

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING INSPECTION

# PERMIT

Permit Number: 081118

PERMIT ISSUED	
SEP 12 2008	
CITY OF PORTLAND	

This is to certify that COTE VICTOR J JR & JESICA M GELLAR ITS/S & R Home De

has permission to Bathroom / Rear Entry addit

AT 9 MONTROSE AVE 176 E010001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of this State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is altered or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

9/12/08 *Clayton*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1118	Issue Date: 9/12/08	CBL: 176 E010001
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Location of Construction: 9 MONTROSE AVE	Owner Name: COTE VICTOR J JR & JESSICA M	Owner Address: 9 MONTROSE AVE	Phone:
Business Name:	Contractor Name: S & R Home Development, LLC /D	Contractor Address: 85 Warren Ave Buxton	Phone: 2078315356
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

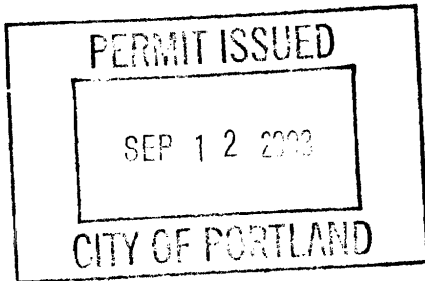
Past Use: Single Family Home	Proposed Use: Single Family Home - Bathroom / Rear Entry addition	Permit Fee: \$110.00	Cost of Work: \$9,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-7 Type: SB IRC-2003	

Proposed Project Description: Bathroom / Rear Entry addition - 3' x 12'6"	Signature:	Signature: <i>CL</i> 9/12/08
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: Idobson	Date Applied For: 09/05/2008	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> OK w/ Land chngs Date: 9/9/08. <i>ABM</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date:
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 08-1118	<b>Date Applied For:</b> 09/05/2008	<b>CBL:</b> 176 E010001
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<b>Location of Construction:</b> 9 MONTROSE AVE	<b>Owner Name:</b> COTE VICTOR J JR & JESSICA M	<b>Owner Address:</b> 9 MONTROSE AVE	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> S & R Home Development, LLC /Da	<b>Contractor Address:</b> 85 Warren Ave Buxton	<b>Phone</b> (207) 831-5356
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - Bathroom / Rear Entry addition -9' x 12'6"	<b>Proposed Project Description:</b> Bathroom / Rear Entry addition
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 09/09/2008

**Note:** **Ok to Issue:**

- 1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Chris Hanson      **Approval Date:** 09/12/2008

**Note:** **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>9 Montrose Ave.</u>		
Total Square Footage of Proposed Structure/Area <u>112.5 ft</u>	Square Footage of Lot <u>5000</u>	Number of Stories <u>1</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot#  <u>176      E      10 (#126)</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name: <u>Victor Cote</u> Address: <u>9 Montrose Ave</u> City, State & Zip: <u>Portland ME 04103</u>	Telephone: <u>207 671 3283</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name: <u>N/A</u> Address: City, State & Zip:	Cost Of Work: \$ <u>9,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>80</u>
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>Bathroom / Entry</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>Bathroom / Rear Entry Addition</u>		
Contractor's name: <u>Daniel Rose S+R Development LLC</u> Address: <u>85 Warren Rd</u> City, State & Zip: <u>Buxton, ME 04093</u> Telephone: <u>831-5356</u> Who should we contact when the permit is ready: <u>Daniel Rose</u> Telephone: <u>831-5356</u> Mailing address: <u>SAME</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

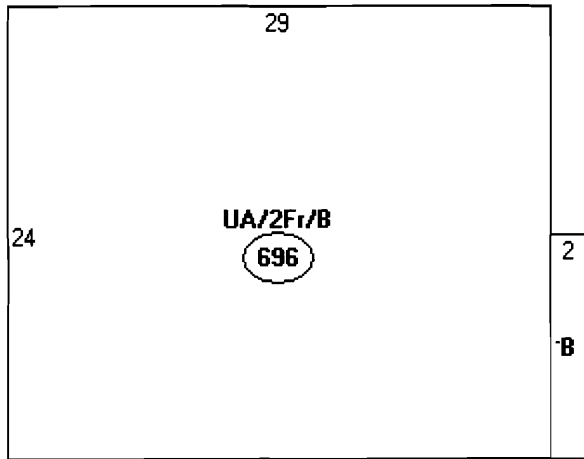
8/26/08

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

SEP 3 2008

This is not a permit; you may not commence ANY work until the permit is issued





Descriptor/Area

A: UA/2Fr/B  
696 sqft

= 720

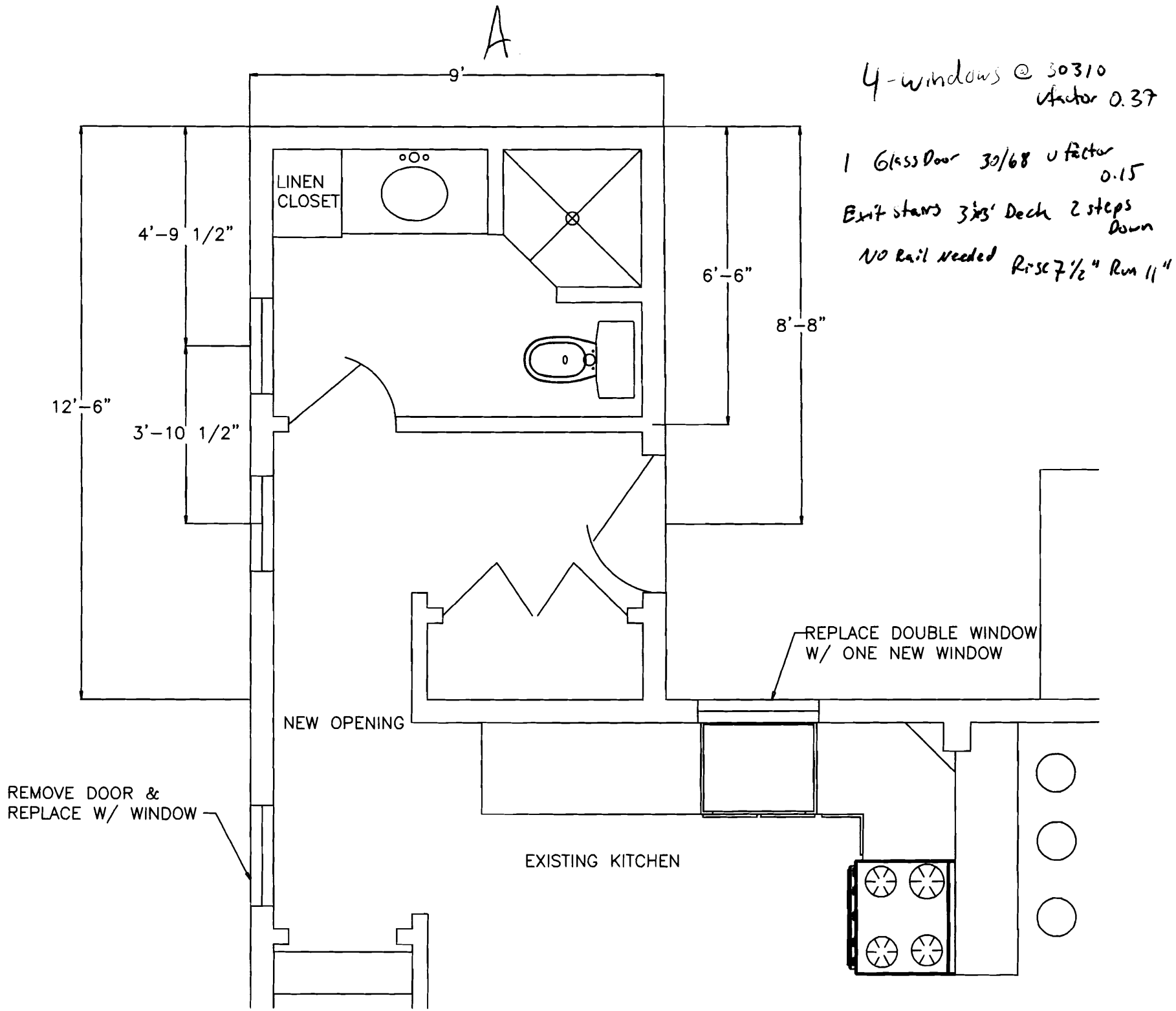
B: 1Fr/B  
24 sqft

5000 18 x 20 = 360

7000

addition 9 x 12.5 = 112.5





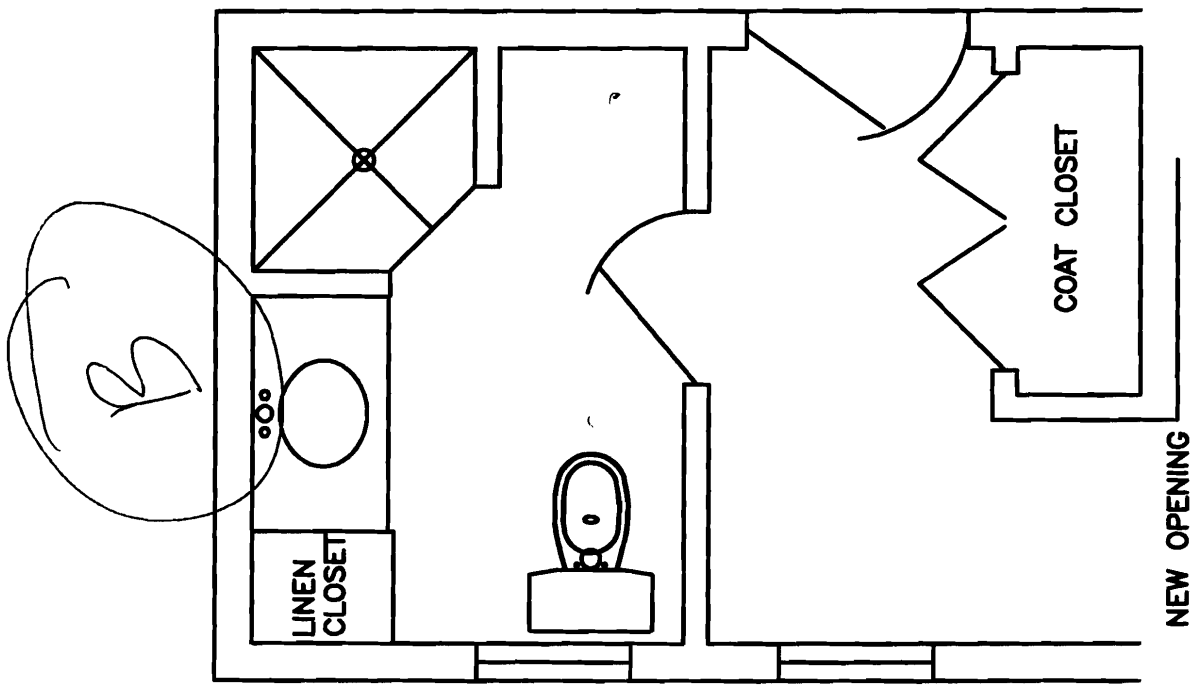
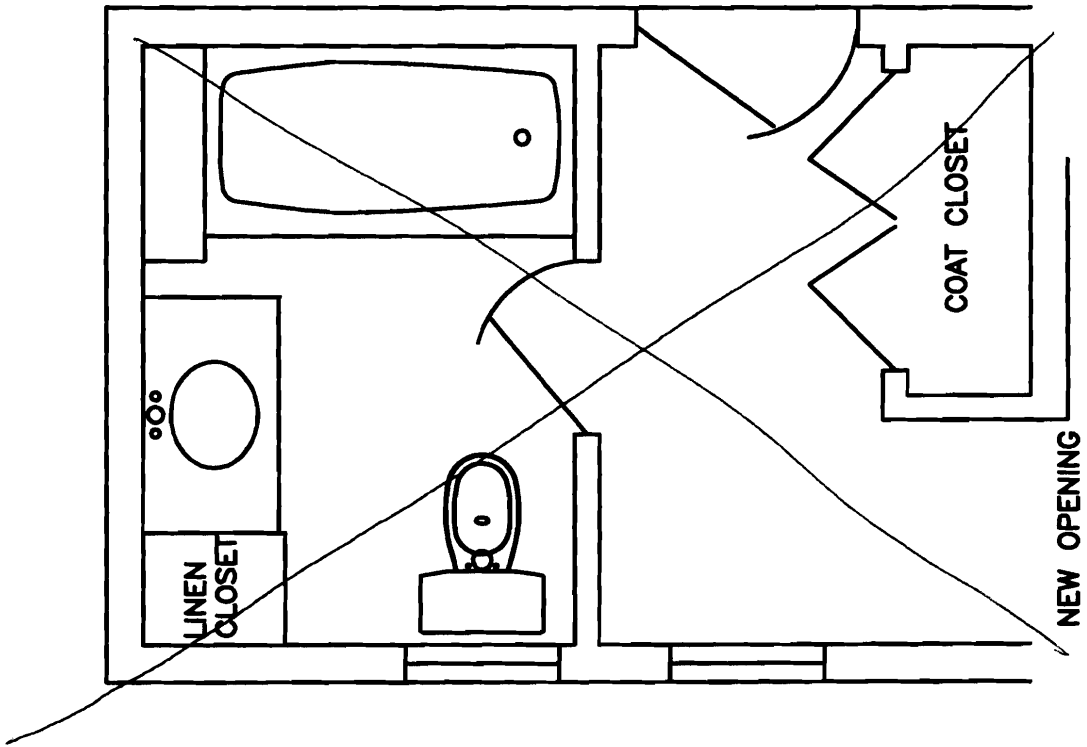
4-windows @ 30310  
Ufactor 0.37

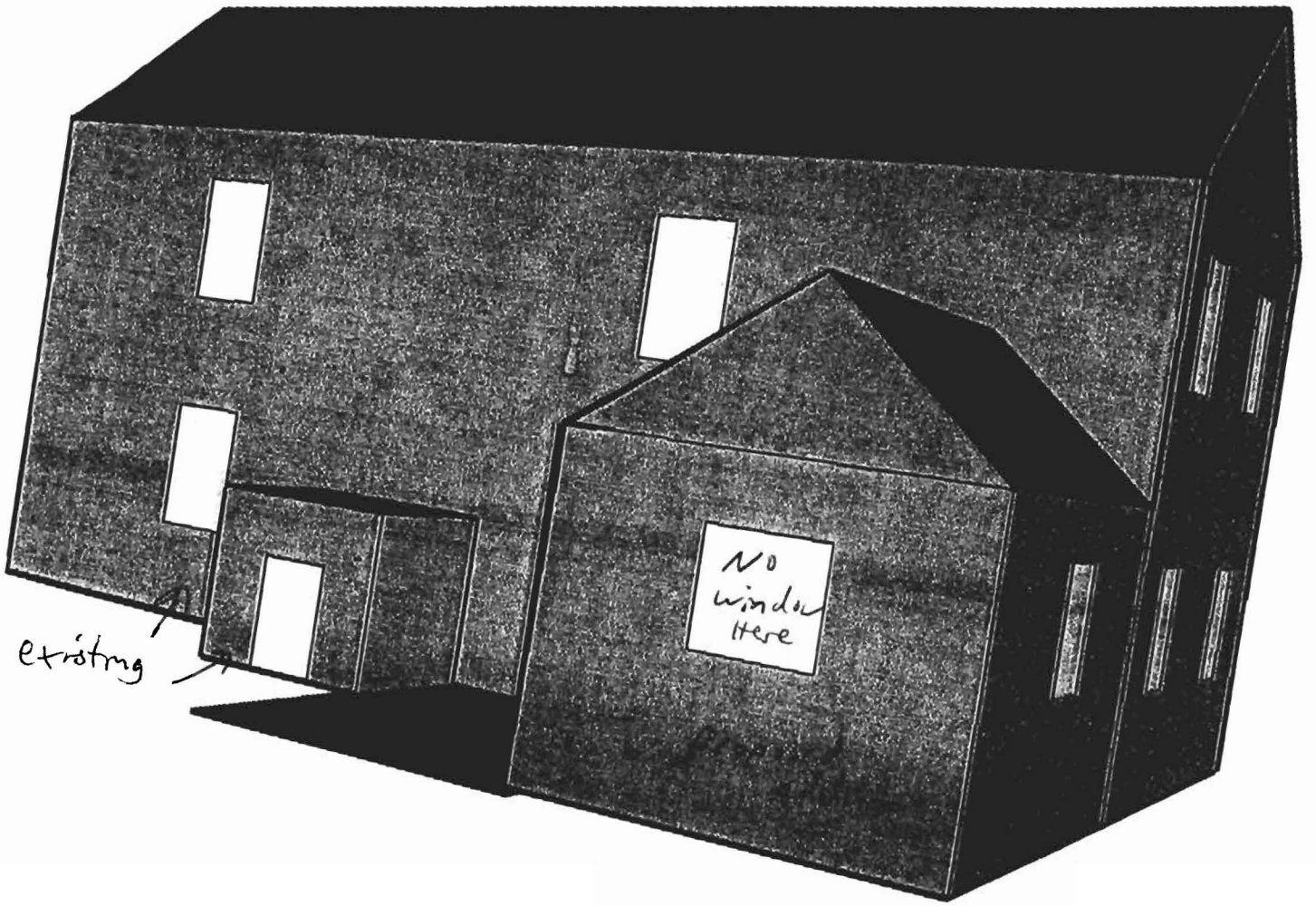
1 Glass Door 30/68 Ufactor  
0.15

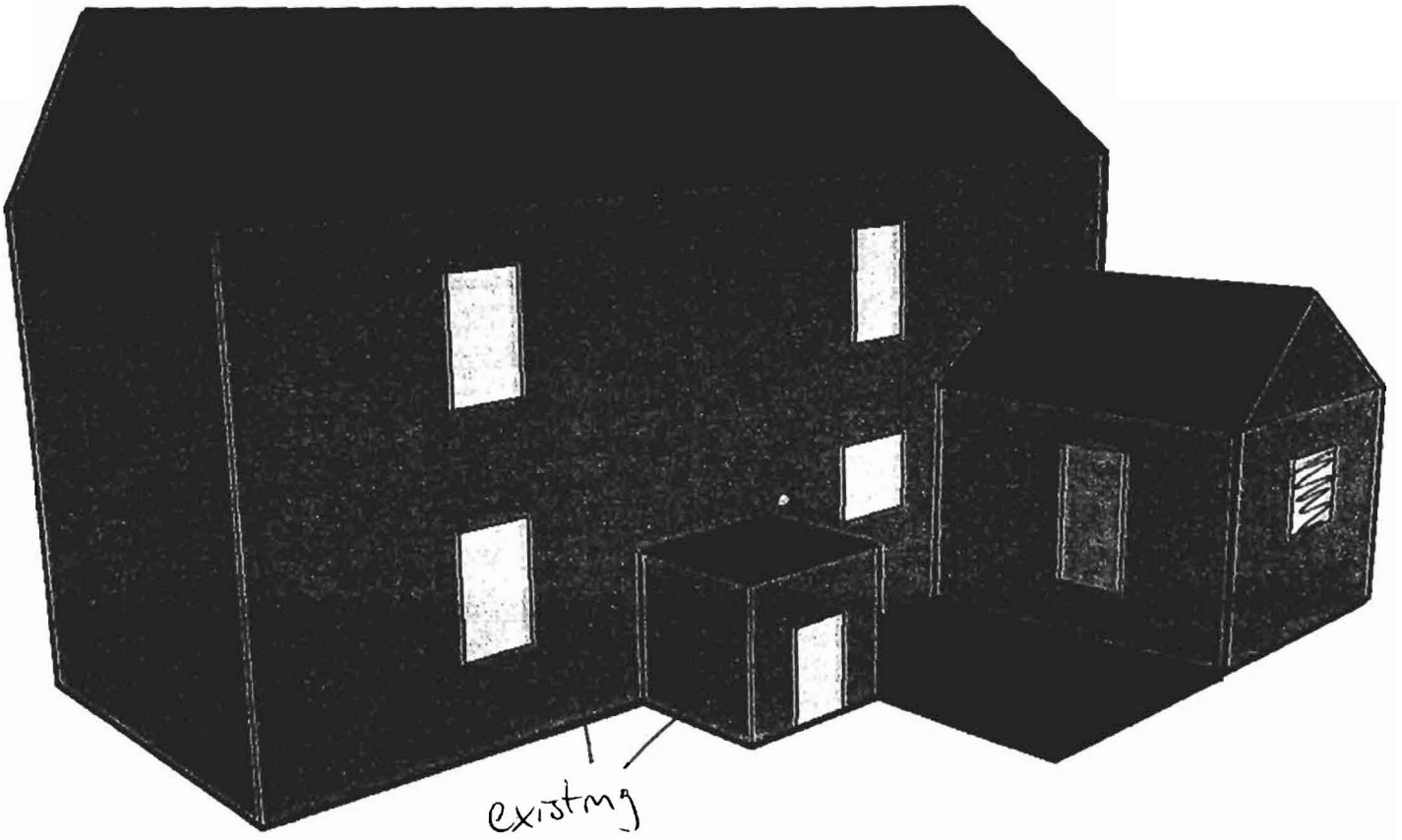
Exit stairs 3x3' Deck 2 steps  
Down

NO Rail needed Rise 7 1/2" Run 11"









# Single Family Residential Addition

2x 8 rafters spaced 16 " O.C. or  
Manufactured Trusses spaced      " O.C.  
(example: 2 x 12 Rafters Spaced 24" O.C.)

Sheathing 5/8" Advantec  
(example: 1/2" exterior plywood)

Minimum 1x 8 ridge board  
(example: 1 x 12)

Roof covering 30yr 3TAB  
(example: Class A 3 tab shingles)

Note: For roofs with slopes between 2:12-4:12, follow manufacturer's instructions for low slope application of roofing material.

12  
pitch 3

Underlayment Grace Water Ice Shield  
(example: 1 layer 15# felt)

## Building Section

Note: Attic ventilation and access may be required

Provide roof tie downs and solid 2x blocking between rafters (2x12 or greater)

Ceiling Insulation: R 38  
(example: R-38)

Wall Insulation R 19  
(example: R-19 Fiberglass Batts)

2x 8 ceiling joists @ 16 O.C.  
(example: 2 x 8 @ 24" O.C.)

Double 2x 6 top plate  
(example: 2 x 6)

Span 9'  
(example: 23' 5")

Note: Pre-engineered roof trusses w/truss clips and hardened nails may be used in lieu of roof structure shown.

Ceiling height 8' To match House  
(example: 8')

Diagonal wind bracing or plywood shear panels @ corners and each 25' of wall.

Siding Cedar Shakes  
(example: lap or T-111)

Note: Pre-engineered floor systems may be used and should be installed according to the manufacturers installation instructions.

Wall sheathing 1/2" USB  
(example: 1/2" exterior plywood)

Access required

2x 6 studs @ 16 O.C.  
(example: 2 x 6 @ 24" O.C.)

18" minimum from the interior grade level to the bottom of the floor joists.

Cont. 2x 6 <sup>PT</sup> sill plate  
(example: 2 x 4)

Engineered Design: Caissons may be required if your site has swelling soils. A foundation designed by a Colorado licensed architect or engineer may be required.

To match House  
2x 10 Joists @      O.C.  
(example: 2 x 10 @ 24" O.C.)

Check one  
 Foundation: Engineered Design  
 Foundation: Detail A  
(see page 3)

*Handwritten signature and date: 9/12/02*

Wall width 8 "  
(example: 8' 1")

Footing size 8 " x 16 "  
(example: 8" x 16")

Property Address: \_\_\_\_\_

A 4' Frost wall with Plastic 6mil + DUST Cap. Access Through Basement Window Insulated Floor R19

walls covered with 1/2" USB + Tyvek + Cedar Shakes  
windows 3 @ 30310 U Fac 0.37  
1 Glass Door U Fac 0.15 30/68  
ALL Interior walls 2x4 16 oc 1/2" Gypsum Board

