

Location of Construction: 461 Woodford St		Owner: Ellen Rutter		Phone:		Permit No <b>970902</b>	
Owner Address: 461 Woodford St Portland, ME 04103		Lessee/Buyer's Name:		Phone: 774-4204		Business Name:	
Contractor Name: Richard Rust		Address:		Phone:		<div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b>                  Permit Issued:  <b>AUG 20 1997</b>  <b>CITY OF PORTLAND</b> </div>	
Past Use: 1-fam		Proposed Use: Same w/Home Occ		COST OF WORK: \$ FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied Signature:		PERMIT FEE: \$ 25.00 INSPECTION: Use Group <i>B3</i> Type: <i>5B</i> <i>BOCA 96</i> Signature: <i>Huffer</i>	
Proposed Project Description: Change Use from 1-fam to 1-fam w/Home Occ Direct Mail Order <i>Duplex split deed.</i>				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____		Zone: <i>K-3</i> CBL: 176-B-003 Zoning Approval: <i>de-s with</i> Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>concluded</i> <input type="checkbox"/> Wetland <i>8/17/97</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
Permit Taken By: Mary Gresik		Date Applied For: 18 August 1997					

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

**PERMIT ISSUED  
WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

*Richard Rust* 18 August 1997  
 SIGNATURE OF APPLICANT Richard Rust ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

- Zoning Appeal**
- Variance
  - Miscellaneous
  - Conditional Use
  - Interpretation
  - Approved
  - Denied

- Historic Preservation**
- Not in District or Landmark
  - Does Not Require Review
  - Requires Review

- Action:**
- Approved
  - Approved with Conditions
  - Denied

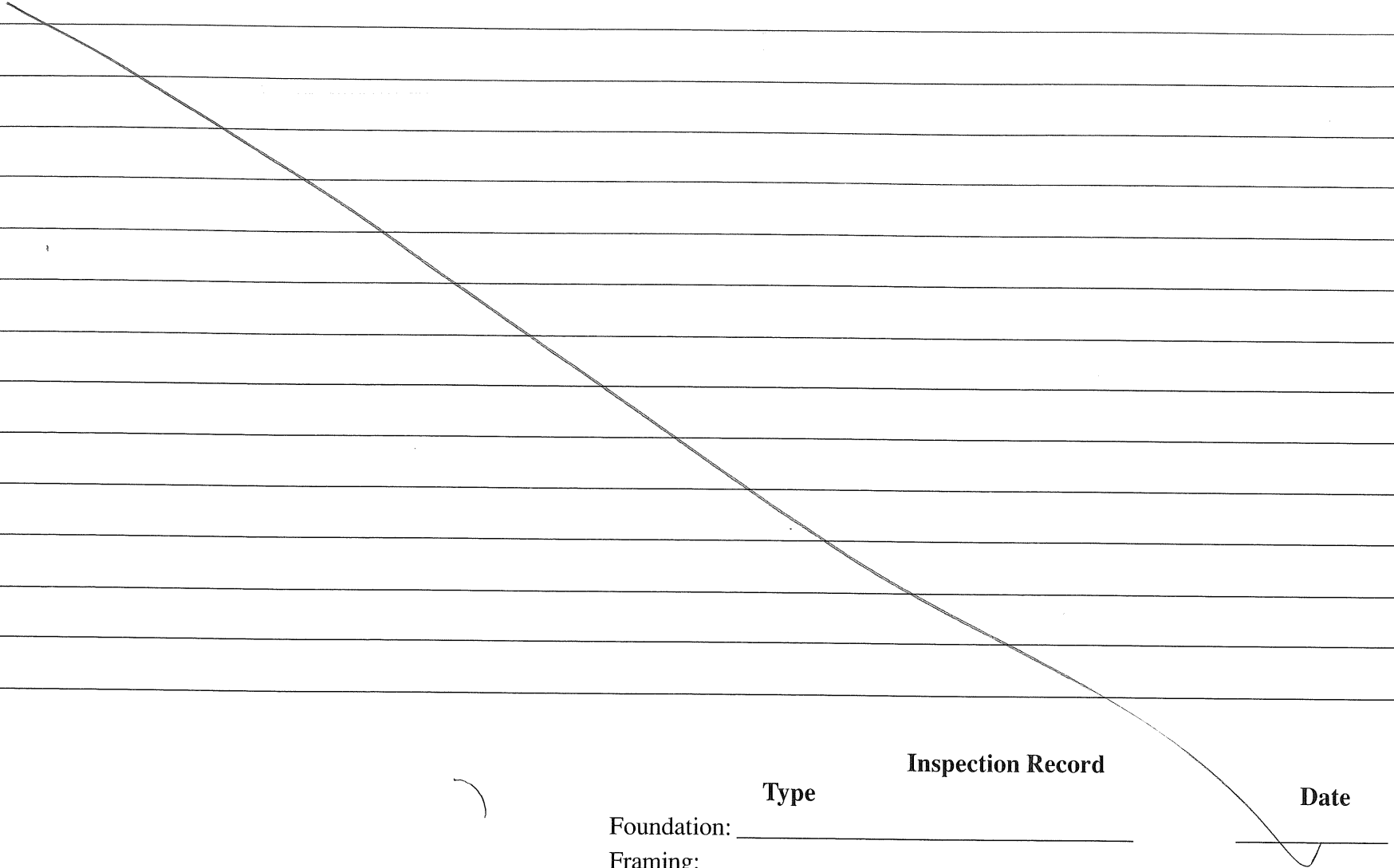
Date: *8/20/97*  
*8/17/97*

CEO DISTRICT 4

*A 2011 B*

COMMENTS

9-3-97 Approved - Mail Order Company.



	Type	Inspection Record	Date
Foundation:	_____	_____	_____
Framing:	_____	_____	_____
Plumbing:	_____	_____	_____
Final:	_____	_____	_____
Other:	_____	_____	_____

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

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Owner Address: 461 Woodford St Ptd, ME 04103		Lessee/Buyer's Name:		Phone: 774-4204	BusinessName:
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Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied				Signature: _____ Date: _____	
Permit Taken By: Mary Gresik		Date Applied For: 18 August 1997			

**PERMIT ISSUED**  
**Permit Issued:**  
**AUG 20 1997**  
**CITY OF PORTLAND**

Zone: **R-5** CBL: 176-B-003  
 Zoning Approval: *[Signature]*  
**Special Zone or Reviews:**  
 Shoreland *conditions*  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan maj  minor  mm

**Zoning Appeal**

- Variance
- Miscellaneous
- Conditional Use
- Interpretation
- Approved
- Denied

**Historic Preservation**

- Not in District or Landmark
- Does Not Require Review
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**Action:**

- Approved
- Approved with Conditions
- Denied

Date: *K. Talbot*

8/18/97

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*Richard Rust*

18 August 1997

SIGNATURE OF APPLICANT Richard Rust ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT

4

*A. Powers*



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 461 Woodford St 176-b-003

Issued to Ellen Rutter

Date of Issue 04 September 1997

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 970902, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single Family w/Home Occ  
Direct Mail Order

Limiting Conditions:

This certificate supersedes  
certificate issued

Approved:

(Date)

Inspector

Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

LAND USE - ZONING REPORT

ADDRESS: 461 Woodford St DATE: 8/19/97

REASON FOR PERMIT: change of use to allow a home occupation for direct mail services

BUILDING OWNER: Ellen Rutter C-B-L: 176-B-3

PERMIT APPLICANT: Richard Rust

APPROVED: with conditions DENIED: \_\_\_\_\_  
#1, #5, #7

CONDITION(S) OF APPROVAL

1. During its existence, all aspects of the Home Occupation criteria, Section 14-410, shall be maintained.
2. The footprint of the existing \_\_\_\_\_ shall not be increased during maintenance reconstruction.
3. All the conditions placed on the original, previously approved, permit issued on \_\_\_\_\_ are still in effect for this amendment.
4. Your present structure is legally nonconforming as to rear and side setbacks. If you were to demolish the building on your own volition, you will **not** be able to maintain these same setbacks. Instead you would need to meet the zoning setbacks set forth in today's ordinances. In order to preserve these legally non-conforming setbacks, you may only rebuild the garage in place and in phases.
5. This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. Two family / occupies 1/2
6. Our records indicate that this property has a legal use of \_\_\_\_\_ units. Any change in this approved use shall require a separate permit application for review and approval.
7. Separate permits shall be required for any signage, under the home occupation criteria
8. Separate permits shall be required for future decks and/or garage.
9. Other requirements of condition \_\_\_\_\_

Marge Schmuckal Marge Schmuckal, Zoning Administrator,  
Asst. Chief of Code Enforcement

**RICHARD N. RUST**  
**461 WOODFORD STREET**  
**PORTLAND, ME 04103**  
**207-774-4204**  
**writer@ime.net**

Zoning Administrator  
Portland City Hall, Room 305  
389 Congress Street  
Portland, Maine 04101

August 18, 1997

Dear Zoning Administrator:

Please let this letter be an application for a permit to conduct a Home Occupation, as stated in the Portland Code sec. 14-410.

This Home Occupation would be a *direct mail order* concern, to be conducted at my residence at 461 Woodford Street, Portland, Maine, 04103.

The nature of this occupation would be to send out printed recipes, instructions and other printed material to customers that respond by mail to ads placed in national magazines, and other media.

The occupation would be conducted in an upstairs room of this residence, on the second floor.

The room measures approximately 9 by 13 feet (see attached floor plan) for a total of 117 square feet.

The items to be shipped will be written materials, so there will be no need for outside storage of goods, nor an exterior display, nor goods visible from the outside.

Any materials used can be easily stored in the designated room.

Though there are no current plans for an exterior sign, I reserve the right to have one in the future, if necessary, per Section 14-410 subsection 1d, of the City Code.

Though there are no plans to alter the building at present I do reserve the right to make such changes, if necessary, per Section 14-410 subsection 1e, of the City Code.

If there is a need for parking I can supply this using my driveway which is adjacent to the residence.

I can see no reason that my activity will generate any objectionable effects as detailed in Section 14-410 subsection 1g, of the City Code.

Currently I am the sole proprietor of the occupation but reserve the right to employ (1) nonresident, employee, if necessary, per Section 14-410 subsection 1h, of the City Code.

I do not foresee that my activities will generate any traffic noise that is greater than would be expected in a residential neighborhood.

I own no motor vehicle over six-thousand (6,000) pounds that is connected with this occupation.

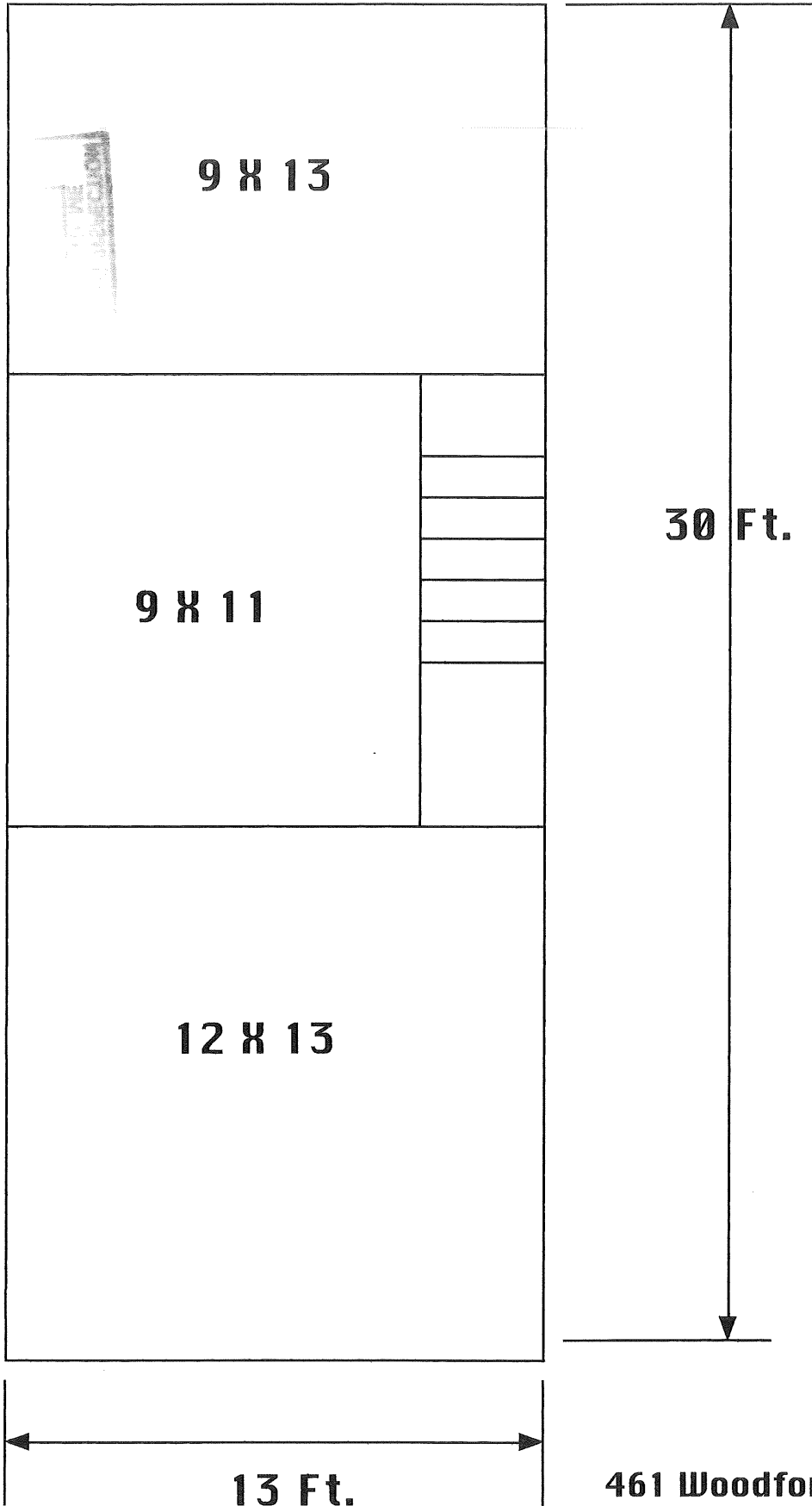
This occupation should conform to the allowable occupations in Section 14-410 subsection 2j, of the City Code, that is, a direct mail order occupation.

Thank you for your attention to this matter.

Yours truly

A handwritten signature in cursive script that reads "Richard N. Rust". The signature is written in dark ink and is positioned to the right of the typed name.

Richard N. Rust



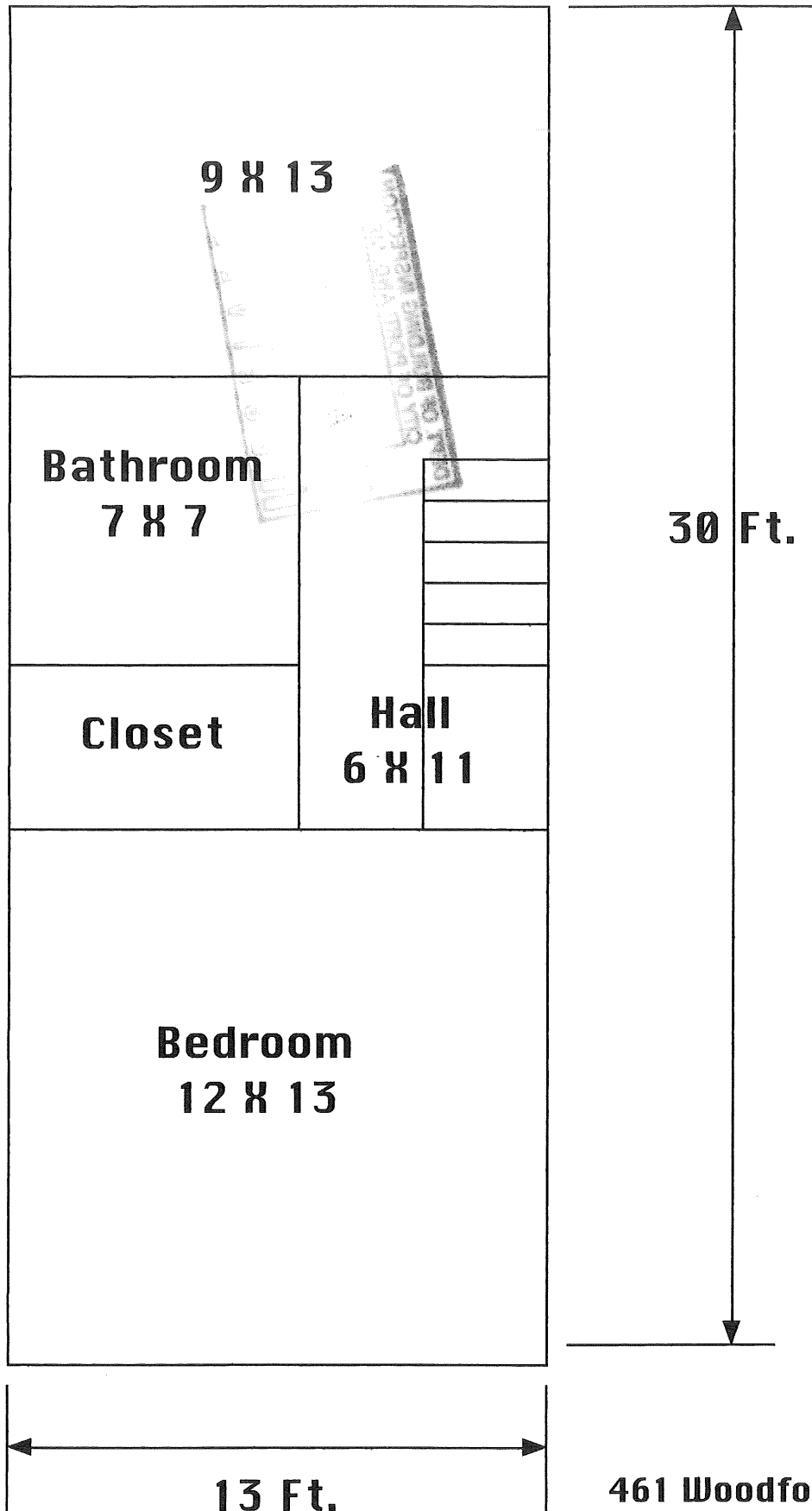
Handwritten vertical text, possibly a date or reference number, located on the left side of the drawing.

**First Floor**

**461 Woodford Street  
Portland, Maine**

**Not to Scale**





**SECOND FLOOR**

**461 Woodford Street  
Portland, Maine**

**Not to Scale**