/COMMENTS	SUPPLIED BY:	INSTALLED BY:	NOTES:
①	--	--	--	--	--	
②	--	--	--	--	--	
③	--	--	--	--	--	
④	--	--	--	--	--	
⑤	--	--	--	--	--	
⑥	--	--	--	--	--	
⑦	--	--	--	--	--	

SCHEDULE TO BE COMPLETED BY OWNER AND CONTRACTOR

GENERAL ELECTRICAL NOTES:

1. ELECTRICAL/TELEPHONE/DATA RECEPTACLE LOCATIONS NOT SHOWN, TO BE DESIGN BUILD, COORDINATE LOCATIONS WITH OWNER. LOCATE ALL SWITCHES CENTERLINE 42" A.F.F. AND 6" FROM EDGE OF FINISH DOOR CASING, TYPICAL. CONFIRM WITH OWNER.
2. BATHROOM FAN – FAN ONLY, TO EXHAUST TO OUTSIDE.
3. LIGHTS – COORDINATE WITH CONTRACTOR AND OWNER. EXACT FIXTURES AND LOCATIONS NOT YET SELECTED. LIGHT FIXTURES TO BE SELECTED BY OWNER, EXACT FIXTURE LOCATION TO BE COORDINATED IN FIELD WITH OWNER.
4. SEE EMP GUIDANCE PLANS FOR SMOKE/CO DETECTOR LAYOUT
5. THIS PLAN FOR GUIDANCE ONLY. ELECTRICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ELECTRICAL WORK CONFORMS TO ALL APPLICABLE CODES.

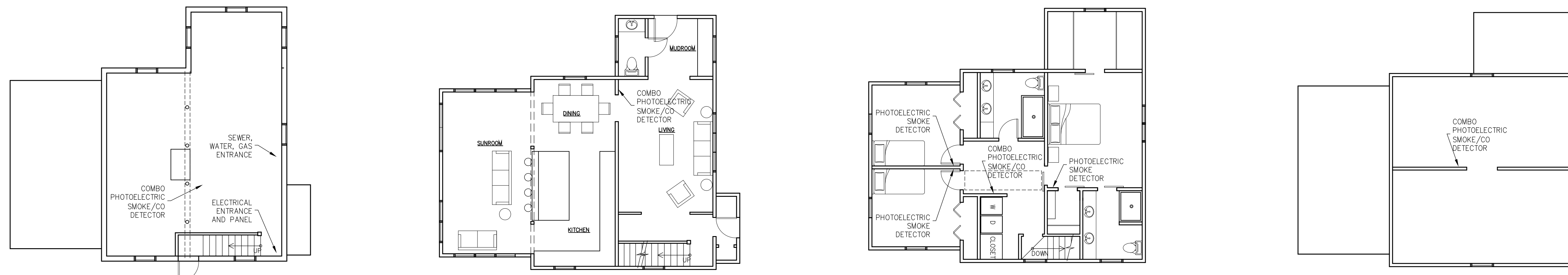
4. SEE EMP GUIDANCE PLANS FOR SMOKE/CO DETECTOR LAYOUT

GENERAL PLUMBING NOTES:

1. ALL NEW PLUMBING LINES IN HOUSE.
2. HOT AND COLD WATER TO BE SUPPLIED OFF NEW WATER HEATER AND EXISTING COLD WATER SUPPLY.
3. BATHROOM TO BE VENTED THROUGH CEILING FAN TO THE EXTERIOR.
4. THIS PLAN FOR GUIDANCE ONLY. PLUMBING CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL PLUMBING WORK CONFORMS TO ALL APPLICABLE CODES.

GENERAL MECHANICAL NOTES:

1. HEAT TO BE PROVIDED BY NEW AIR SOURCE HEAT PUMP UNITS FOR FLOOR HEATING AND COOLING. SELECTION BY CONTRACTOR AND OWNER.
2. THIS PLAN FOR GUIDANCE ONLY. MECHANICAL CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL MECHANICAL WORK CONFORMS TO ALL APPLICABLE CODES.



ELECTRICAL, MECHANICAL, AND PLUMBING CONSIDERATIONS PLAN FOR REFERENCE ONLY. DESIGN AND COMPLIANCE WITH ALL APPLICABLE CODES IS THE RESPONSIBILITY OF THE ELECTRICAL, MECHANICAL, AND PLUMBING CONTRACTORS

1 | BASEMENT EMP CONSIDERATIONS PLAN | PROJECT NORTH | 1/8" = 1' - 0"  
 2 | 1ST FLOOR EMP CONSIDERATIONS PLAN | PROJECT NORTH | 1/8" = 1' - 0"  
 3 | 2ND FLOOR EMP CONSIDERATIONS PLAN | PROJECT NORTH | 1/8" = 1' - 0"  
 4 | 3RD FLOOR EMP CONSIDERATIONS PLAN | PROJECT NORTH | 1/8" = 1' - 0"

Jake Keeler  
Design Build

43 Hardy Road  
Falmouth, ME 04105  
603-828-5100



Reviewed for Code Compliance  
Permitting and Inspections Department  
Approved with Conditions  
03/06/2019

48 MONTROSE RENOVATION  
48 MONTROSE AVE  
PORTLAND, ME

TITLE: ELECTRICAL, MECHANICAL, PLUMBING CONSIDERATIONS

DATE: 1/16/19  
RV-1 2/14/19

ISSUED FOR: PERMITTING

DRAWING NO: E, M, P





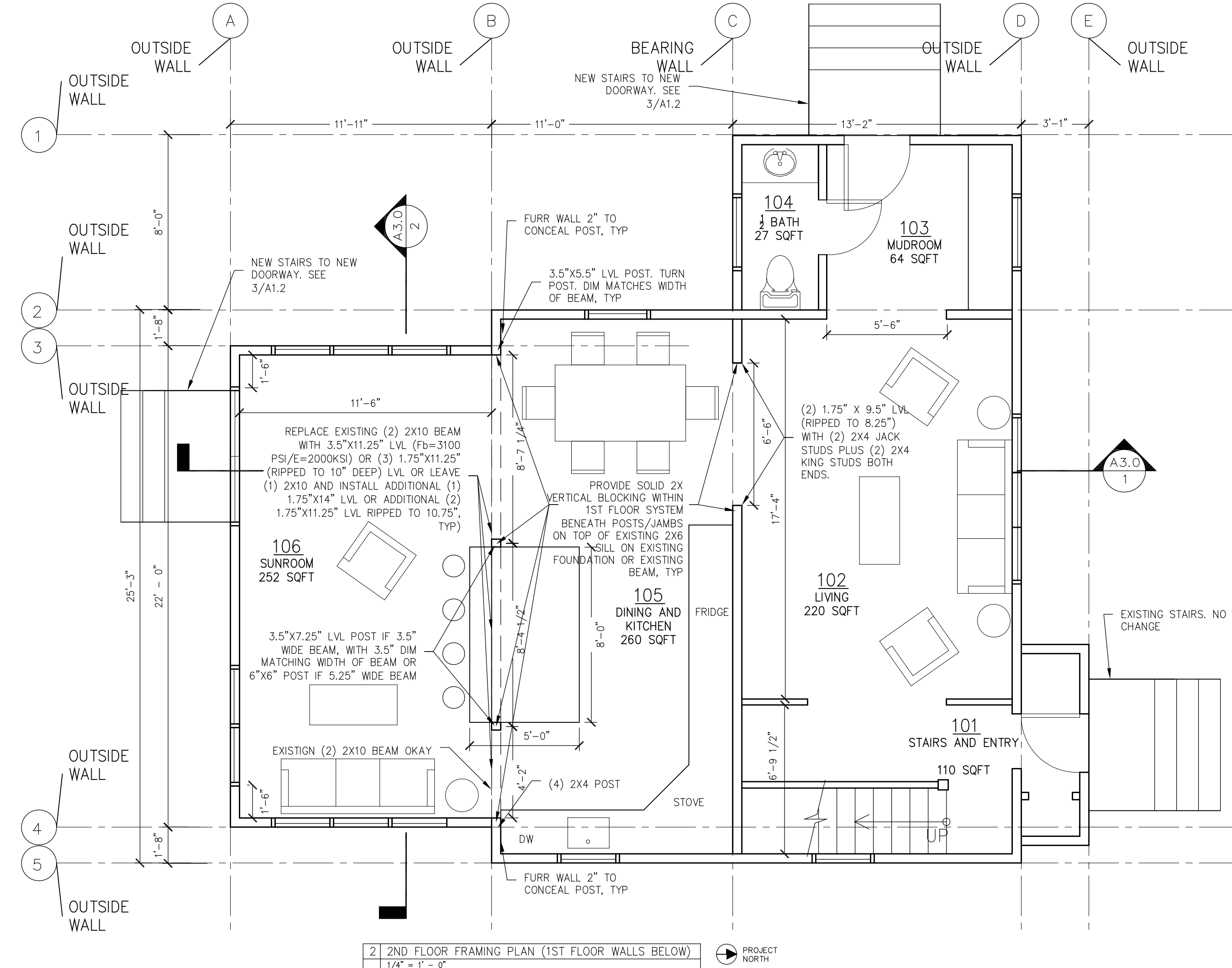
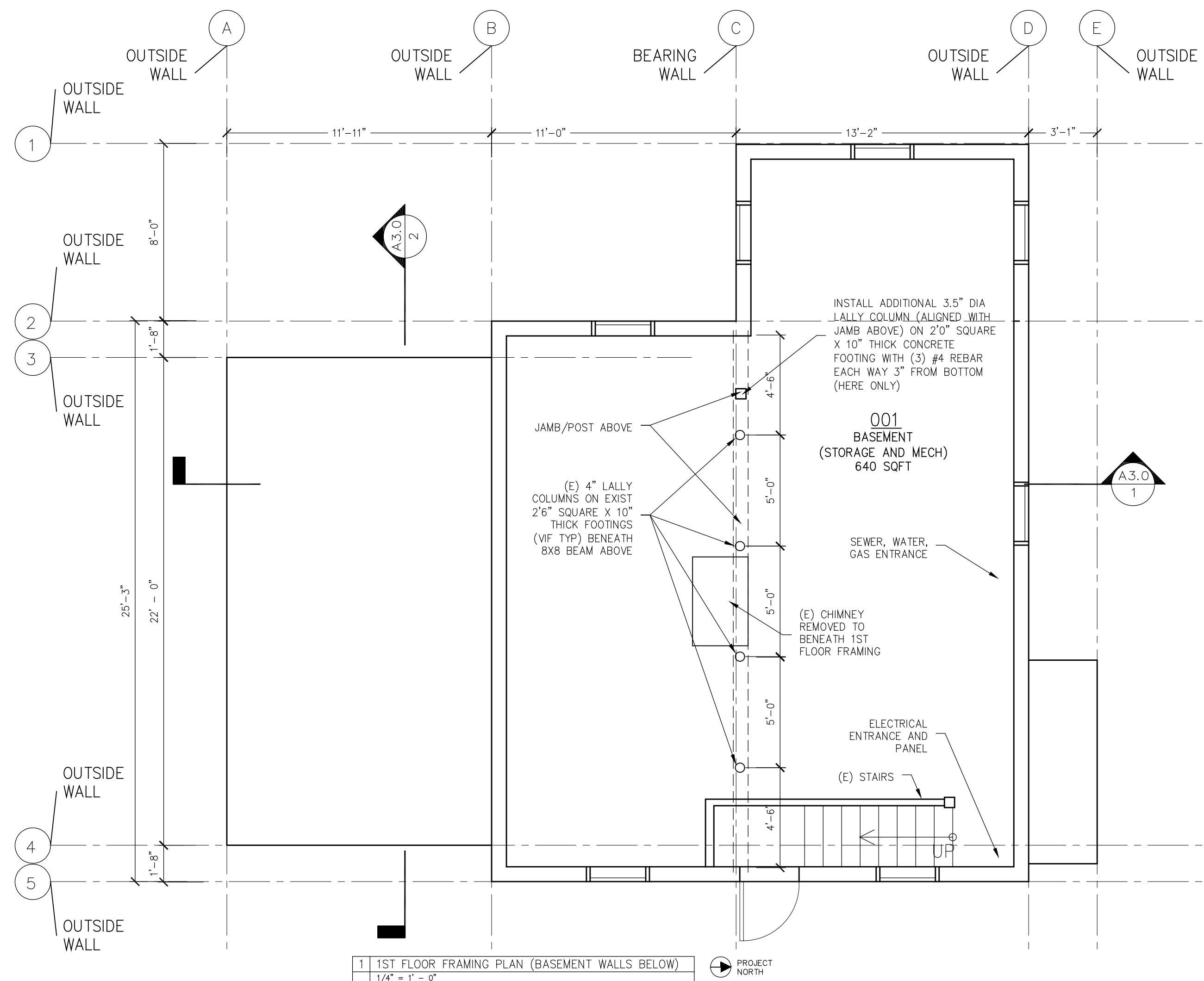
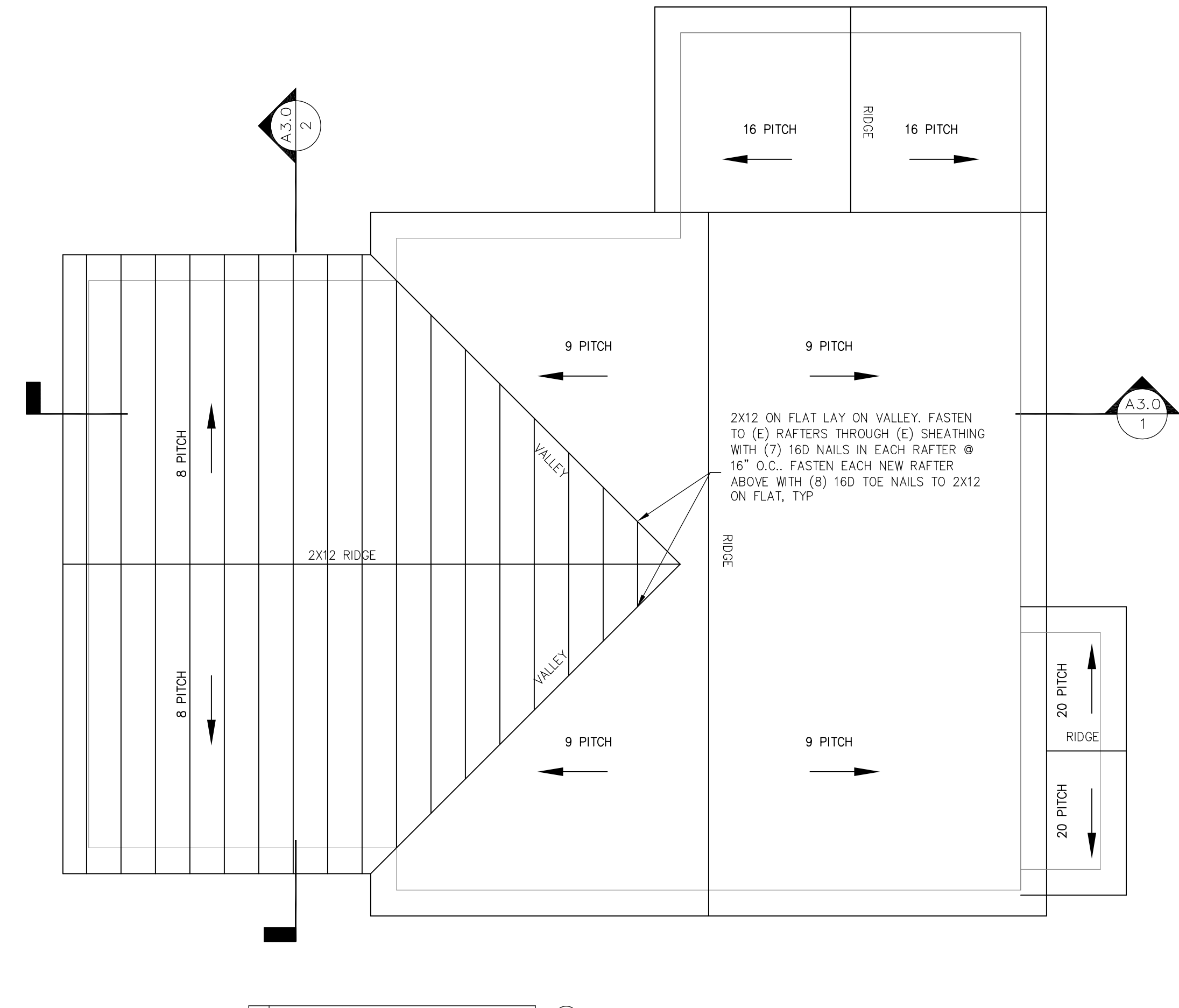
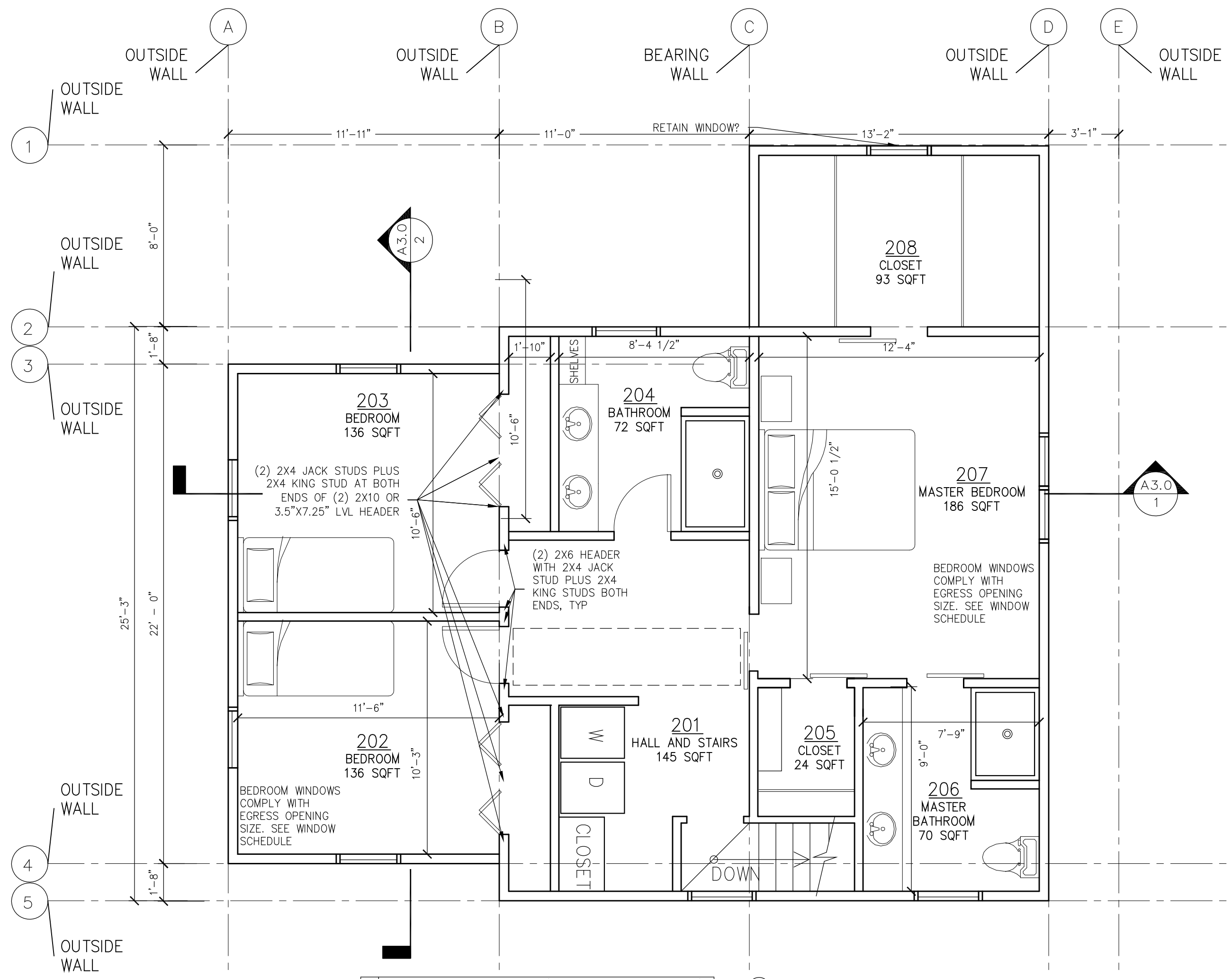
48 MONTROSE RENOVATION  
48 MONTROSE AVE  
PORTLAND, ME

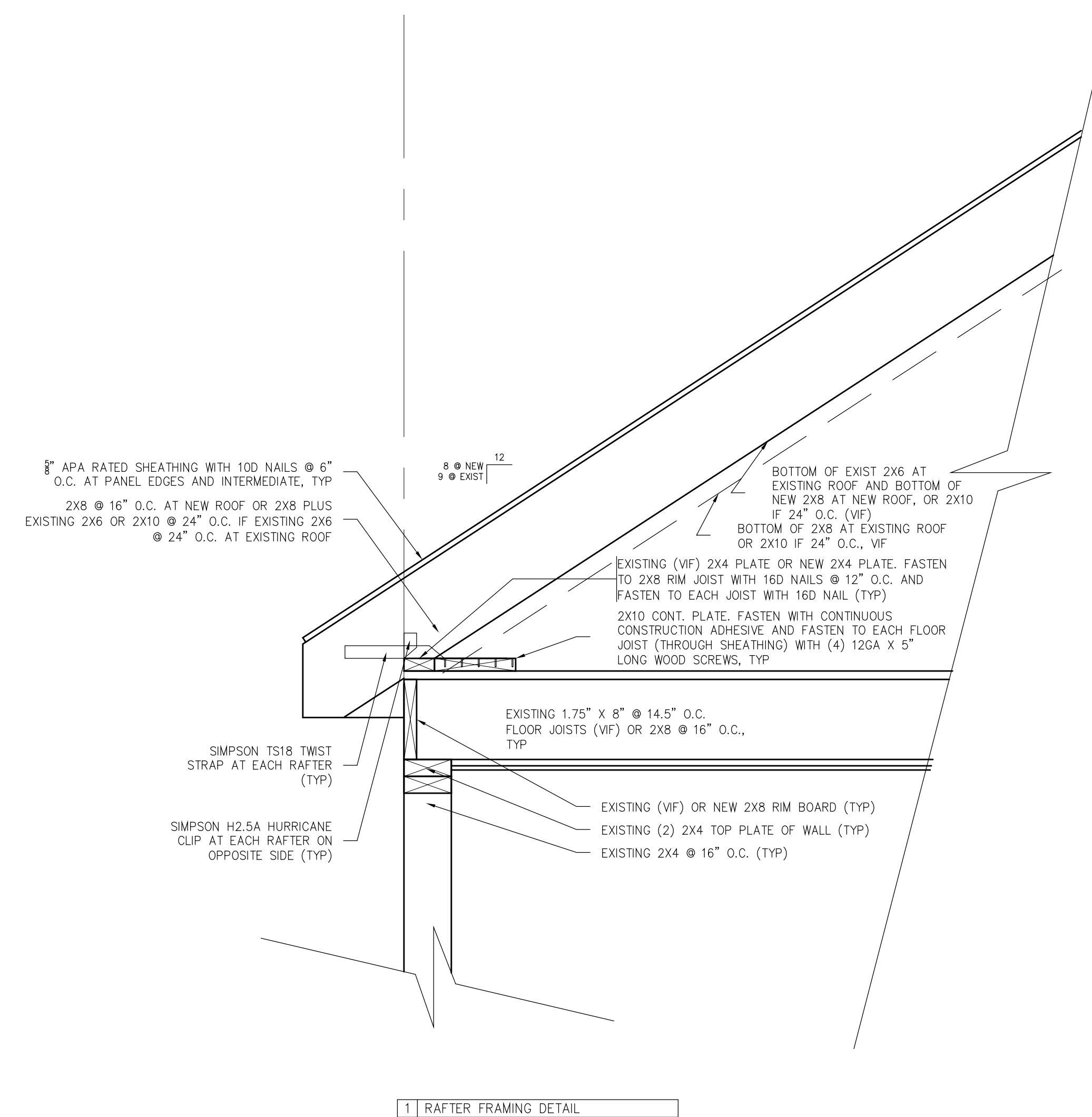
TITLE:  
FLOOR FRAMING PLANS

DATE:  
1/16/19  
RV-1 2/14/19

ISSUED FOR:  
PERMITTING

DRAWING NO:  
S1





1 RAFTER FRAMING DETAIL  
1" = 1' - 0"

Jake Keeler  
Design Build  
43 Hardy Road  
Falmouth, ME 04105  
603-828-5100



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Permitting and Inspections Department  
Approved with Conditions  
03/06/2019

48 MONTROSE RENOVATION  
48 MONTROSE AVE  
PORTLAND, ME

TITLE:  
FRAMING DETAIL

DATE:  
1/16/19  
RV-1 2/14/19

ISSUED FOR:  
PERMITTING

DRAWING NO:  
S2



Reviewed for Code Compliance  
Permitting and Inspections Department  
Approved with Conditions

03/06/2019



**L & L STRUCTURAL**  
ENGINEERING SERVICES, INC.  
Six Q Street  
South Portland, ME 04106

Telephone: 207 767-4830

March 5, 2019

Jake Keeler  
43 Hardy Road  
Falmouth, Maine 04105

Subject: Building located at 48 Montrose Avenue, Portland, Maine  
Renovation/Addition

Dear Jake,

As per your request we have reviewed the structural framing and foundation drawings, S1, S2 and A3.0 prepared by Jake Keeler dated February 14, 2019 for the proposed Renovation/Addition of the residential building located at 48 Montrose Avenue, Portland, Maine. The drawings included the structural modifications recommended by our office. Our analysis utilized the 2015 IRC International Residential Building Code adopted by most municipalities. In addition, our analysis considered the latest edition of the NDS National Design Specification for Wood Construction published by the National Forest Products Association. The proposed structural design meets or exceeds the code stipulated design requirements, is acceptable to support the anticipated structural loading, and is in general compliance with our structural design concept.

If you have any questions, please do not hesitate to call.

Sincerely,

**L&L Structural Engineering Services, Inc.**

Joseph H. Leasure, P.E.  
cc: File

