

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 070911

PERMIT ISSUED

JUL 31 2007

CITY OF PORTLAND

This is to certify that MATEJA JEFFREY T / Homeowner

has permission to Deck addition and repair existing structure

AT 55 HILLIS ST

176 B013001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lashed or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Handwritten signature and date 7/31/07

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0911	Issue Date:	CBL: 176 B013001
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Location of Construction: 55 HILLIS ST	Owner Name: MATEJA JEFFREY T	Owner Address: 55 HILLIS ST	Phone:
Business Name:	Contractor Name: Home Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - Deck addition and repair existing structure	Permit Fee: \$30.00	Cost of Work: \$1,000.00	CEO District: 3
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Proposed Project Description:
Deck addition and repair existing structure

FIRE DEPT: Approved Denied
Signature: *N/A*

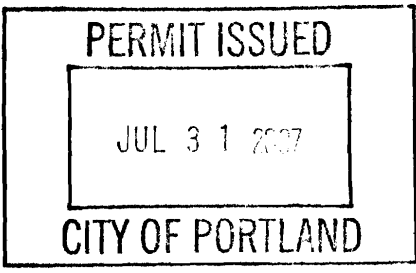
INSPECTION: Use Group: *R-3* Type: *SB*
IRE 2093
Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 07/30/2007	Zoning Approval	
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>7/31/07</i>	Date: _____	Date: <i>7/31/07</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/~~Certificate of Occupancy~~: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

~~STM~~ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~NA~~ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] 8-1-07
Signature of Applicant/Designee Date

Donna Martin Admin 8-1-07
Signature of Inspections Official Date

CBL: 176 B 013 Building Permit #: 070911

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0911	Date Applied For: 07/30/2007	CBL: 176 B013001
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Location of Construction: 55 HILLIS ST	Owner Name: MATEJA JEFFREY T	Owner Address: 55 HILLIS ST	Phone:
Business Name:	Contractor Name: Home Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Deck addition and repair existing structure	Proposed Project Description: Deck addition and repair existing structure
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/31/2007

Note: **Ok to Issue:**

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 07/31/2007

Note: **Ok to Issue:**

- 1) As discussed, the stair nosing shall be 3/4" to 1-1/4".
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems.
Separate plans may need to be submitted for approval as a part of this process.



General Building Permit Application

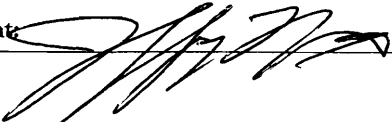
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>55 HILLIS ST., PORTLAND 04103</u>		
Total Square Footage of Proposed Structure <u>280</u>		Square Footage of Lot <u>5000</u>
Tax Assessor's Chart, Block & Lot Chart# <u>176</u> Block# <u>B</u> Lot# <u>13</u>	Owner: <u>JEFFREY T. MATEJA</u>	Telephone: <u>233-2420</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>JEFF MATEJA</u> <u>55 HILLIS ST.</u> <u>PORTLAND, ME</u> <u>04103</u>	Cost Of Work: \$ <u>1000</u> Fee: \$ <u>30</u> C of O Fee: \$ _____
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Deck addition + Repair -</u>		
Contractor's name, address & telephone: Who should we contact when the permit is ready: <u>JEFF MATEJA</u> Mailing address: <u>55 HILLIS ST.</u> Phone: <u>233-2420</u> <u>PORTLAND, ME</u> <u>04103</u>		

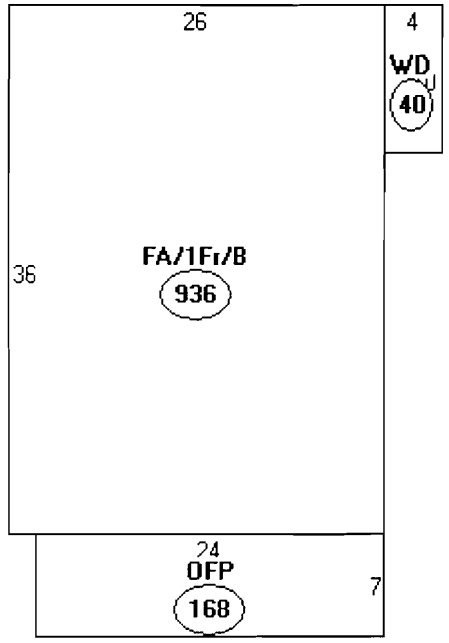
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>7/30/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.



Descriptor/Area

A: FA/1Fr/B
936 sqft

B: WD
40 sqft

C: OFP
168 sqft

1144

R-5
5000 SF
x 40%
2000 Allowed
- 1144

856
- 216

640
- 40

600
- 240

360 SF
- 36

324
14 ft

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	176 B013001
Location	55 HILLIS ST
Land Use	SINGLE FAMILY
Owner Address	MATEJA JEFFREY T 55 HILLIS ST PORTLAND ME 04103
Book/Page	24675/209
Legal	176-B-13 HILLIS ST 53-55 5000 SF

Current Assessed Valuation

Land	Building	Total
\$85,800	\$122,800	\$208,600

Property Information

Year Built 1925	Style Bungalow	Story Height 1	Sq. Ft. 1451	Total Acres 0.115		
Bedrooms 2	Full Baths 1	Half Baths	Total Rooms 5	Attic Full Fin./wh	Basement Full	

Outbuildings

Type GARAGE-WD/CB	Quantity 1	Year Built 1950	Size 12X18	Grade D	Condition F
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Sales Information

Date	Type	Price	Book/Page
12/19/2006	LAND + BLDING	\$220,000	24675-209
07/01/2003	LAND + BLDING	\$127,000	19675-236

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

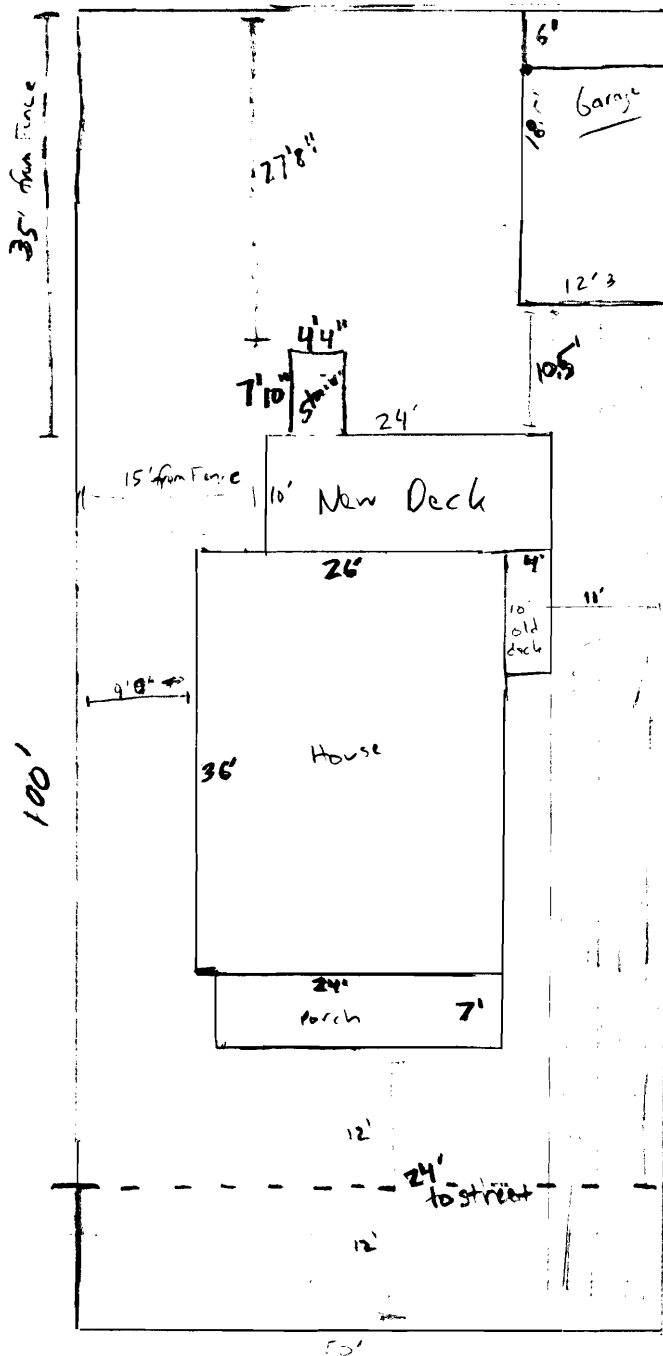
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!



Plot Plan

R-5
 Rear - 25'
 Sides - 8'



SCALE

□ 1sq. = 4'x4'

Jeffrey Mateja
55 Hillis Street, Portland 04103

Deck Information for Permit Application

Type of Foundation

- a. 8 inch diameter of concrete filled tube
- b. 4 foot depth below grade
- c. Metal connector with either a wet insert or bolt in post base for anchorage of column to footing
- d. 6 feet on center for spacing of tubes

Columns

- a. 4" x 4" pressure treated
- b. Metal connector to post base to concrete, and post cap from post to beam (for anchorage of column to footing)

Framing Member

- a. Ledger size attached to building – 2" x 8" attached with lag or carriage bolts to band joists of house.
- b. Lag Bolt size and spacing ledger – ½ inch lag bolts or carriage bolts at 16 inches on center and 5 inches long
- c. Location of all flashing – grace behind ledger, z-flashing over the top, roofing felt on top of beams.
- d. Girder size and spans carrying floor system – 4" x 8" doubled with 2" x 8" with 6 foot span between posts.
- e. Joists size, span, and spacing – 2" x 8" with 10 foot span from ledger to front beam spaced 16 inches on center.
- f. Joist hangers or ledger – metal framing connector.
- g. Decking size – 1 ¼ inch x 6 inches pressure treated.

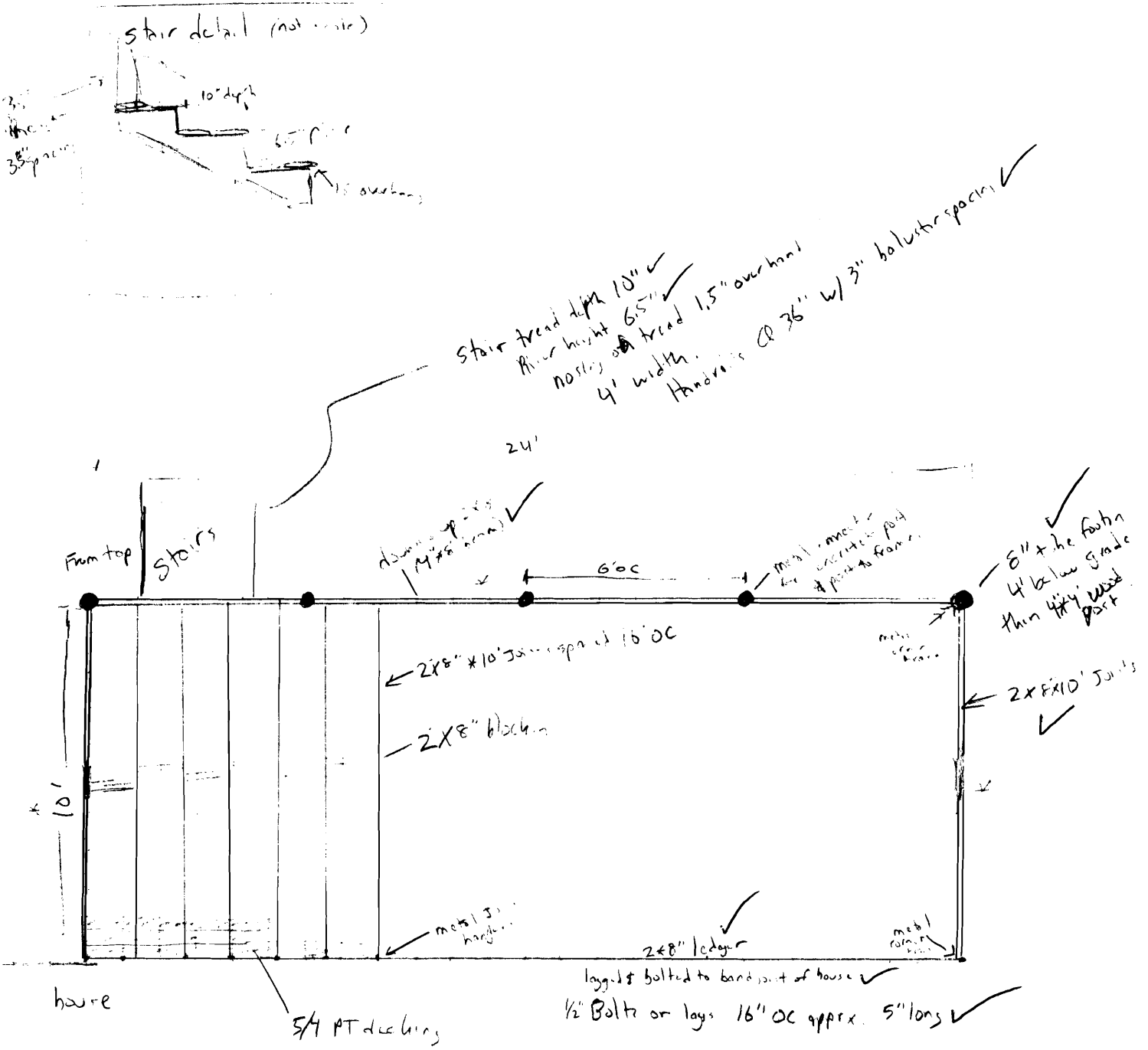
Guardrails & Handrail Details

- a. Guardrail height – 36 inches
- b. Baluster spacing – 3 ½ inches
- c. Handrail height – 36 inches

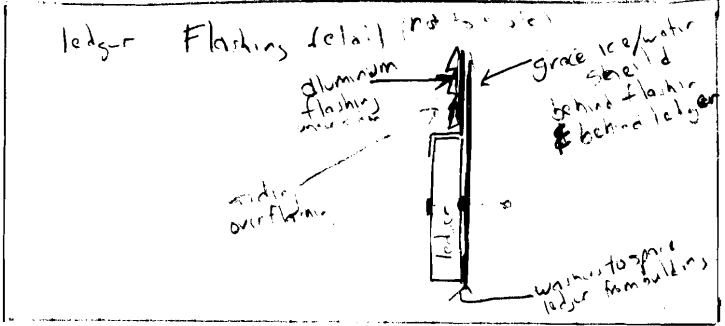
Stair Details

- a. Tread depth – 10 inches
- b. Riser height – 6 ½ inches
- c. Nosing on tread – 1 ½ inches
- d. Width of stairs – 4 feet wide

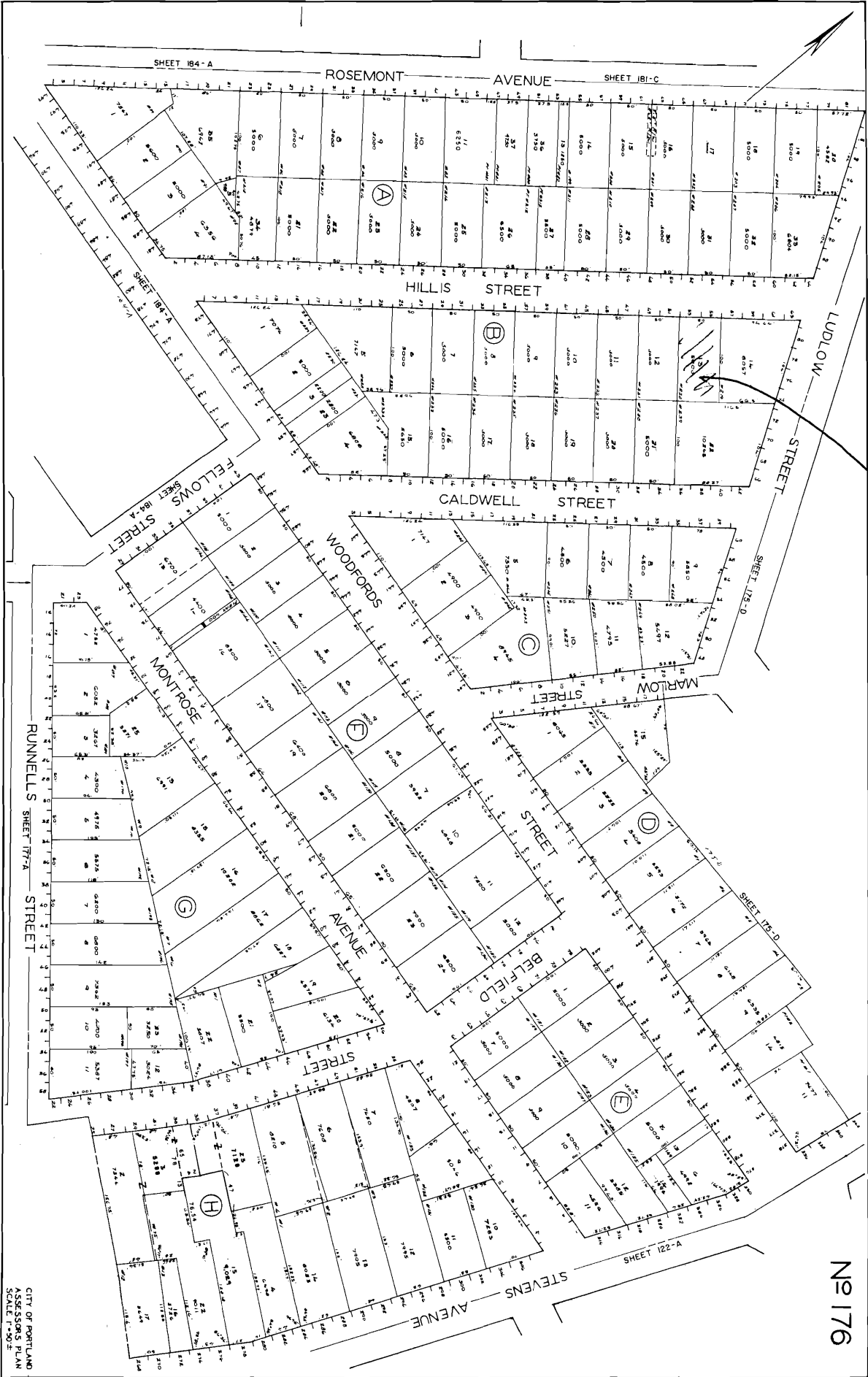
Deck Plan



* Note all grain side of deck
 will have 3/8" spacing w/ ✓
 3/8" spacing between joists



1 sq = 1' x 1'



SHEET 184-A

ROSEMONT AVENUE

SHEET 181-C

HILLIS STREET

CALDWELL STREET

WOODFORDS STREET

MARLOW STREET

BELFIELD STREET

STEVENS AVENUE

LUDLOW STREET

FELLOWS STREET

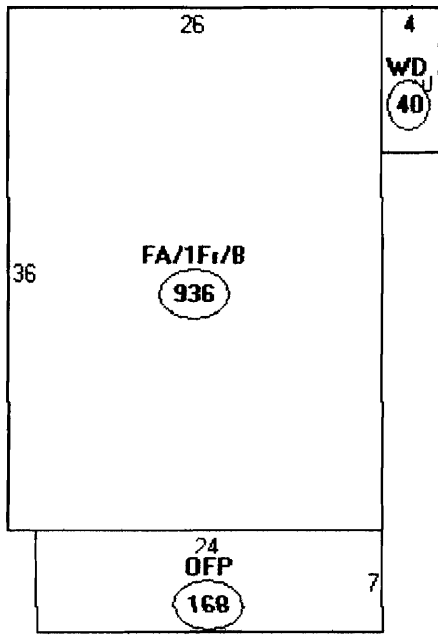
MONTROSE STREET

RUNNELLS STREET

STREET

CITY OF PORTLAND
ASSESSORS PLAN
SCALE 1"=90.3'
REVISED 11/27/06

№ 176

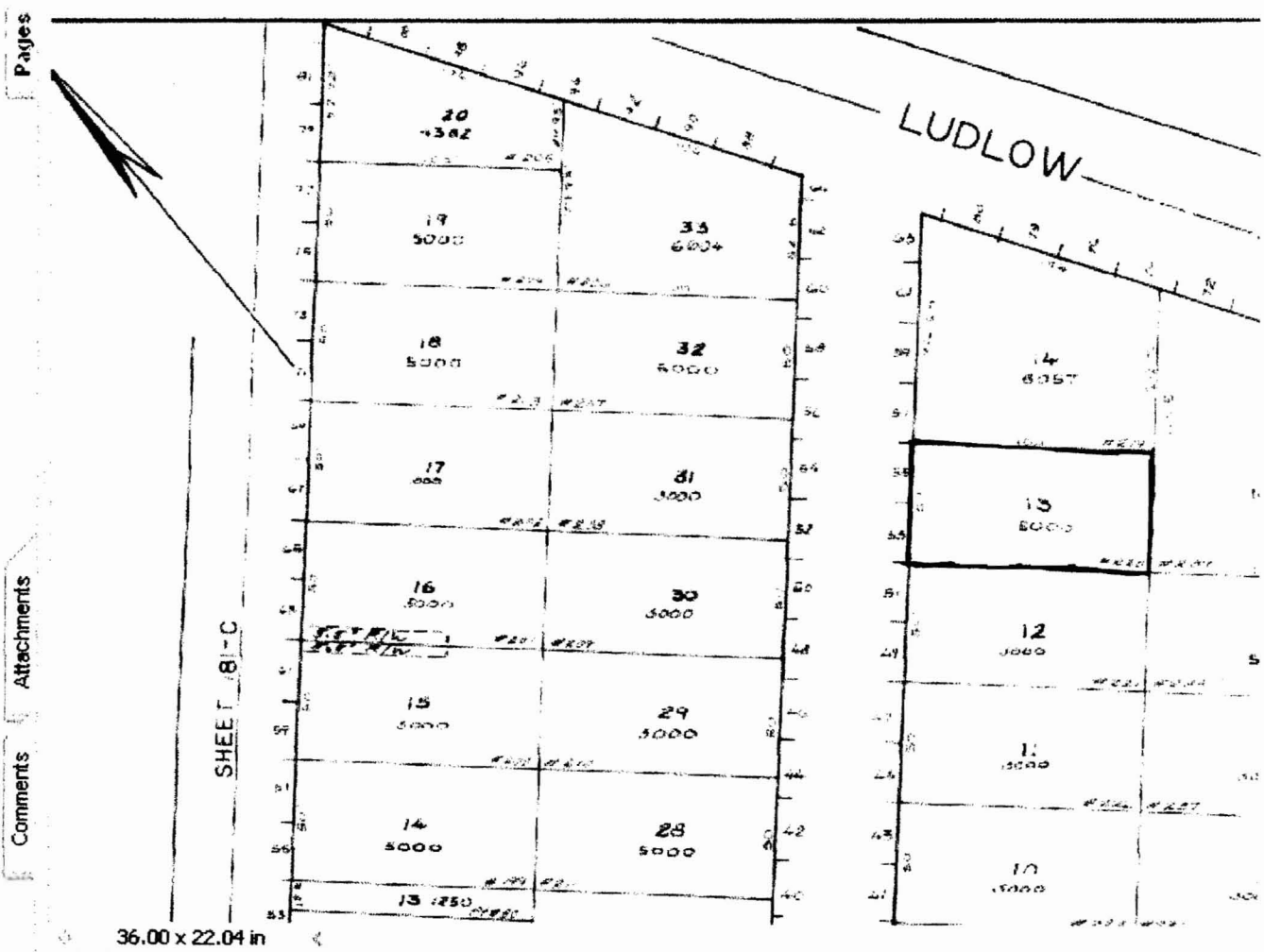


Descriptor/Area

A: FA/1Fr/B
936 sqft

B: WD
40 sqft

C: OFP
168 sqft



50' x 100'



Permitting By Appointment

As part of Portland's city-wide effort to improve customer service and help streamline doing business within the City, the Inspections Division has developed a new permitting system for qualified properties and for specific construction projects. Under this new program, you may be eligible to receive a building permit on the day you have a scheduled appointment with Inspection staff.

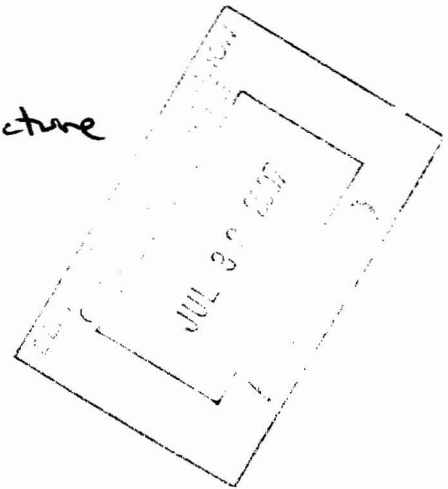
This permitting program applies only to existing one and two family homes not located within a historic district or shore land zone.

Eligible Projects

Please submit a complete application with the required plans

- Interior renovations, gut rehabs including structural changes
- Attached and detached garages

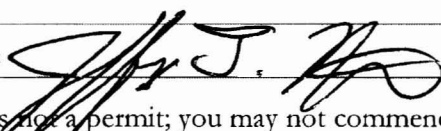
- Additions, decks, sheds, pools, dormers
Deck addition, plus repair existing structure
- Rebuild of any exterior structure listed above



Inspections are still required per City Code of Ordinance.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that this project meets the above criteria and that the work performed will not go beyond these parameters.

Signature of applicant: 	Date: 7/30/07
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This is not a permit; you may not commence ANY work until the permit is issued.