

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0645	Issue Date: JUL 10 2009	CBL: 176 006001
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Location of Construction: 36 RUNNELLS ST	Owner Name: BORLAND JEFFREY C & MOLL	Owner Address: 36 RUNNELLS ST	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: CITY OF PORTLAND	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5
Past Use: Single Family Home	Proposed Use: Single Family Home - 16' x 10' Deck in backyard	Permit Fee: \$30.00	Cost of Work: \$900.00
Proposed Project Description: 16' x 10' Deck in backyard		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: 13 Type: SB JRC 2003 Signature: Jm 7/7/09
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:	

Permit Taken By: Ldobson	Date Applied For: 06/19/2009	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 6/22/09	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:	
	Signature: <i>[Handwritten Signature]</i> Date: JUL 10 2009			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - 16' x 10' Deck in backyard	Proposed Project Description: 16' x 10' Deck in backyard
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 06/22/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 07/07/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<ol style="list-style-type: none"> 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 			



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>36 Rumlles St</u>		
Total Square Footage of Proposed Structure/Area <u>160</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>Book 26194</u> <u>Page 144</u> <u>176-G-G</u> <u>192193</u>	Applicant * must be owner, Lessee or Buyer * Name <u>Jeff Bonland</u> Address <u>36 Rumlles St</u> City, State & Zip <u>04103</u>	Telephone: <u>207 939 7912</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>900</u> C of O Fee: \$ _____ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>16'x10' deck in backyard</u>		
Contractor's name: <u>an work by owner - Jeff Bonland</u> Address: _____ City, State & Zip _____ Telephone: <u>939-7912</u> Who should we contact when the permit is ready: _____ Telephone: _____ Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

JUN 19 2009

Signature: <u>[Signature]</u>	Date: <u>6/19/9</u>
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This is not a permit; you may not commence ANY work until the permit is issue

DECK INFORMATION REQUIRED WITH YOUR APPLICATION

The following is a guideline of information required for the review of a deck application. It is intended to help you supply proper and complete application packages. Please label all of the following items on your plans. Thank you!

1. A complete plot plan showing all structures & proposed structures with distances to all property lines labeled.

2. Type of foundation system

- a. Diameter of concrete filled tube 8'
 - b. depth below grade (minimum 4'-0" below grade) 4'
 - c. anchorage of column to footing 4x4 post to concrete brackets
 - d. spacing of tubes
- Or
- e. pre-cast concrete pier size
 - f. depth below grade (minimum 4'-0")
 - g. anchorage of column to footing
 - h. spacing of tubes

3. Columns (members supporting framing of floor system)

- a. wood size and type 4x4 PT
- b. anchorage of column to footing see above

4. Framing Members

- a. Ledger size attached to building 2x12
- b. Lag Bolt size and spacing on ledger 1/2" x 6" every ft
- c. Location of all flashing top of ledger
- d. Girder Size and spans carrying floor system 2 2x10
- e. Joist size, span, and spacing 2x10 16"
- f. Joist hangers or ledger 2x10 connected
- g. Decking size 5/4" x 6" PT

5. Guardrails & Handrail Details

- a. Guardrail height 36"
- b. Baluster spacing 3 1/2'
- c. Handrail height 36"

6. Stair Details

- a. Tread depth (measured nosing to nosing) 10"
- b. Riser height 7"
- c. Nosing on tread PT
- d. Width of stairs 36"

Change to 48"

THIS IS NOT A BOUNDARY SURVEY

INSPECTION OF PREMISES

I HEREBY CERTIFY TO Old Port Title Co. Mortgage Network, Inc. and its Title Insurer

36 Runnells Street
Portland, Maine

Job Number: 402-06

Inspection Date: 11-17-08

Scale: 1" = 30'

The monumentation is ~~not~~ in harmony with current deed description.

The building setbacks are ~~not~~ in conformity with town zoning requirements. "Grandfathered"

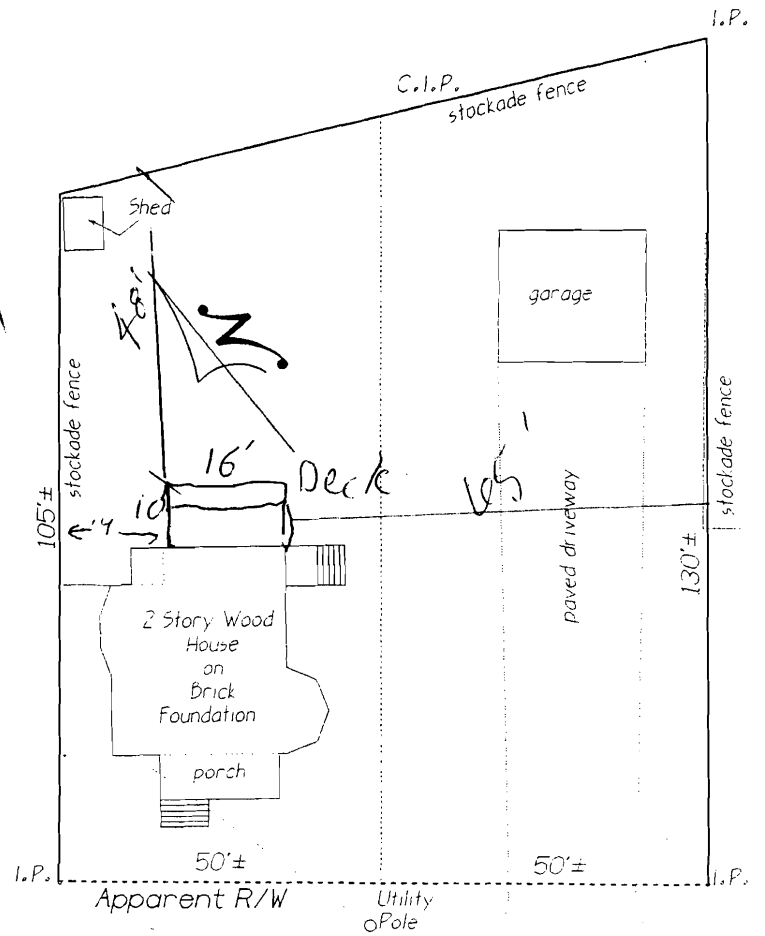
The dwelling does not ~~appear to~~ fall within the special flood hazard zone as delineated by the Federal Emergency Management Agency.

The land does not ~~appear to~~ fall within the special flood hazard zone as indicated on community-panel # 230051 0013 B

BUYER: Jeffery C. Borland,
Molly K. McMahon &
Caren Byrd
SELLER: Dunja & Gerald
Von Stoddard

R-5 Zone

Front: 20' min - N/A
REAR: 20' min - 40' scaled
Sides: 8' min - 10' & 65'
1 story
OK Show



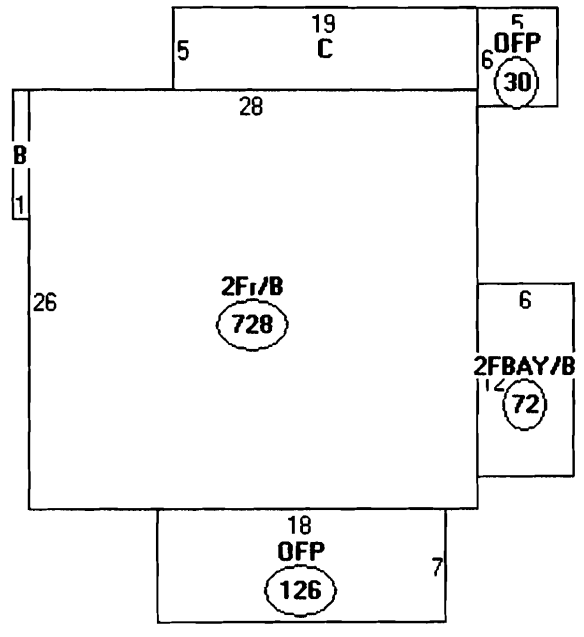
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THIS PROPERTY IS SUBJECT TO ALL RIGHTS AND EASEMENTS OF RECORD. THOSE THAT ARE EVIDENT ARE SHOWN. THIS PLAN MIGHT NOT REVEAL CONFLICTS WITH ABUTTING DEEDS.

Bruce R. Bowman
LICENSED SURVEYOR
154 John Small Road
Chebeague Island, Maine 04017
Phone: 207-826-1663
Fax: 207-826-1664

PLAN BOOK 11 PAGE 29 LOT 192,193
DEED BOOK 26194 PAGE 144 COUNTY Cumberland

THIS PLAN IS NOT FOR RECORDING Drawn by [Signature]

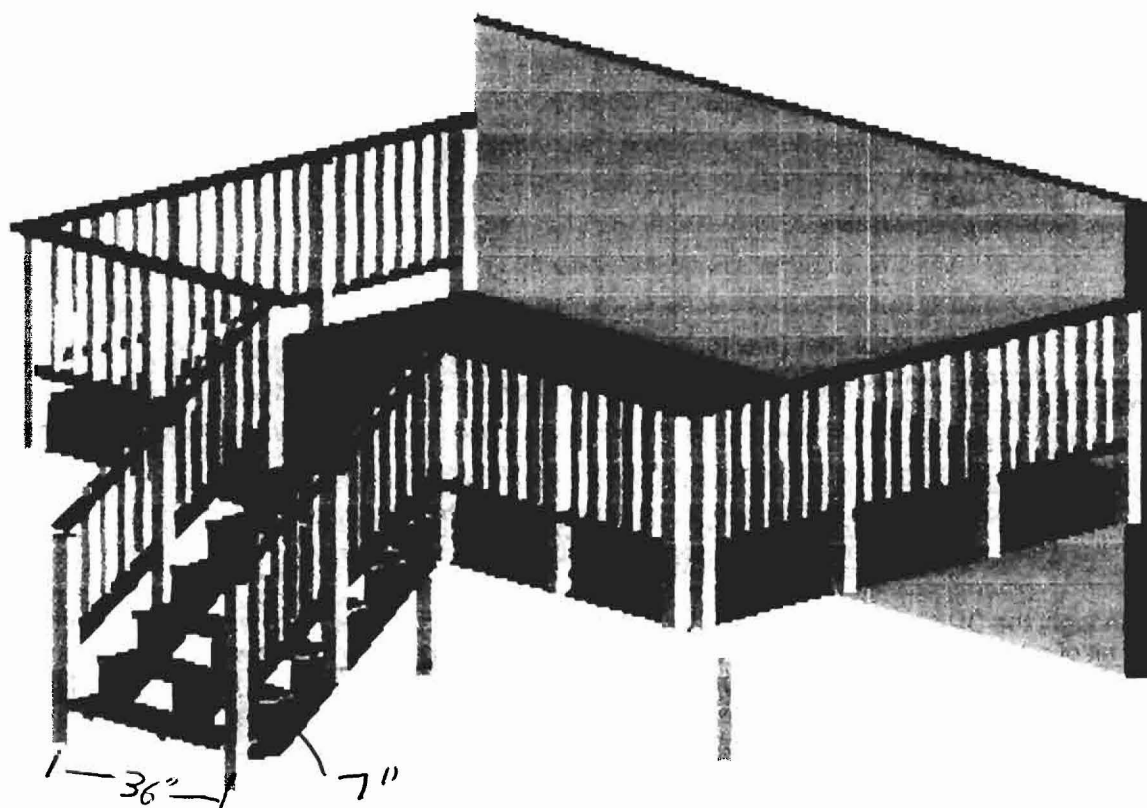


Descriptor/Area	Area
A: 2Fr/B	728 sqft
B: FBAY/B	8 sqft
C: 1Fr	95 sqft
D: 2FBAY/B	72 sqft
E: OFF	126 sqft
F: OFF	30 sqft
	<hr/>

400 = 20' x 20' garage
 160 = 16' x 10' new Deck

~~1619 sq ft~~

11775 x 40% = 4710 sq ft MAX lot coverage

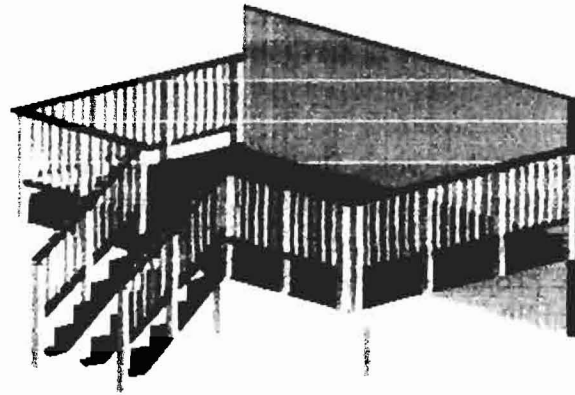


Lowe's Deck Design For

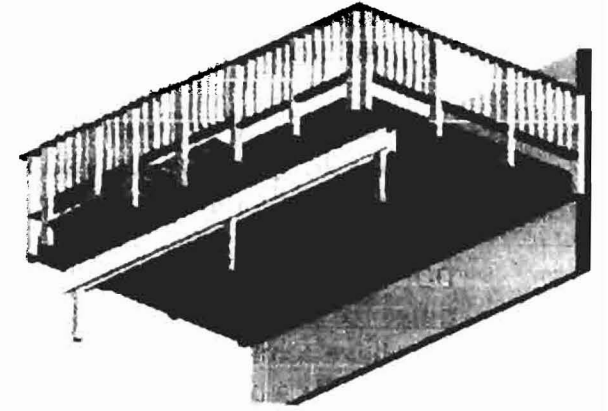
Jeff

Print this document and take it to your local Lowe's.
One of our associates will help you find the materials you need.

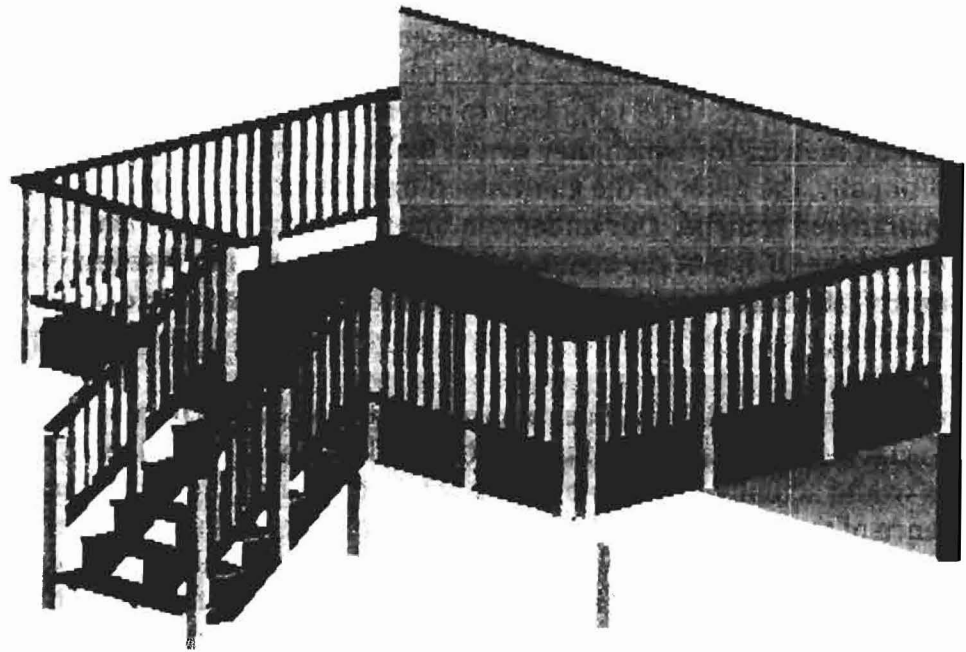
Deck layout diagram



Top view without planks

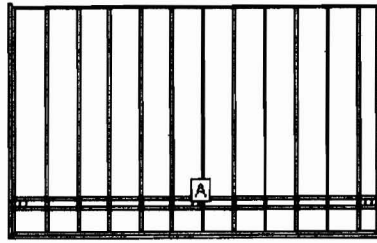


Bottom view with planks



Top view with planks

Permit Page: Level 1



LOAD AND SUPPORT:

Your deck will support a 61 PSF live load.
 Posts have 30" below ground support.

DECK AND POST HEIGHT:

You selected a height of 42" from the top of the decking to the ground level. The top of the deck support posts will therefore be 31.25" above ground level.

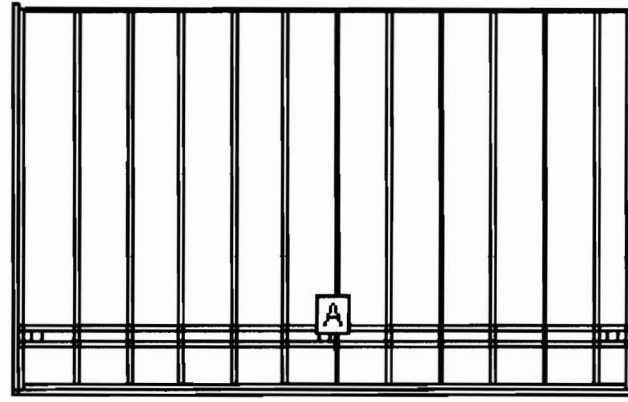
Joists:

Set joists on top of beams, 16"; center to center.

Stress Analysis: Level 1

Component	PSF
Joist Deflection	465
Joist Bending	90
Joist Shear	129
Joist Compression	166
Beam Deflection	76
Beam Bending	76
Beam Shear	71
Bolt Shear	118
Post Stability	173

Beam Layout Level 1



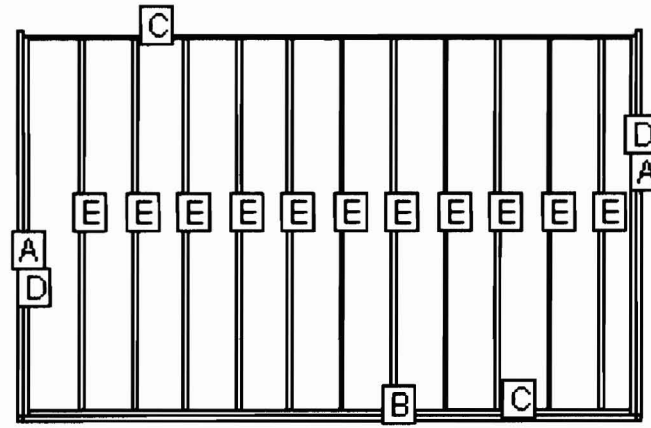
BEAM LABEL
A

BEAM LENGTH
15' 9"

POST COUNT
3

POST SPACING
7' 4 3/4"

Materials Cut List: Level 1



LABEL	NAME	QTY	LENGTH	BEVELS	LABEL	NAME	QTY	LENGTH	BEVELS
A	Fascia	2	10'	F45 S45	D	Outer Joist	2	9' 9"	
B	Fascia	1	16'	F45 S45	E	Joist	11	9' 6"	
C	Header	2	15' 6"						

Cut Angles: L=Left, R=Right, F=Front, S=Side

Below are the Specifications And Materials that you have selected for your deck.

Overview	Number of Levels: 1 Total Square Feet: 160	Footer Depth: 30" <i>45"</i> Live Load: 61 psf Dead Load: 10 psf
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Component	Size	Wood Type
Joists	2 x 10	Top Choice Treated
Beams	2 x 10	Top Choice Treated
Posts	4 x 4	Top Choice Treated
Decking	5/4 x 6	Pressure Treated Standard Decking
Railing		Pressure Treated
Bench		None
Lattice		None

FooterDepth	30" <i>45"</i>	Live Load	61 psf
		Dead Load	10 psf



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IEEC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

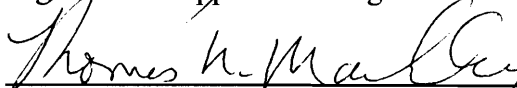
If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

 7/10/09
Date



Signature of Inspections Official

 7/7/09
Date