

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that RANDY A WAKEFIELD

Located At 14 RUNNELLS ST

Job ID: 2012-09-5001-ALTR

CBL: 176-G-001-001

has permission to Repair and replace existing 8' x 14' sun porch
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of
the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of
the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured
before this building or part thereof is lathed or otherwise
closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner
before this building or part thereof is occupied. If a
certificate of occupancy is required, it must be

Fire Prevention Officer

 09-27-12
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Jeff Levine

Job ID: 2012-09-5001-ALTR

Located At: 14 RUNNELLS ST

CBL: 176- G-001-001

Conditions of Approval:

Zoning

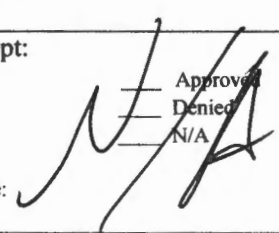

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Your present structure is legally nonconforming as to setbacks. If you are to demolish this structure on your own volition, you will only have one (1) year to replace it in the same footprint (no expansions), with the same height, and same use. Any changes to any of the above shall require that this structure meet the current zoning standards. The one (1) year starts at the time of removal. It shall be the owner's responsibility to contact the Code Enforcement Officer and notify them of that specific date.
3. As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
4. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Building

Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-09-5001-ALTR	Date Applied: 9/20/2012	CBL: 176- G-001-001	
Location of Construction: 14 RUNNELLS ST	Owner Name: RANDY & PAMELA WAKEFIELD	Owner Address: 14 RUNNELLS ST PORTLAND, ME 04103	Phone: 318-5686
Business Name:	Contractor Name: Darrell Davis - RRC Inc.	Contractor Address: 6 NONESUCH COVE RD SCARBOROUGH MAINE 04074	Phone: (207) 329-3700
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ALT	Zone: R-5
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - to repair and replace existing 8' x 14' sun porch in the same footprint	Cost of Work: \$7,000.00	CEO District:
Proposed Project Description: Repair / Remodel Existing Sun Porch		Fire Dept: <div style="text-align: center;">Approved Denied N/A</div> Signature: 	Inspection: Use Group: R-5 Type: SB Signature: 
Permit Taken By: Lannie		Pedestrian Activities District (P.A.D.)	
		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews

- ☐ Shoreland
☐ Wetlands
☐ Flood Zone
☐ Subdivision
☐ Site Plan

___ Maj ___ Min ___ MM

Date: *ok with condition*
*9/25/12***Zoning Appeal**

- ☐ Variance
☐ Miscellaneous
☐ Conditional Use
☐ Interpretation
☐ Approved
☐ Denied

Date: **Historic Preservation**

- ☒ Not in Dist or Landmark
☐ Does not Require Review
☐ Requires Review
☐ Approved
☐ Approved w/Conditions
☐ Denied

Date: **CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT

ADDRESS

DATE

PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

DATE

PHONE



General Building Permit Application

R-5

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>14 Runnells Street</u>		
Total Square Footage of Proposed Structure/Area <u>Repair/remodel 112 SF of existing sun porch</u>	Square Footage of Lot <u>4753</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart# <u>176</u> Block# <u>G</u> Lot# <u>1</u> <u>see attached</u>	Applicant: (must be owner, lessee or buyer) Name <u>Randy Wakefield</u> Address <u>14 Runnells Street</u> City, State & Zip <u>Portland, Maine 04109</u>	Telephone: <u>318-5686</u>
Lessee/DBA	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: \$ <u>7000.00</u> C of O Fee: \$ Historic Review: \$ Planning Admin.: \$ Total Fee: \$ <u>90.00</u>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>Not Vacant</u> Proposed Specific use: <u>residential</u> Is property part of a subdivision? <u>NO</u> If yes, please name Project description: <u>Repair/remodel existing 1 story sun porch as per enclosed plans. Entire roof & structural components will not be removed, currently has a 4x8 Header/Girder running around Exterior perimeter. Space is not heated.</u>		
Contractor's name: <u>Darrell Davis - RRC Inc.</u>		Email: <u>darrell207@mac.com</u>
Address: <u>6 Nonesuch Cove Road</u>		
City, State & Zip: <u>Scarborough Maine 04074</u>		Telephone: <u>329-3700</u>
Who should we contact when the permit is ready: <u>Darrell Davis</u>		Telephone: <u>329-3700</u>
Mailing address: <u>Same</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division Office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I agree that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Darrell Davis - RRC Inc. Date: 7/20/12

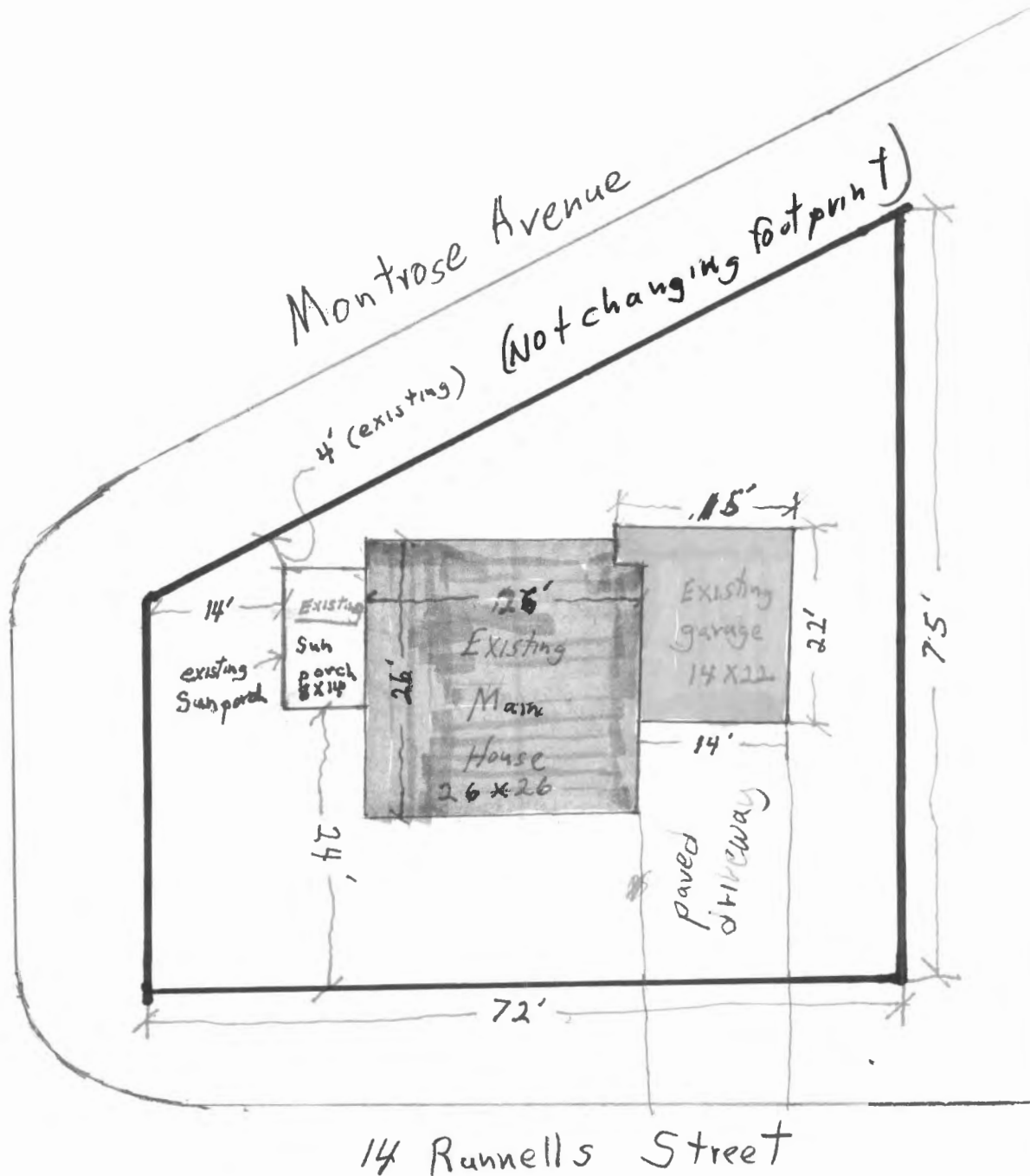
This is not a permit; you may not commence ANY work until the permit is issued

RECEIVED
SEP 11 2012
City of Portland
Inspections Division

Plot Plan

14 Runnells Street $1/16$ scale = 1'

= The area of repairs/remodeling to be done



Randy & Pamela Wakefield
14 Runnells Street
Portland, Maine 04102

Permit is for remodeling existing sunporch salvaging the roof system

Contractor: Darrell Davis - RRC Inc. 329-3700

This permit is to rebuild the same exact footprint and structure with the only difference being the windows. The pictures are to show what's present right now.

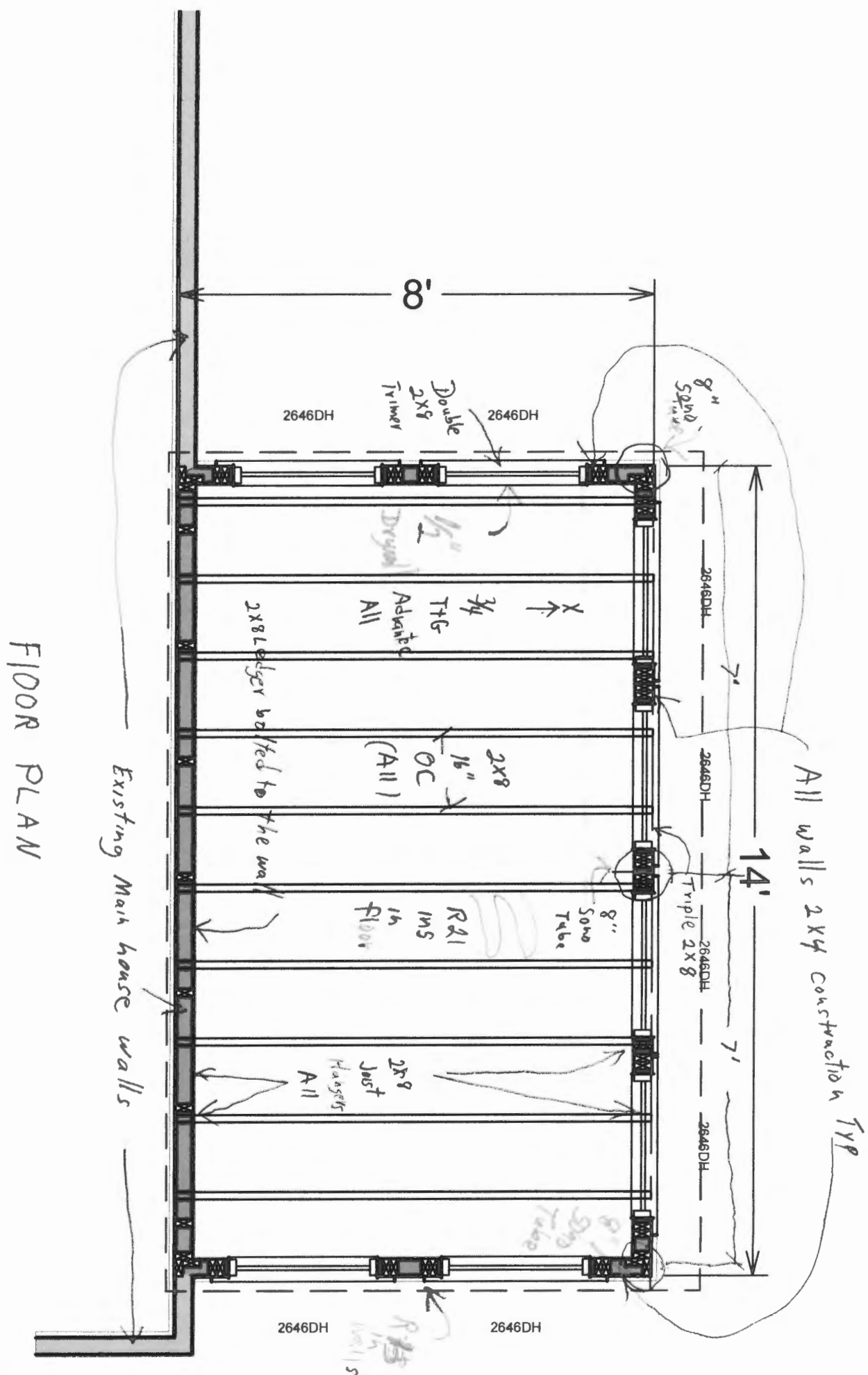
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window schedule

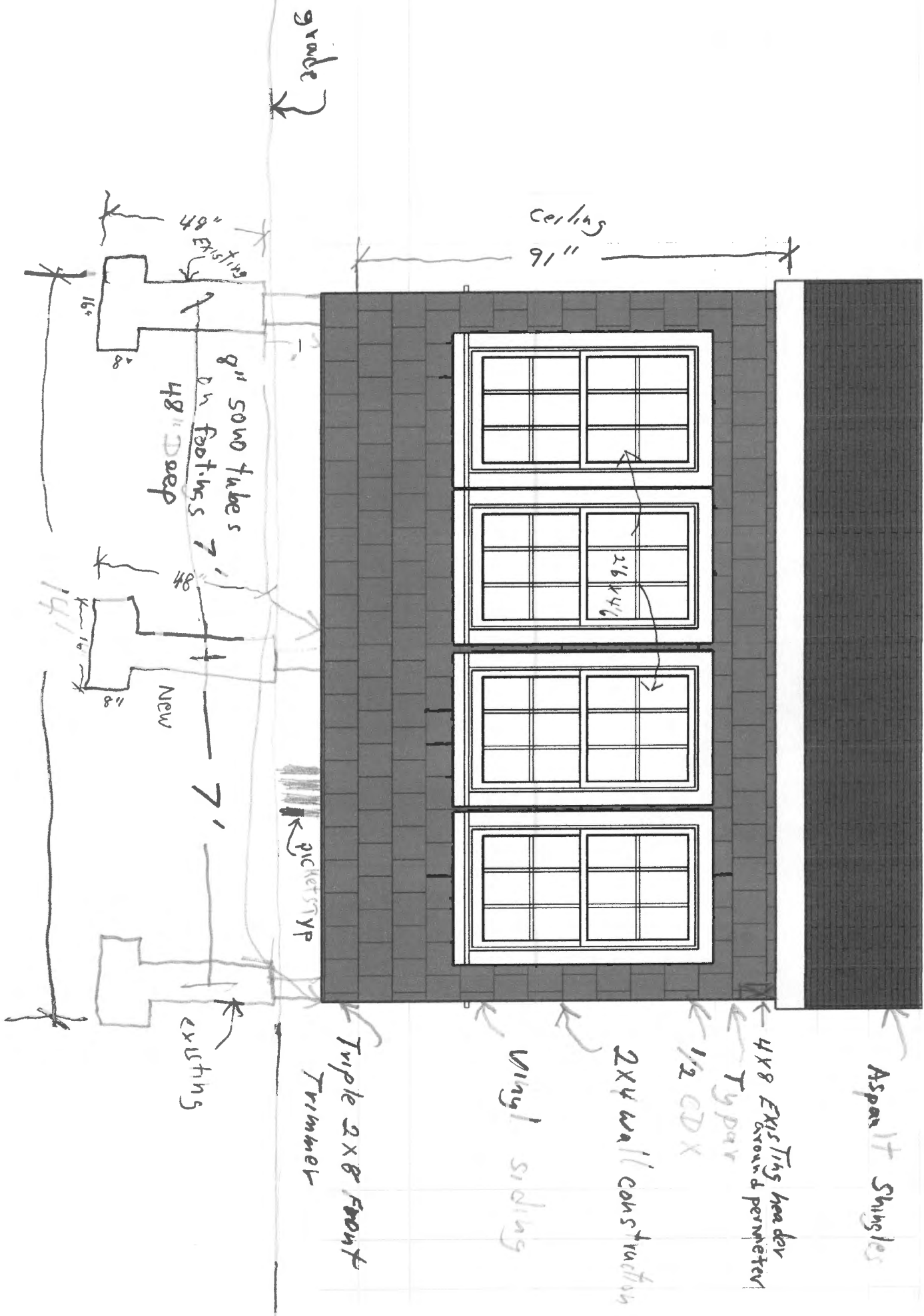
8 paradigm New construction windows 30"x54"
Double hung at least 24" off the floor

Note: Sun porch is not heated nor is it
an entrance to the main house no stairs are
involved just updating what is there. Roof structure
from the 4x8 Beam up will be the roof for the
walls and floor so it will not be destroyed
but used in no small part to guide the
location of the new construction, sorry didn't
have enough room on application form.

regards,
Darryl Davis
329-3700



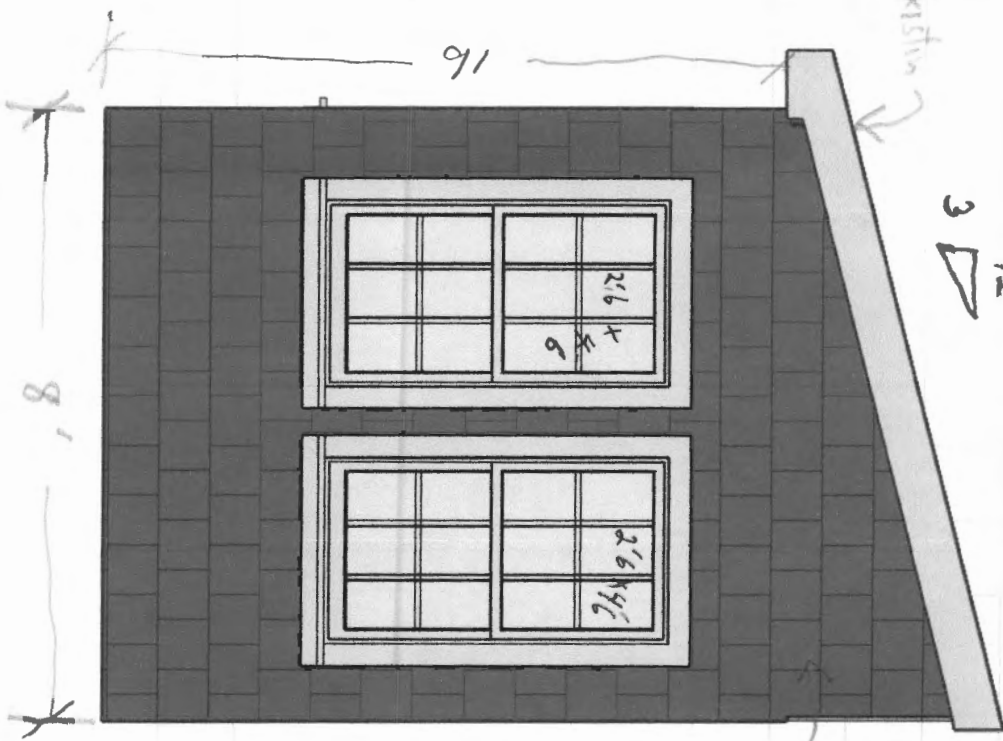
NORTH ELEVATION



3 1/2"

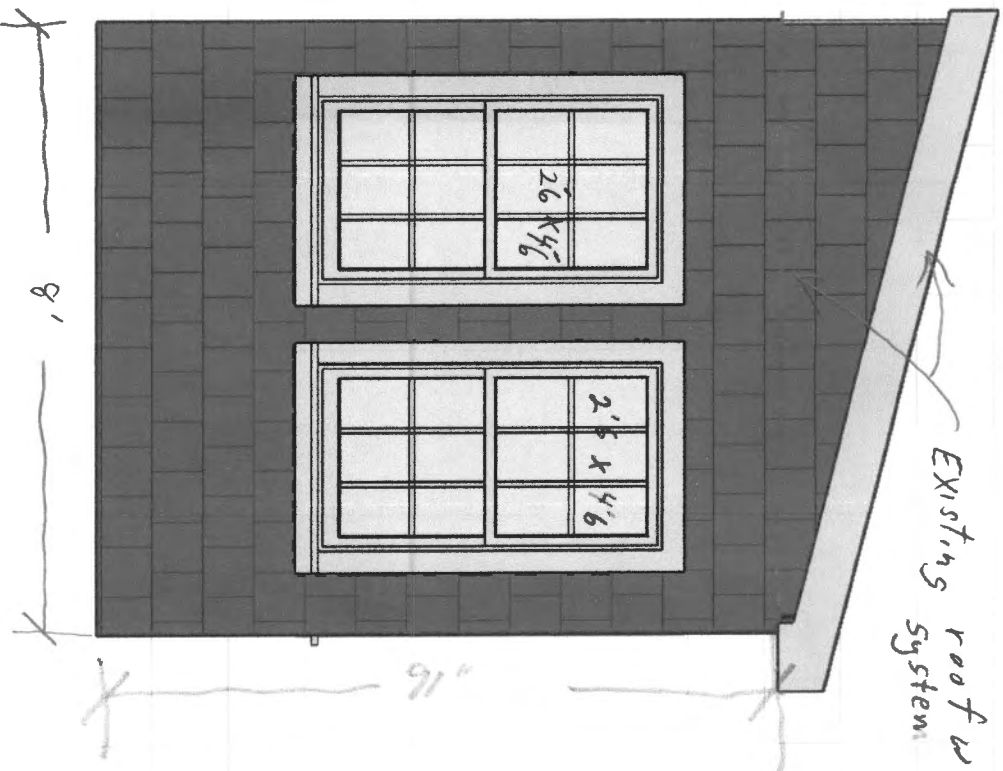
Existing

Existing 4x8 header



WEST ELEVATION

Existing roof w. ll be salvaged



EAST ELEVATION

