

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number: 100143

This is to certify that BORLAND JEFFREY C & MARY K MORTIMER ITS/proprietor
has permission to Enclose existing side porch - 6' - add 2' platform & attach stairs
AT 36 RUNNELLS ST CB# 176-6006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

PERMIT ISSUED

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise covered-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. MAR 30 2010

Health Dept. _____

Appeal Board _____

Other _____

CITY OF PORTLAND

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

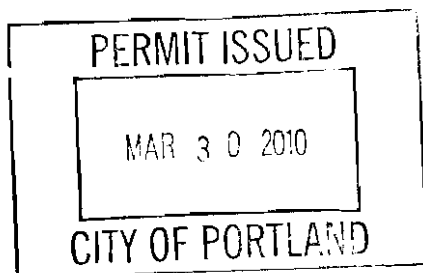
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0143	Issue Date:	CBL: 176 G006001
-----------------------	-------------	---------------------

Location of Construction: 36 RUNNELLS ST	Owner Name: BORLAND JEFFREY C & MOLL	Owner Address: 36 RUNNELLS ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - Enclose existing side porch - 6' x 5' - add 2' x 6' platform & attach stairs	Permit Fee: \$30.00	Cost of Work: \$300.00	CEO District: 3
Proposed Project Description: Enclose existing side porch - 6' x 5' - add 2' x 6' platform & attach stairs		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i> Signature:	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRG 2003</i> Signature:	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied Signature: Date:		

Permit Taken By: ldobson	Date Applied For: 02/17/2010	Zoning Approval		
<ol style="list-style-type: none">This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.Building permits do not include plumbing, septic or electrical work.Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Ok w/conditions</i> Date: <i>2/18/10</i> <i>ABM</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0143	Date Applied For: 02/17/2010	CBL: 176 G006001
------------------------------	--	----------------------------

Location of Construction: 36 RUNNELLS ST	Owner Name: BORLAND JEFFREY C & MOLL	Owner Address: 36 RUNNELLS ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Enclose existing side porch - 6' x 5' - add 2' x 6' platform & attach stairs	Proposed Project Description: Enclose existing side porch - 6' x 5' - add 2' x 6' platform & attach stairs
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 02/18/2010**Note:** **Ok to Issue:** ☒

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 03/02/2010**Note:** **Ok to Issue:** ☒

- 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Signature of Applicant/Designee

Date

Signature of Inspections Official

Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>36 Runnells St</u>		
Total Square Footage of Proposed Structure/Area <u>30 sq ft</u>	Square Footage of Lot <u>11,750</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>Book 11 / Page 29 / Lot 192193</u> Deed <u>26194 / Page 144</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>Jeff Borland</u> Address <u>36 Runnells St</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>207 766 7767</u> <u>939 7912</u>
Lessee/DBA (If Applicable) <u>176-G-6</u>	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>300</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Mud room</u> Is property part of a subdivision? <u>N</u> If yes, please name _____ Project description: <u>existing</u> <u>enclose porch extending stairs/platform 2 ft.</u>		
Contractor's name: <u>N/A - WORK DONE BY OWNER</u> Address: _____ City, State & Zip _____ Telephone: _____ Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature]

Date: 2/17/10

This is not a permit; you may not commence ANY work until the permit is issued

THIS IS NOT A BOUNDARY SURVEY

INSPECTION OF PREMISES

I HEREBY CERTIFY TO Old Port Title Co.
Mortgage Network, Inc. and its Title Insurer

The monumentation is ~~not~~ in harmony with current deed description.

The building setbacks are ~~not~~ in conformity with town zoning requirements. *Grandfathered*

The dwelling does not ~~appear to~~ fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

The land does not ~~appear to~~ fall within the special flood hazard zone as indicated on community-panel # 230051 0013 B

36 Runnells Street
Portland, Maine

Job Number: 402-06
Inspection Date: 11-17-08
Scale: 1" = 30'

BUYER: Jeffery C. Borland,
Molly K. McMahon &
Caren Byrd
SELLER: Dunja & Gerald
Von Stoddard

P-5

Per lot size - 11,775

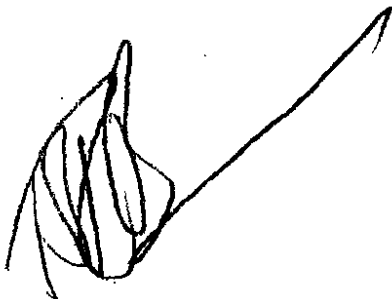
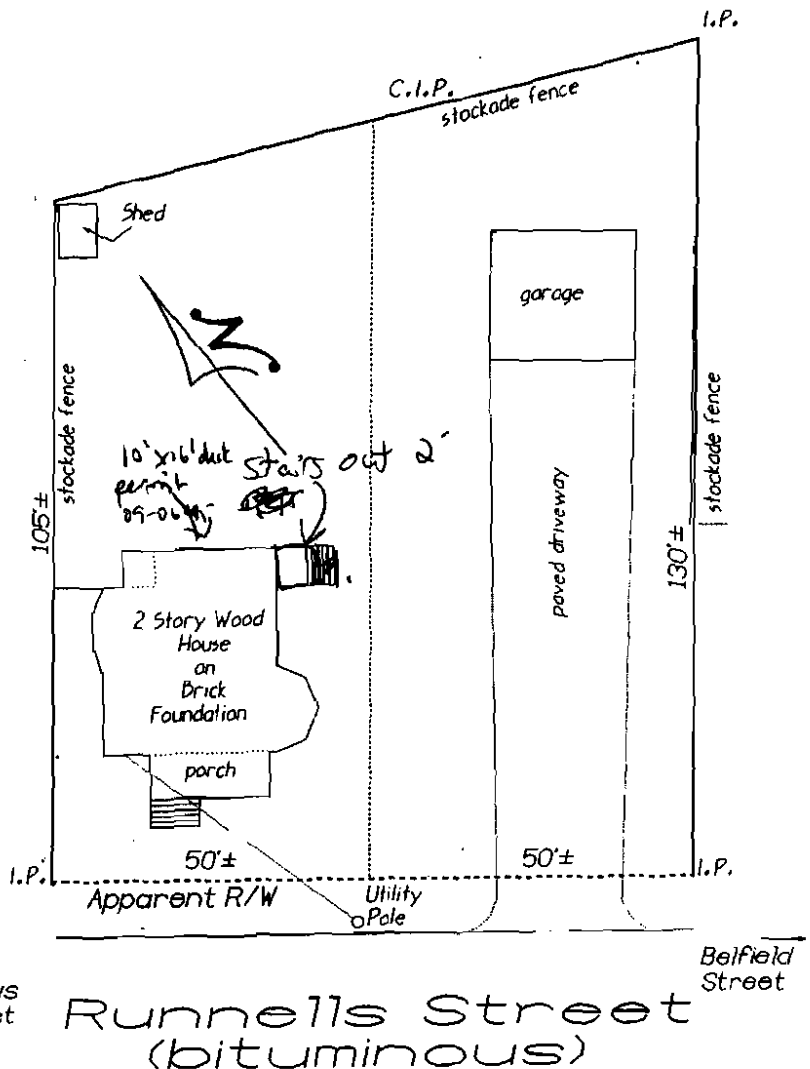
Front yard - N/A

rear yard - 20' min - 64' scaled. (ok)

side - 12' 2" by - 12' - 51' scaled.

lot coverage = 40% = 4710 sq ft

existing: proposed = 11,775 sq ft



THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ADJUTING DEEDS.

Bruce R. Bowman
INCORPORATED
184 John Small Road
Chebeague Island, Maine 04017
Phone: (207) 846-1663
Fax: (207) 846-1664



PLAN BOOK 11 PAGE 29 LOT 192,193
DEED BOOK 26194 PAGE 144 COUNTY Cumberland

THIS PLAN IS NOT FOR RECORDING Drawn by: JB

THIS IS NOT A BOUNDARY SURVEY

Permit 09-0645.

INSPECTION OF PREMISES

I HEREBY CERTIFY TO Old Port Title Co.
Mortgage Network, Inc. and its Title Insurer

The monumentation is ~~not~~ in harmony with current deed description.

The building setbacks are ~~not~~ in conformity with town zoning requirements. *Grandfathered*

The dwelling does not ~~appear to~~ fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

The land does not ~~appear to~~ fall within the special flood hazard zone as indicated on community-panel # 230051 0013 B

36 Runnells Street
Portland, Maine

Job Number: 402-06
Inspection Date: 11-17-08
Scale: 1" = 30'

BUYER: Jeffery C. Borland,
Molly K. McMahon &
Caren Byrd
SELLER: Dunja & Gerald
Von Stoddard

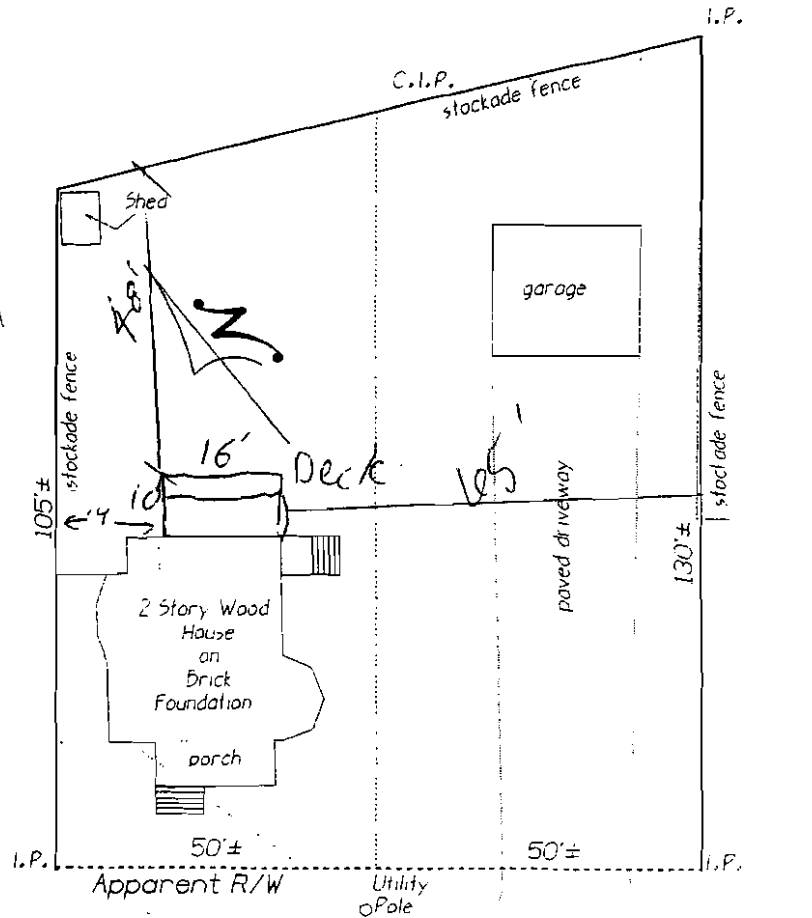
R-5 Zone

Front: 20' min - N/A

REAR: 20' min - 40' scaled

Sides: 8' min - 10' & 65'
1 story

OK



Fellows
Street

Runnells Street
(bituminous)

Belfield
Street

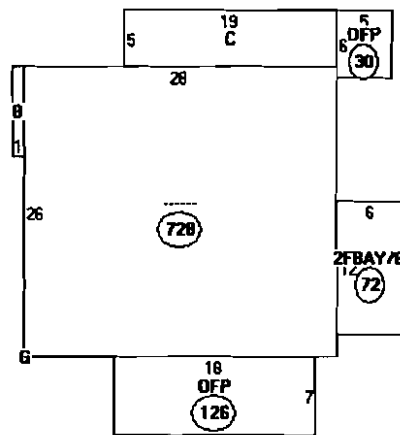
THIS PROPERTY IS SUBJECT TO ALL
RIGHTS AND EASEMENTS OF RECORD
THOSE THAT ARE EVIDENT ARE SHOWN.
THIS PLAN MIGHT NOT REVEAL
CONFLICTS WITH ADJUTING DEEDS.

Bruce R. Bowman

152 John Small Road
Capeague Island, Maine 04017
Phone: 207-846-1663
Fax: 207-846-1662

PLAN BOOK 11 PAGE 29 LOT 192,193
DEED BOOK 26194 PAGE 144 COUNTY Cumberland

THIS PLAN IS NOT FOR RECORDING Drawn by: A.

Descriptor/Area

A: ---
 728 sqft
 B: FBAY/B
 8 sqft
 C: 1Fr
 95 sqft
 D: 2FBAY/B
 72 sqft
 E: OFF
 126 sqft
 F: OFF
 30 sqft
 G: NG ✓
 400 sqft

1059.4

new deck $10 \times 16 = 160 \phi$

garage - $20 \times 20 = 400 \phi$

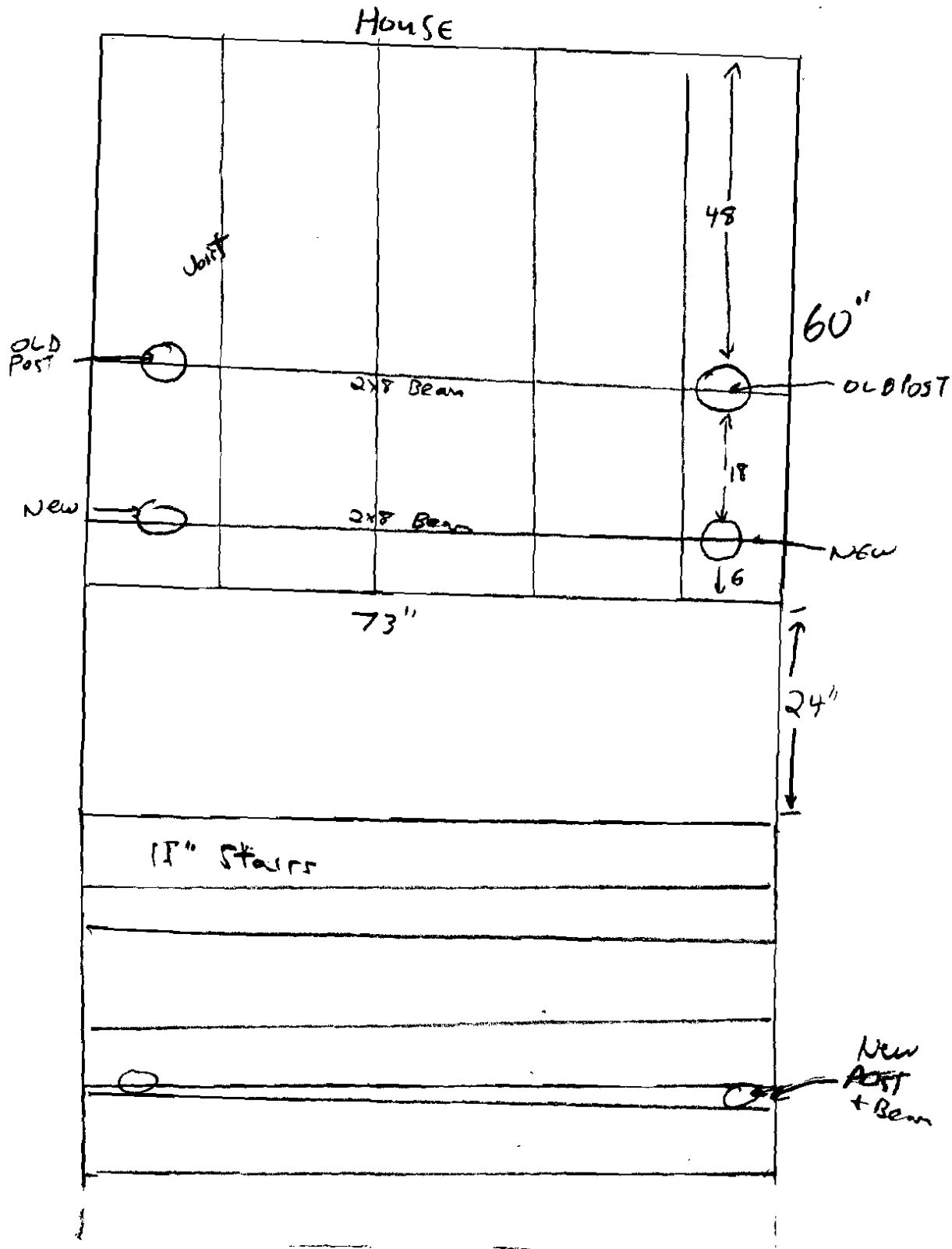
shed - $6 \times 8 = 48 \phi$

expand - side porch - $2 \times 6 = 12 \phi$

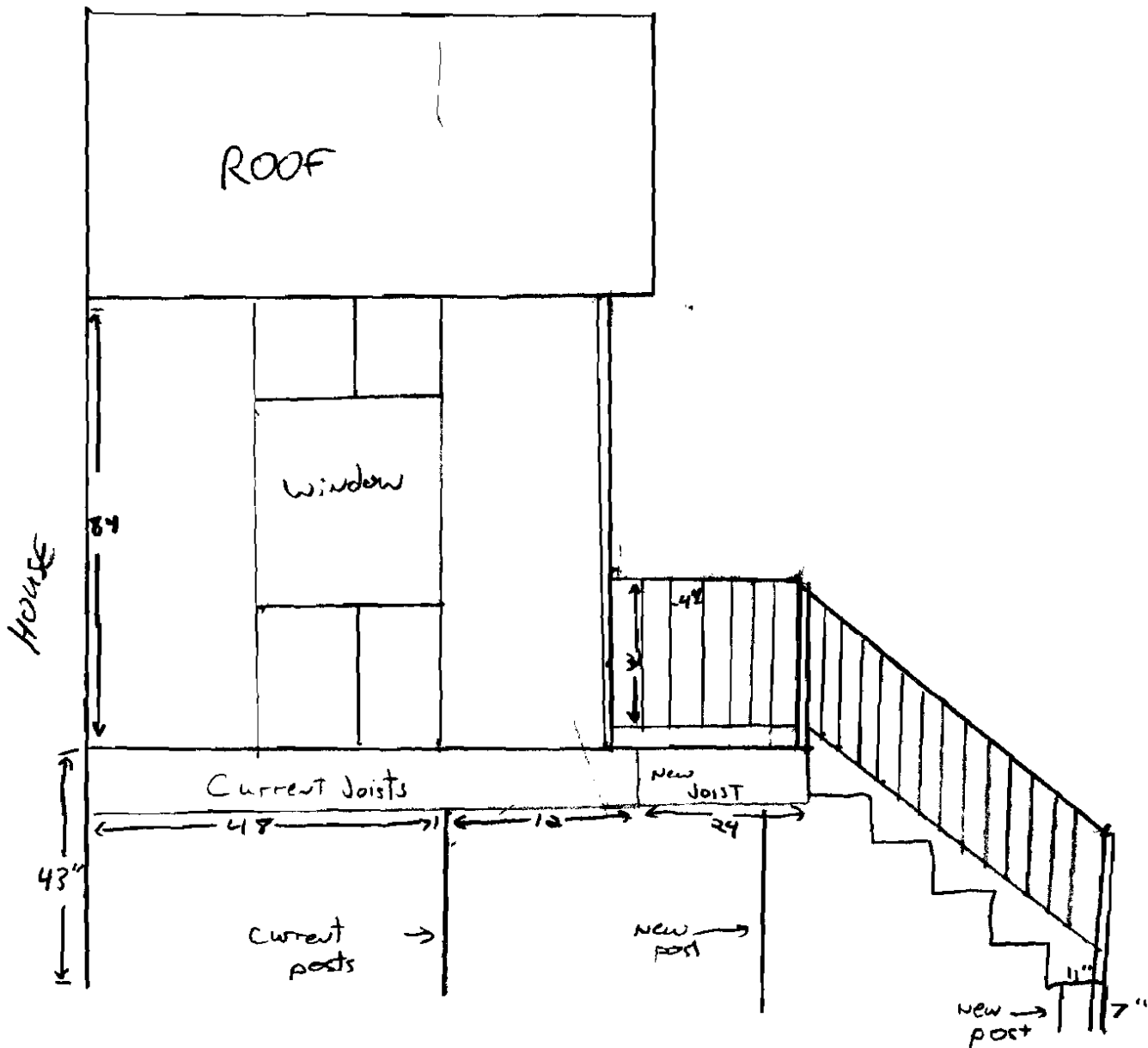
1679.4

36 Runnels

Top View



MUDROOM - 36 RUNNELS ST

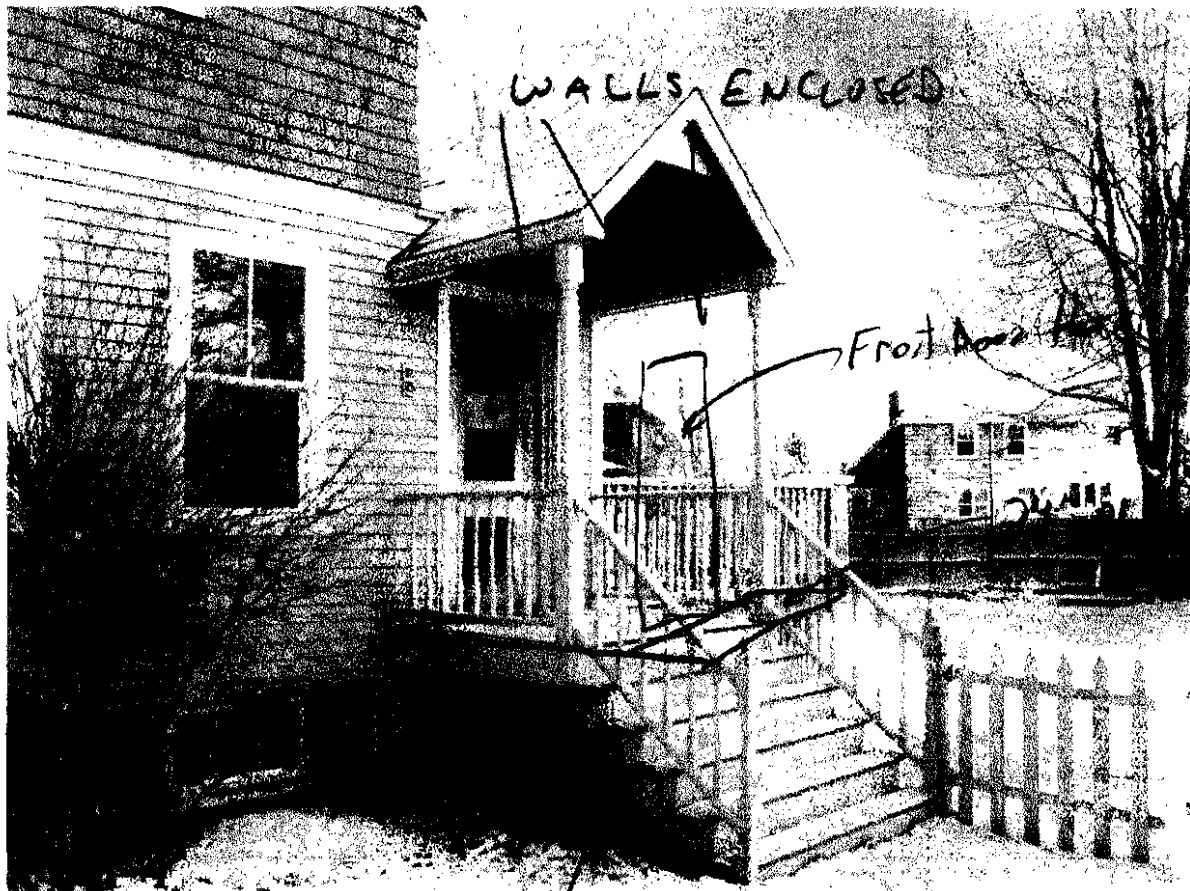


Posts are 4x4 PT sunk 48" in ground.

Beams are 2x8 PT

Joists are 2x8 PT

36 Runwells St



stairs & Railing shifted
out 24"