

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

## PERMIT

Permit Number: 071092

Please Read Application And Notes, If Any, Attached

This is to certify that CAMINITI STEVEN L & G CAMINITI Joe Gallant  
has permission to Remove existing sun room and add addition for new sun and bathroom

AT 17 MARLOW ST

PERMIT ISSUED  
176 D015001 SEP 24 2007  
CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Thomas W. Manley* 9/28/07  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1092	Issue Date:	CBL: 176 D015001
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Location of Construction: 17 MARLOW ST	Owner Name: CAMINITI STEVEN L & GINA C	Owner Address: 17 MARLOW ST	Phone:
Business Name:	Contractor Name: Joe Gallant	Contractor Address: 15 Rochester St Westbrook	Phone 2078540219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

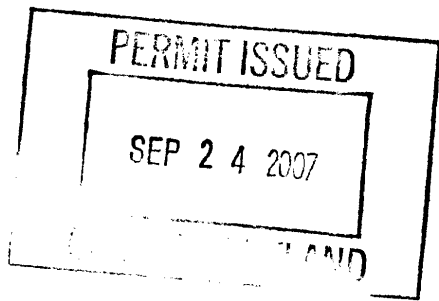
Past Use: Single Family Home	Proposed Use: Single Family Home - Remove existing sun room and add addition for new Den and bathroom ; permit rear deck ; garage bump-out (after the fact)	Permit Fee: \$220.00	Cost of Work: \$20,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

Proposed Project Description: Remove existing sun room and add addition for new Den and bathroom ; permit rear deck ; garage bump-out after the fact.	Signature:	Signature: <i>Jim 9/28/07</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 09/06/2007	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>9/24/07 ABA</i>	Date: _____	Date: <i>ABA</i>



**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

X [Signature]  
Signature of Applicant/Designee

10-09-07  
Date

[Signature]  
Signature of Inspections Official

10.9.07  
Date

CBL: 176 D 15 Building Permit #: 071092

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 07-1092	<b>Date Applied For:</b> 09/06/2007	<b>CBL:</b> 176 D015001
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<b>Location of Construction:</b> 17 MARLOW ST	<b>Owner Name:</b> CAMINITI STEVEN L & GINA C	<b>Owner Address:</b> 17 MARLOW ST	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> Joe Gallant	<b>Contractor Address:</b> 15 Rochester St Westbrook	<b>Phone:</b> (207) 854-0219
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Dwellings	

<b>Proposed Use:</b> Single Family Home - Remove existing sun room and add addition for new Den and bathroom & permit rear deck and garage bump out (after the fact)	<b>Proposed Project Description:</b> Remove existing sun room and add addition for new Den and bathroom & permit rear deck and garage bump out (after the fact)
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Ann Machado	<b>Approval Date:</b> 09/24/2007
<b>Note:</b> Rear deck was not permitted. It is now part of this permit.			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			

<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 09/28/2007
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required			
2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.			
3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.			

<b>Comments:</b> 9/11/2007-amachado: Spoke to Steve Caminiti. Told him that deck & bumpout on rear of garage not permitted. Need to be permitted after the fact. Can add it to this permit. Need dimensions & setbacks.
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# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>17 Marlow SE</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>5,576</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>176      0      015</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Steven Caminiti</u> Address <u>17 Marlow SE</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>772-4379 H</u> <u>871-7347 W</u>
Lessee/DBA (If Applicable) <u>SEP</u>	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>20,000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Rebuild current <del>office</del> DEN and add Bathroom</u> <u>Permit Deck &amp; Garage bumpout after the fact.</u>		
Contractor's name: <u>Jae Ballant</u> Address: <u>20 Katahdin Dr</u> City, State & Zip: <u>Gorham Me 04038</u> Telephone: <u>415-4078</u> Who should we contact when the permit is ready: <u>Steven Caminiti</u> Telephone: <u>772-4379</u> Mailing address: _____ <u>cell</u>		

**Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 8-17-07

**This is not a permit; you may not commence ANY work until the permit is issue**

Set Backs



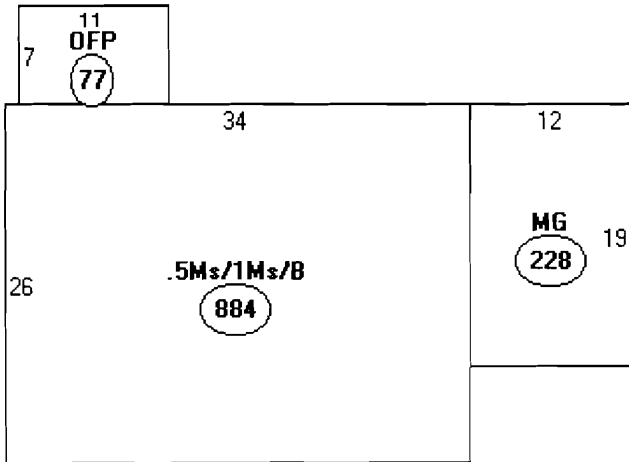
RS

lot size 5876  
Side - 8' min - 5 given  
rear - 20' min - 23 given

lot coverage - 48%

92426  
175 deck.  
38 1  
~~1224~~  
1224

total 14374  
ok.



Descriptor

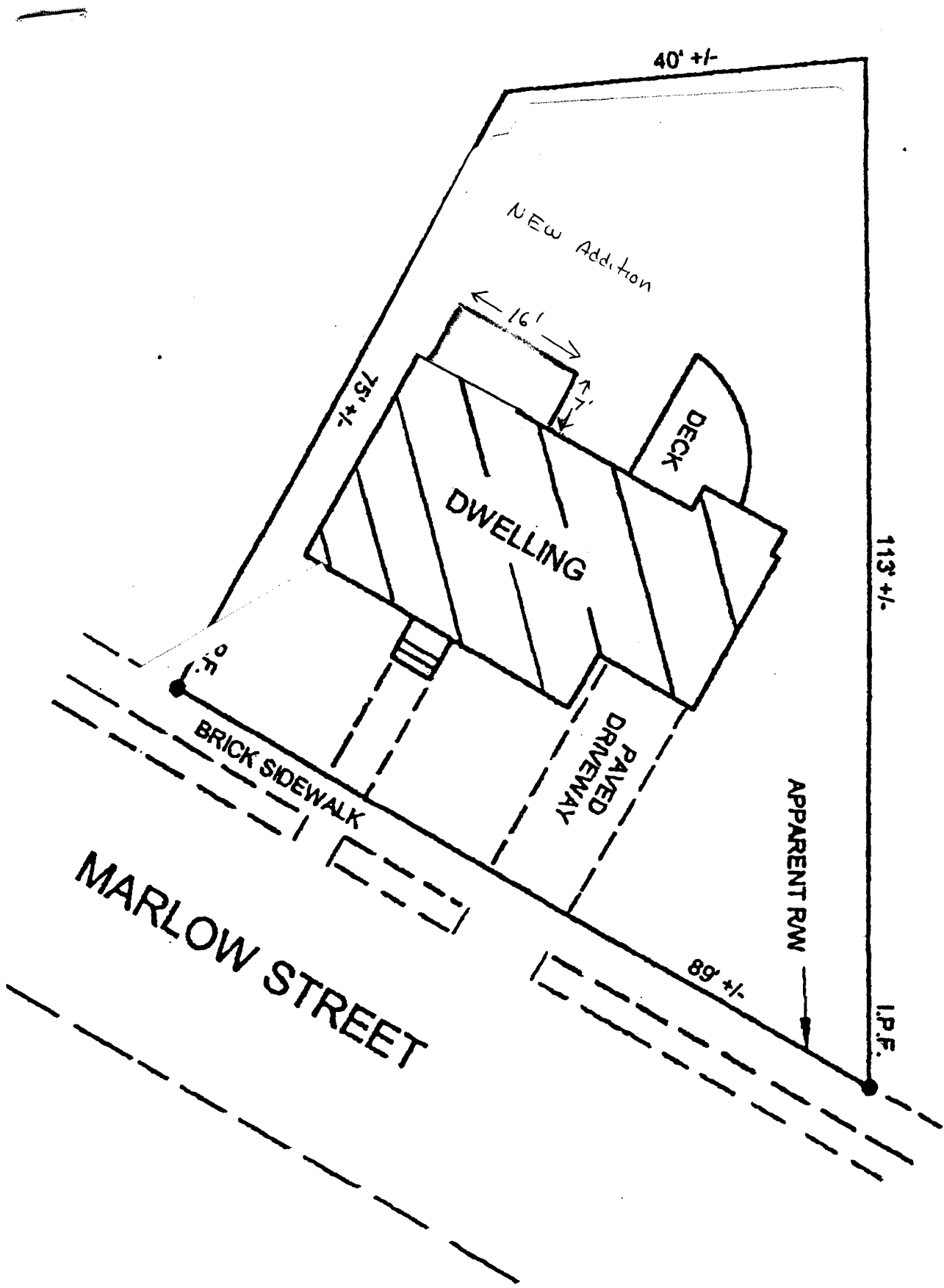
A: .5Ms/1Ms  
884 sqft

B: OFP  
77 sqft

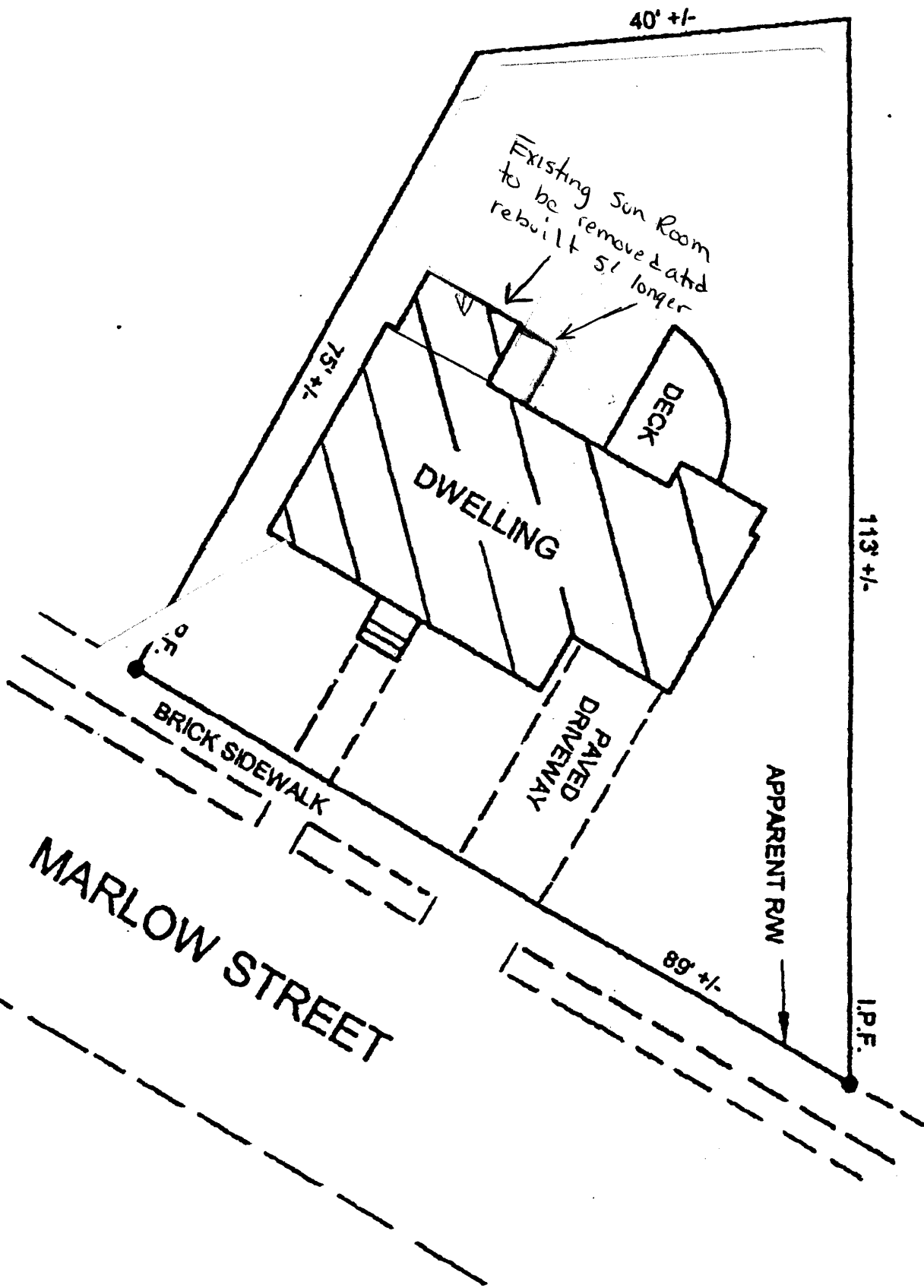
C: MG  
228 sqft

1189  $\phi$  existing  
 35  $\phi$  adding  
 -----  
 1224  
 deck?  
 bumpout garage?

porch existed in 1951. 11x7







40' +/-

Existing Sun Room  
to be removed and  
rebuilt 5' longer

75' +/-

DECK

DWELLING

113' +/-

BRICK SIDEWALK

PAVED DRIVEWAY

APPARENT R.W.

89' +/-

I.P.F.

MARLOW STREET

# RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

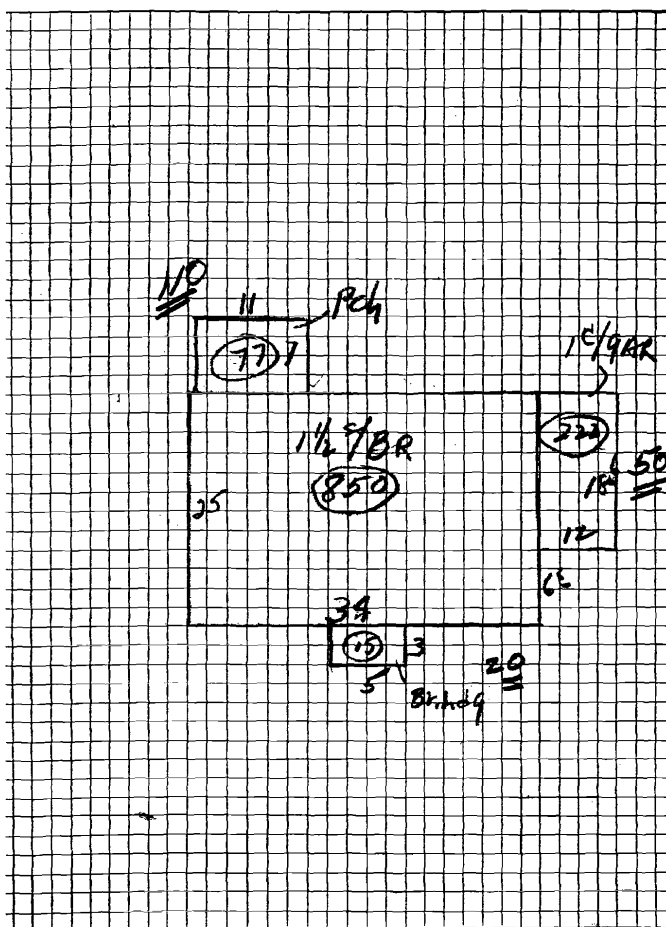
YEAR 19

1951

*1 1/2" 2286-OB equip. in steam boat. repl. NS*

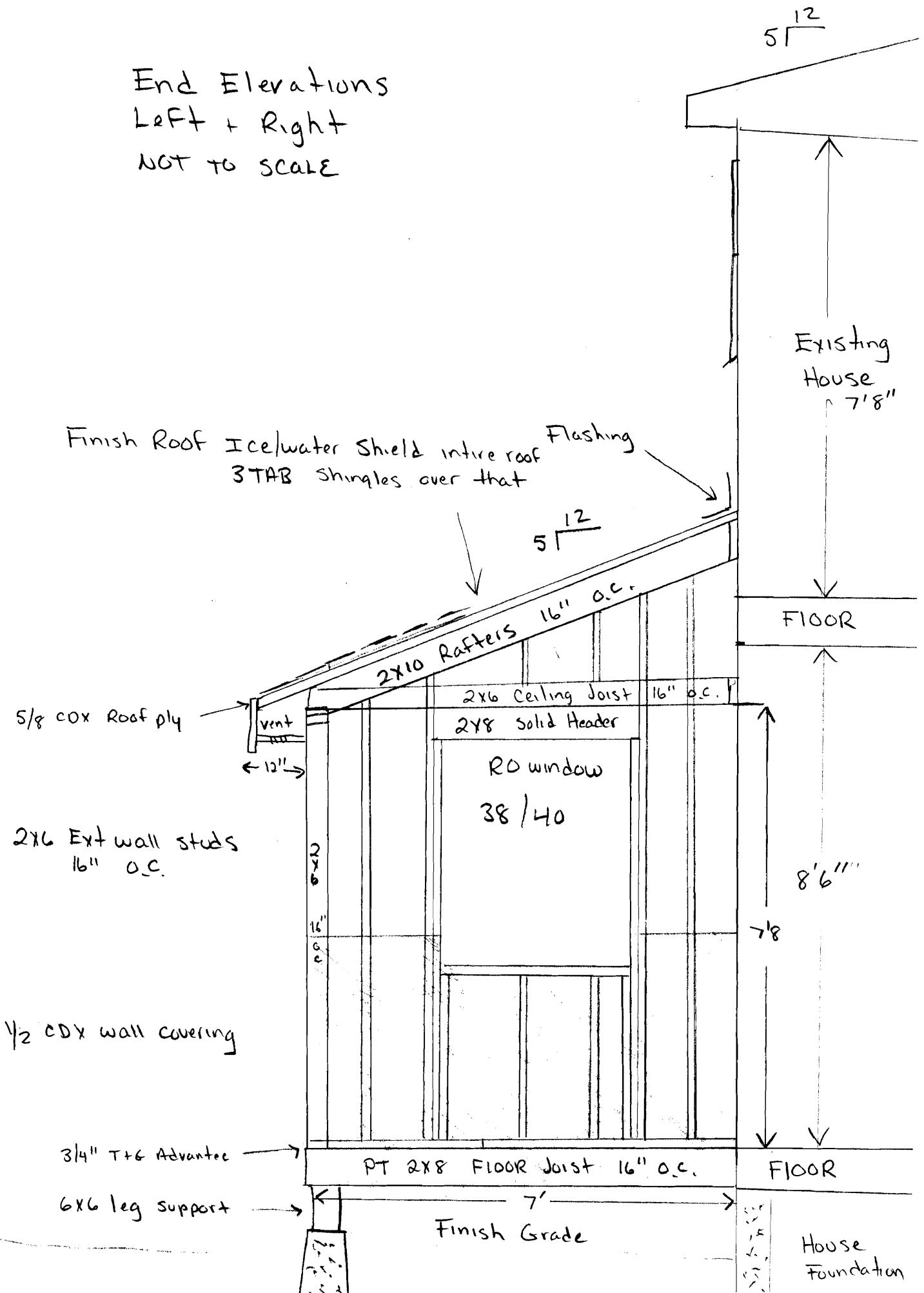
FOUNDATION		FLOOR CONST.		PLUMBING											
CONCRETE		WOOD JOIST	✓	BATHROOM	✓										
CONCRETE BLOCK		STEEL JOIST		TOILET ROOM											
BRICK OR STONE	✓	MILL TYPE		WATER CLOSET	✓										
PIERS		REIN. CONCRETE		LAVATORY											
CELLAR AREA FULL				KITCHEN SINK	✓										
1/4 1/2 3/4		FLOOR FINISH		STD. WAT. HEAT											
NO. CELLAR		B 1 2 3		AUTO. WAT. HEAT	✓										
		CEMENT	✓	ELECT. WAT. SYST.											
EXTERIOR WALLS		EARTH		LAUNDRY TUBS											
CLAPBOARDS		PINE		NO PLUMBING											
WIDE SIDING		HARDWOOD	✓	TILING											
DROP SIDING		TERRAZZO		BATH FL. & WCOT.											
NO SHEATHING		TILE		TOILET FL. & WCOT.											
WOOD SHINGLES				LIGHTING											
ASBES. SHINGLES				ELECTRIC	✓										
STUCCO ON FRAME		ATTIC FLR. & STAIRS		NO LIGHTING											
STUCCO ON TILE		INTERIOR FINISH		NO. OF ROOMS											
BRICK VENEER		B 1 2 3		BSMT. 2ND 3											
BRICK ON TILE		PINE	✓	1ST 3 3RD											
SOLID BRICK	✓	HARDWOOD	✓	OCCUPANCY											
STONE VENEER		PLASTER	✓	SINGLE FAMILY	✓										
CONC. OR CIND. BL.		UNFINISHED		TWO FAMILY											
		METAL CLG.		APARTMENT											
TERRA COTTA				STORE											
VITROLITE		RECREAT. ROOM		THEATRE											
PLATE GLASS		FINISHED ATTIC		HOTEL											
INSULATION		FIREPLACE	✓	OFFICES											
WEATHERSTRIP		HEATING		WAREHOUSE											
ROOFING		PIPELESS FURNACE		COMM. GARAGE											
ASPH. SHINGLES	✓	HOT AIR FURNACE		GAS STATION											
WOOD SHINGLES		FORCED AIR FURN.		ECONOMIC CLASS											
ASBES. SHINGLES		STEAM	✓	OVER BUILT											
SLATE TILE		HOT WAT. OR VAPOR		UNDER BUILT											
METAL		NO HEATING		SUMMARY OF BUILDINGS											
COMPOSITION		GAS BURNER		OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.
ROLL ROOFING		OIL BURNER	Repl. '56	DWG.	A 1 1/2 ST. BR.	C	15		F-6	6720	20%	5380	A	5280	3225
INSULATION		STOKER		B									B		
				C									C		
				D									D		
				E									E		
				F									F		
				G									G		

COMPUTATIONS	
UNIT	1951
850 S. F.	4870
S. F.	
ADDITIONS	+630
BASEMENT	
WALLS	
ROOF	
FLOORS	
ATTIC	
FINISH	
FIREPLACE	+150
HEATING	+210
PLUMBING	+130
TILING	
TOTAL *	5990
FACT. +15	+730
REP. VAL.	6720



SUMMARY OF BUILDINGS															
OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.				
DWG.	A 1 1/2 ST. BR.	C	15		F-6	6720	20%	5380	A	5280	3225				
B									B						
C									C						
D									D						
E									E						
F									F						
G									G						
YEAR	1951														
TAX VAL.									19						
OLD VAL.									19						
CHANGE									19						
										1951 TOTAL BLDGS.		5380			

End Elevations  
 Left + Right  
 NOT TO SCALE



Shed Roof  
← 2X10 Rafters  
16" O.C.

← 2X6 Double Top plate

← 3/4" T+G Advantec

2X8 Solid Header

RC window  
38 | 40

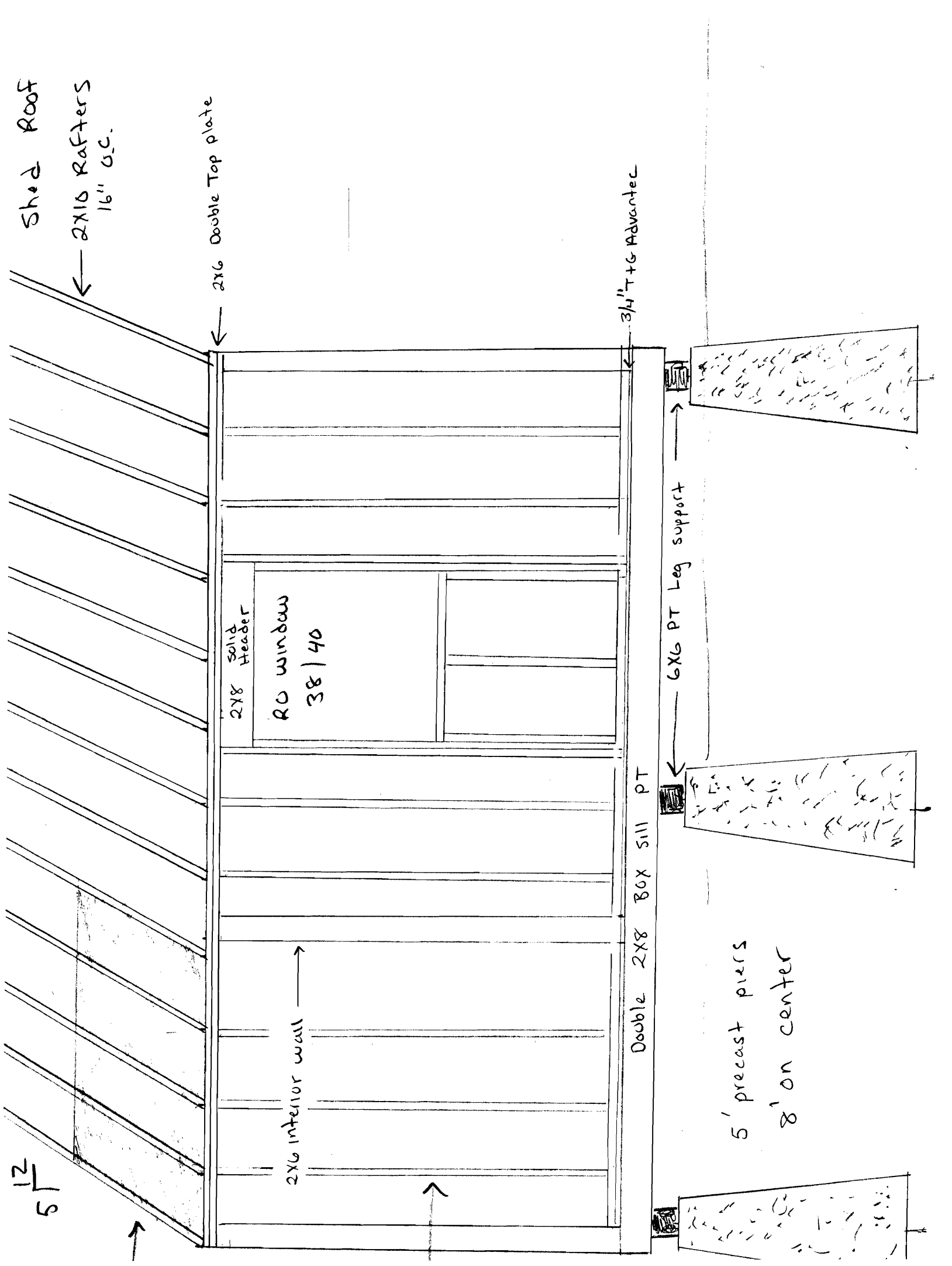
2X6 interior wall

Double 2X8 Box Sill PT

← 6X6 PT Leg support

5' precast piers  
8' on center

5' 12"



## Framing Material

Joist PT 2x8 16" O.C. 7' span

Decking 3/4" T+G Advantec

walls 2x6 16" O.C.

Sheathing 1/2 CDX

Headers 2x8 Solid 38" span

Roof 2x10 rafters 16" O.C. 5<sup>12</sup> 7' Run

Roof Sheathing 5/8 CDX

Finish roof Ice/water shield intire roof  
25 yr 3 tab Shingles

## Interior

Ceiling Joist 2x6 16" O.C.

Strapping 1x3 16" O.C.

walls 2x6 16" O.C.

## Insulation

Floor R-19 + 1" Thermax

walls R-19

Ceiling R-38

Interior Bath wall R-19

## windows

3 at <sup>w</sup> 38" x <sup>h</sup> 40"

