

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING INSPECTION PERMIT

Permit Number: 080249

This is to certify that RUTTER ELLEN M /Rent. Husband

has permission to Add roof to existing deck permit after the fact

AT 461 WOODFORD ST L 176 R003001

provided that the person or persons in charge of construction accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission procured before this building or part thereof is occupied or services closed-in. 4  
YOUR NOTES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

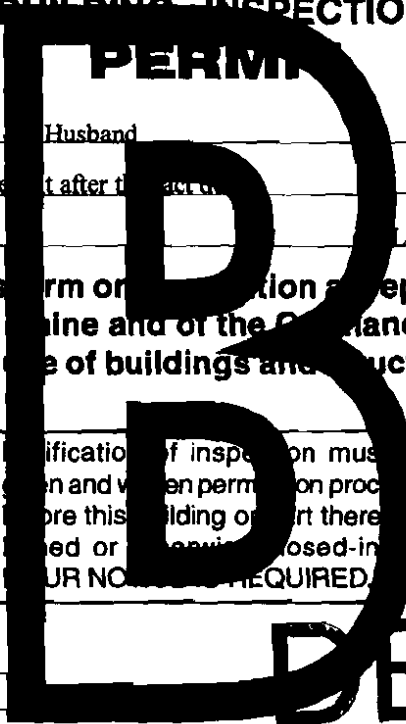
Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

Director - Building & Inspection Services



# DENIED

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0249	Issue Date:	CBL: 176 B003001
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Location of Construction: 461 WOODFORD ST	Owner Name: RUTTER ELLEN M	Owner Address: 461 WOODFORD ST	Phone:
Business Name:	Contractor Name: Rent -A- Husband	Contractor Address: 525 Riverside St. Portland	Phone 2078797400
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: Single Family Home	Proposed Use: Single Family Home - Add roof to existing deck permit after the fact deck	Permit Fee: \$80.00	Cost of Work: \$5,359.28	CEO District: 3
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Proposed Project Description: Add roof to existing deck permit after the fact deck	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied INSPECTION: Use Group: Type:
	Signature: Signature: PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: Date:

Permit Taken By: Idobson	Date Applied For: 03/19/2008	<b>Zoning Approval</b>
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1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	DENIED		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0249	Date Applied For: 03/19/2008	CBL: 176 B003001
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Location of Construction: 461 WOODFORD ST	Owner Name: RUTTER ELLEN M	Owner Address: 461 WOODFORD ST	Phone:
Business Name:	Contractor Name: Rent -A- Husband	Contractor Address: 525 Riverside St. Portland	Phone (207) 879-7400
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Add roof to existing deck permit after the fact deck	Proposed Project Description: Add roof to existing deck permit after the fact deck
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Dept: Zoning	Status: Denied	Reviewer: Ann Machado	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note: See letter dated 3/20/08.				
Dept: Building	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				

# DENIED

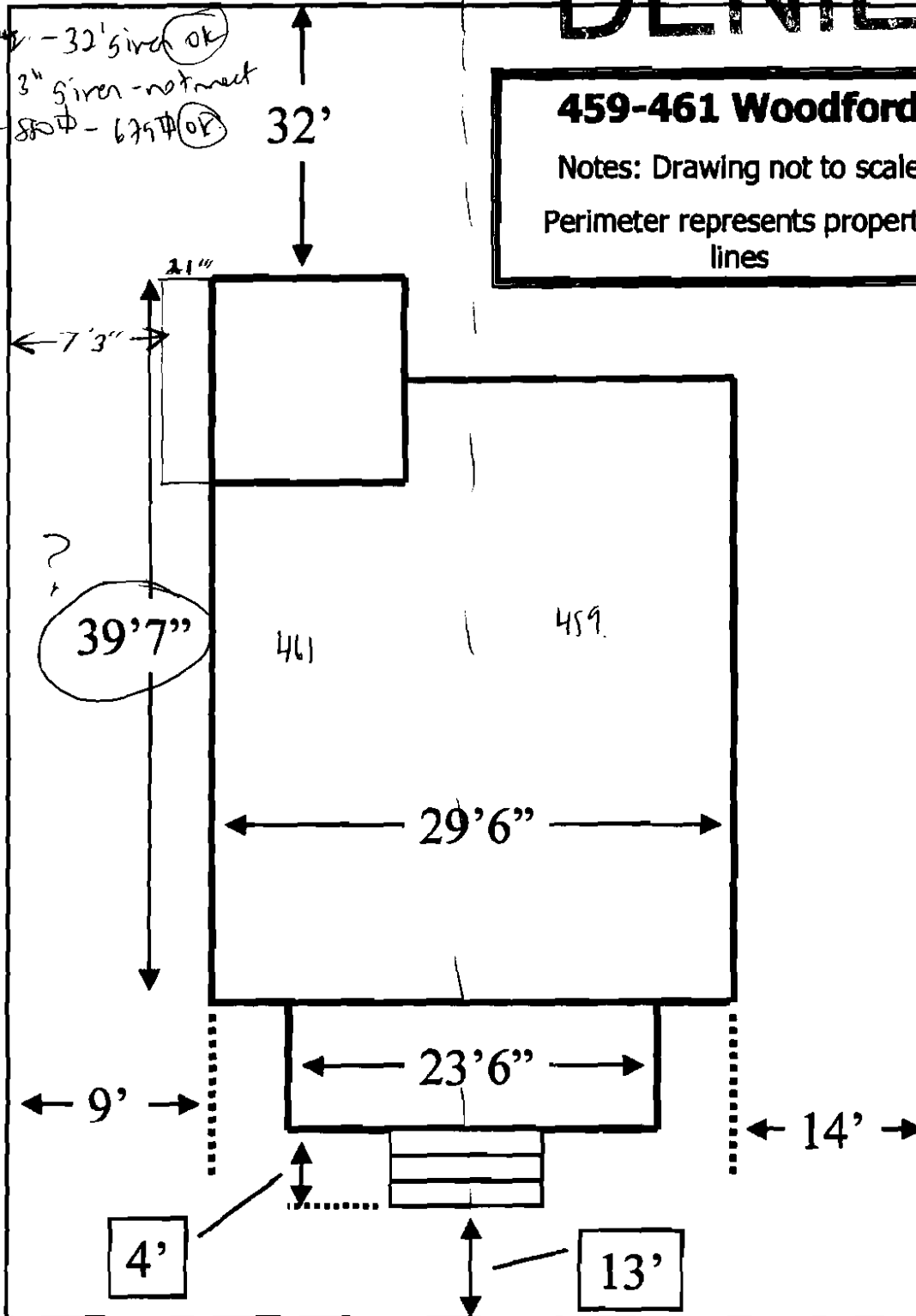
<b>Comments:</b> 3/20/2008-amachado: "Proposed" deck does not meet side setback. Section 14-388 does not allow a building to be enlarged if it does not meet the required area per dwelling unit. See letter dated 3/20/08.
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# DENIED

## 459-461 Woodford

Notes: Drawing not to scale  
Perimeter represents property lines



RS  
lot size = 2200 sq ft

land area per dw = 3,000 sq ft

rear setback - 20' req. - 32' given OK

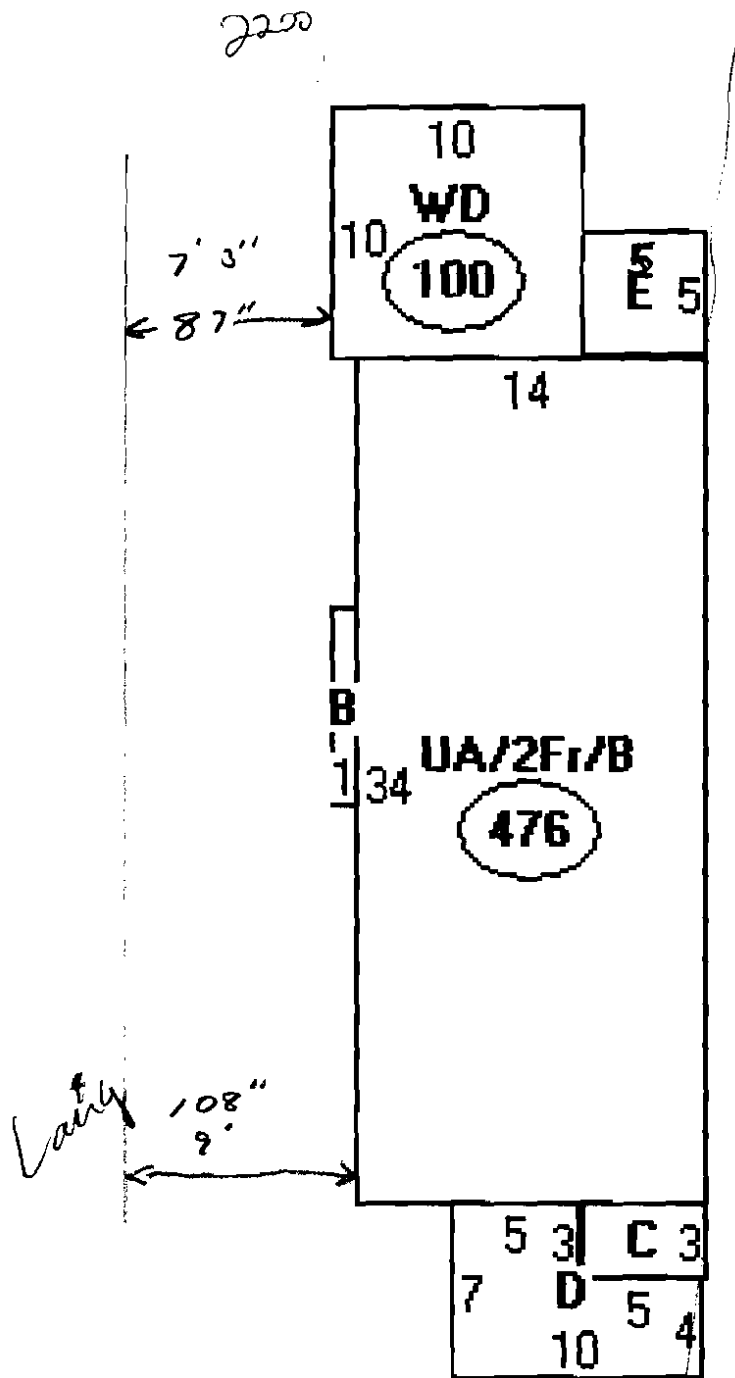
side - 8' req. - 7' 3" given - not meet

lot coverage 40% - 880 sq ft - 675 sq ft OK

\* not meet section

14-388

100



per conversation w/ Richard Rust  
3/20/08  
deck built early 1990s.  
according to owner. Thought  
that contractor had pulled  
the permit. Didn't intend  
to do anything illegal

*Sketch*

building footprint  
w/ deck = 679 sq ft

**DENIED**

STAIR TREAD - 11 1/4"  
RISE - 7 1/2"

5'11" x 4'1" DECK

6 STEPS

8" TUBE  
4" DEEP

NO 4x4 POST

50" FROM GARAGE  
TO DECK FLOOR

10'

4x4 POST ON  
8" TUBE

FRAMING  
2x8 JOISTS 16" o/c  
1x6 DECKING  
4x4 POSTS

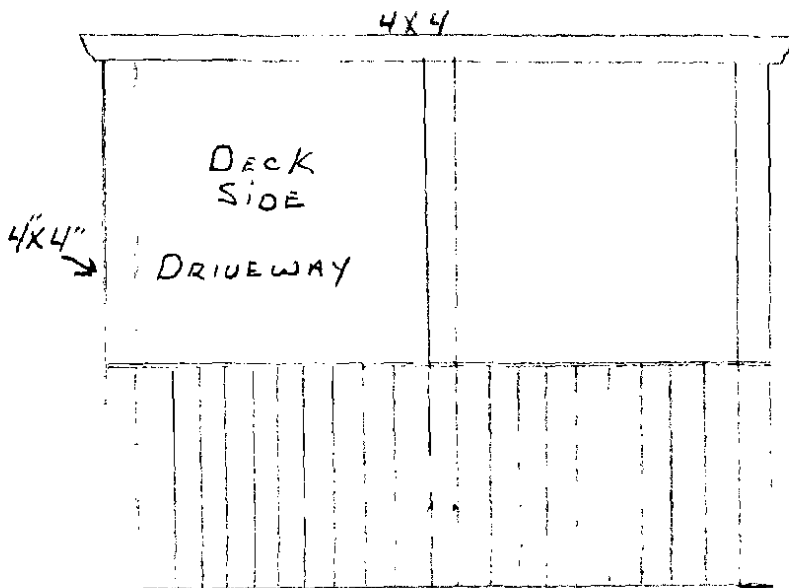
FROST WALL  
CON. BLOCK

DOOR

# DENIED

10'

DRIVEWAY



RAILING HT. - 38"  
BALUSTER - 6" o/c  
4 1/2" SPACE

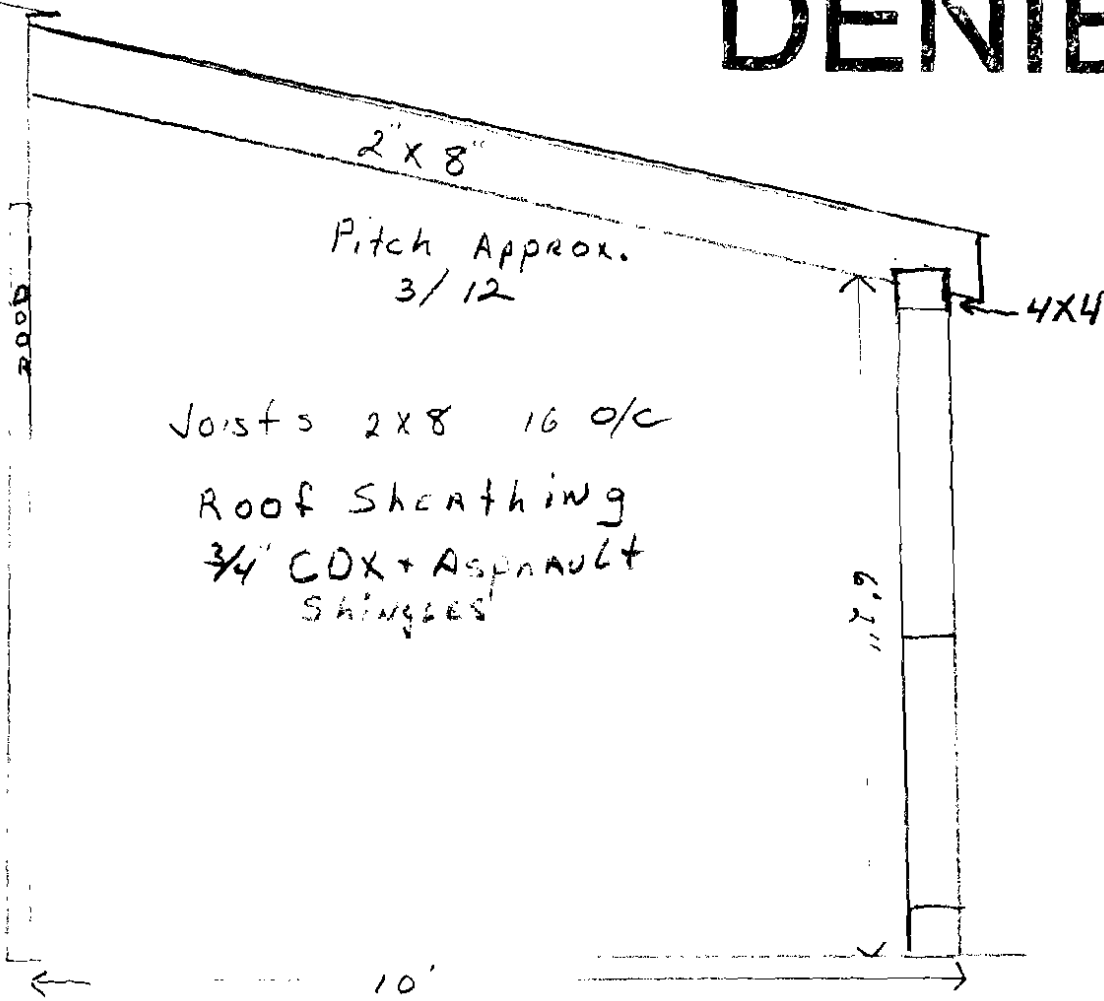
6'2"

38"

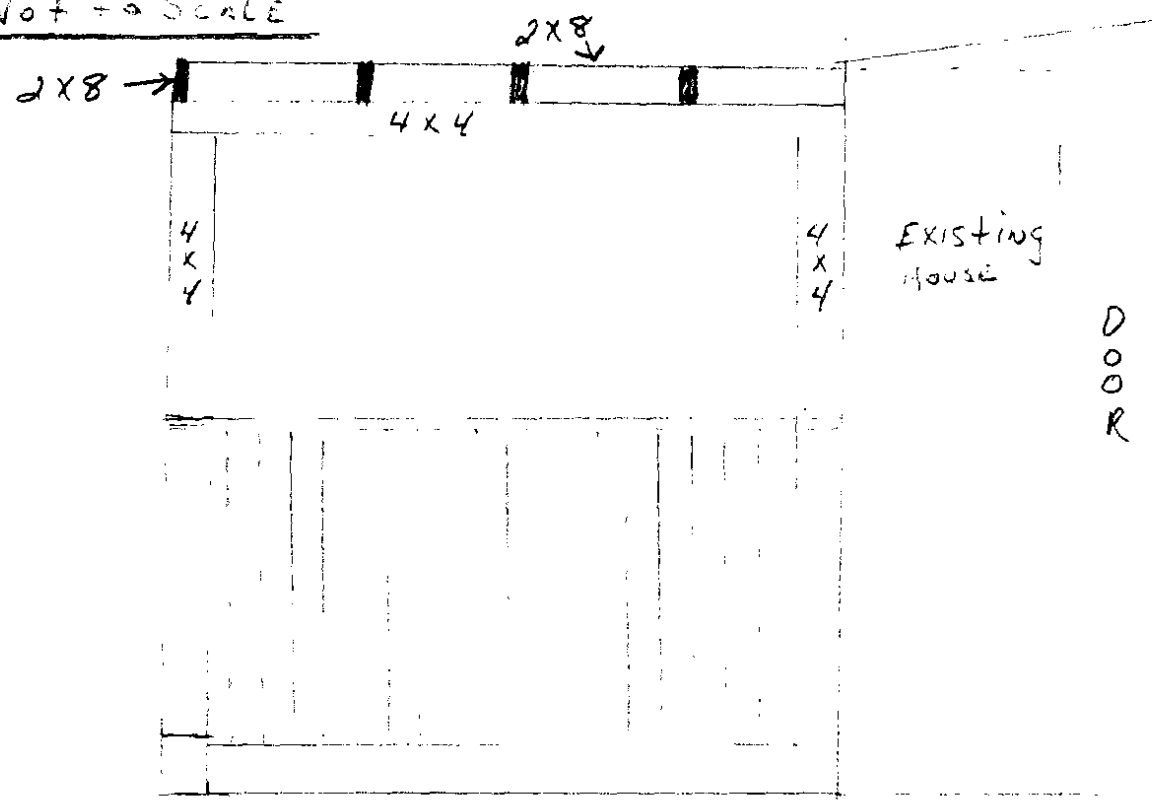
NOT TO SCALE

# DENIED

Existing  
House



Not to Scale







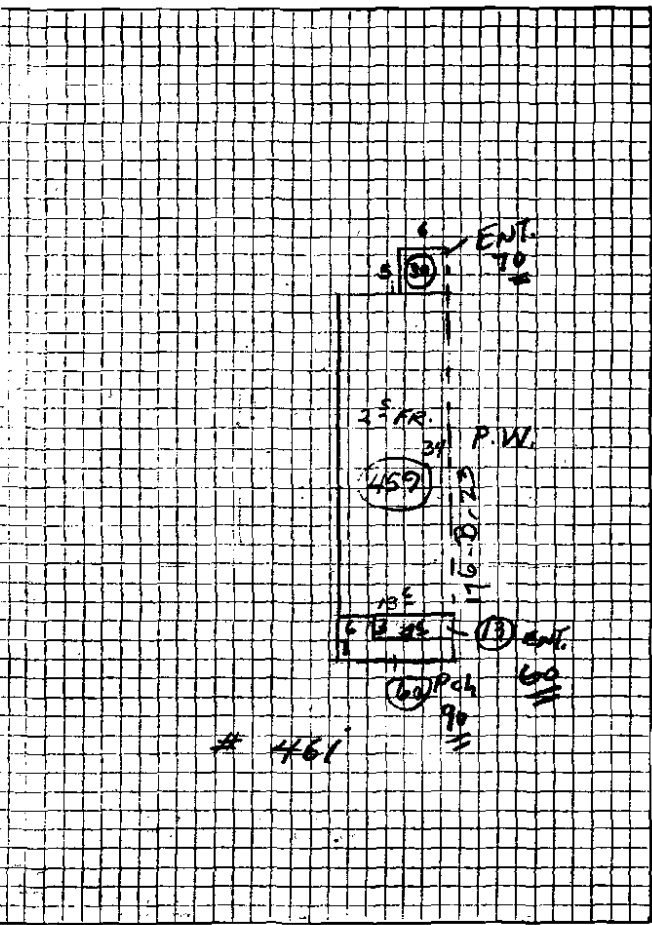
# RECORD OF BUILDINGS

GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

YEAR 19

YEAR 19

176-B-002  
461 Woodford  
1951



CONSTRUCTION			COMPUTATIONS			
<b>FOUNDATION</b>	<b>FLOOR CONST.</b>	<b>PLUMBING</b>				
CONCRETE	WOOD JOIST ✓	BATHROOM ✓				
CONCRETE BLOCK ✓	STEEL JOIST	TOILET ROOM ✓				
BRICK OR STONE	MILL TYPE	WATER CLOSET				
PIERS ✓	REIN. CONCRETE	LAVATORY				
CELLAR AREA FULL	<b>FLOOR FINISH</b>	KITCHEN SINK ✓				
1/4 1/4 1/4	B 1 2 3	STD. WAT. HEAT				
NO. CELLAR	CEMENT ✓	AUTO. WAT. HEAT ✓				
<b>EXTERIOR WALLS</b>	EARTH	ELECT. WAT. SYST.				
CLAPBOARDS	PINE	LAUNDRY TUBS				
WIDE SIDING	HARDWOOD //	NO PLUMBING				
DROP SIDING	TERRAZZO					
NO SHEATHING	TILE					
WOOD SHINGLES		<b>TILING</b>	UNIT	1951		
ASBES. SHINGLES		BATH FL. & WCOT.	459 S. F.	3250		
STUCCO ON FRAME	<b>ATTIC FLR. &amp; STAIRS</b>	TOILET FL. & WCOT.				
STUCCO ON TILE	<b>INTERIOR FINISH</b>	LIGHTING				
BRICK VENEER	B 1 2 3	ELECTRIC ✓	ADDITIONS	+ 220		
BRICK ON TILE	PINE //	NO LIGHTING	P.W.	- 130		
SOLID BRICK	HARDWOOD //	<b>NO. OF ROOMS</b>	BASEMENT			
STONE VENEER	PLASTER //	BSMT.	4 WALLS HT	- 150		
CONC. OR CWD. BL.	UNFINISHED ✓	1ST 3	ROOF			
Asph. Shingles ✓	METAL CLG.	2ND 2	FLOORS			
TERRA COTTA		3RD	ATTIC FLS	+ 80		
VITROLITE	RECREAT. ROOM	<b>OCCUPANCY</b>	FINISH			
PLATE GLASS	FINISHED ATTIC	SINGLE FAMILY ✓	FIREPLACE			
INSULATION	FIREPLACE	TWO FAMILY	HEATING	+ 190		
WEATHERSTRIP	<b>HEATING</b>	APARTMENT	PLUMBING	+ 50		
<b>ROOFING</b>	PIPELESS FURNACE	STORE	TILING			
ASPH. SHINGLES ✓	HOT AIR FURNACE	THEATRE	TOTAL	3480		
WOOD SHINGLES	FORCED AIR FURN.	HOTEL	FACT. + 10	+ 330		
ASBES. SHINGLES	STEAM ✓	OFFICES				
SLATE TILE	HOT WAT. OR VAPOR	WAREHOUSE				
METAL	NO HEATING	COMM. GARAGE				
COMPOSITION		GAS STATION				
ROLL ROOFING	GAS BURNER	<b>ECONOMIC CLASS</b>				
INSULATION	OIL BURNER	OVER BUILT				
	STOKER	UNDER BUILT				
		DT. 7/27/50				
		AR. MM				
		LO. 5				
		PO. CS				
		MS. CK. 32				
		REP. VAL.				
		3810				

### SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.
DWG.	A 2 <sup>5</sup> ER.	C	33		F	3810	45%	2100	A		
	B								B		
	C								C		
	D								D		
	E								E		
	F								F		
	G								G		
YEAR	1951					1951 TOTAL BLDGS.				2100	
TAX VAL.						19				19	
OLD VAL.						19				19	
CHANGE						19				19	

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	176 B003001
<b>Location</b>	461 WOODFORD ST
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	RUTTER ELLEN M 461 WOODFORD ST PORTLAND ME 04103
<b>Book/Page</b>	
<b>Legal</b>	176-B-3 WOODFORD ST 461  2200 SF

**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$82,000	\$75,000	\$157,000

**Property Information**

<b>Year Built</b> 1922	<b>Style</b> Old Style	<b>Story Height</b> 2	<b>Sq. Ft.</b> 985	<b>Total Acres</b> 0.051		
<b>Bedrooms</b> 2	<b>Full Baths</b> 1	<b>Half Baths</b>	<b>Total Rooms</b> 4	<b>Attic</b> Unfin	<b>Basement</b> Full	

**Outbuildings**

<b>Type</b> SHED-FRAME	<b>Quantity</b> 1	<b>Year Built</b> 1988	<b>Size</b> 4X4	<b>Grade</b> D	<b>Condition</b> A
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**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
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**Picture and Sketch**

<a href="#"><u>Picture</u></a>	<a href="#"><u>Sketch</u></a>	<a href="#"><u>Tax Map</u></a>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed.](#)

**New Search!**



