

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND BUILDING PERMIT

This is to certify that CITY OF PORTLAND

Located At 370 STEVENS

Job ID: 2011-04-714-ALTCOMM

CBL: 175 - - B - 001 - 001 - - - - -

has permission to Construct an exterior ADA Handi-cap Ramp
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

[Signature]
Fire Prevention Officer

[Signature] 4/7/11
Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.
PENALTY FOR REMOVING THIS CAR

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-04-714-ALTCOMM	Date Applied: 4/4/2011	CBL: 175 - - B - 001 - 001 - - - - -	
Location of Construction: 370 STEVENS AVE	Owner Name: CITY OF PORTLAND	Owner Address: 389 CONGRESS ST PORTLAND, ME - MAINE 04101	Phone:
Business Name:	Contractor Name: CITY OF PORTLAND - Aaron Shields	Contractor Address: 389 CONGRESS ST PORTLAND MAINE 04101	Phone: 756-8292
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: R-5
Past Use: Deering High School	Proposed Use: Deering High School - build concrete & steel ADA ramp	Cost of Work: 23000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: E Type: 1 concrete DBC-2009
		Signature: <i>[Signature]</i> (SB)	Signature: <i>[Signature]</i>
Proposed Project Description: 370 Stevens Ave Deering High School - build ADA ramp		Pedestrian Activities District (P.A.D.)	

Permit Taken By:	Zoning Approval		
	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan Admin Authoriz. <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: <i>OK w/condition</i> <i>4/4/11 ASB</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASB</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

1. Footings/Setbacks
2. Rebar and backfill
3. Final at completion of work

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUOPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-04-714-ALTCOMM

Located At: 370 STEVENS

CBL: 175 - - B - 001 - 001 - - - -

Conditions of Approval:

Zoning

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Fire

1. All construction shall comply with City Code Chapter 10.

Building

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Guardrail openings shall be less than 4".



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>370 Stevens Ave - Deering High School</u>		
Total Square Footage of Proposed Structure/Area <u>Approx 500 sq ft</u>	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>175 - B1</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>City of Portland</u> Address City, State & Zip	Telephone: <u>756-8292</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>23,000.00</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>School</u> Number of Residential Units <u>0</u> If vacant, what was the previous use? <u>ADA Ramp</u> <u>no</u> Proposed Specific use: <u>ADA Ramp</u> Is property part of a subdivision? <u>no</u> If yes, please name <u>no</u> Project description: <u>Deering H.S. ADA Ramp - Concrete and Steel RAILING SYSTEM</u>		
Contractor's name: <u>City of Portland</u>		
Address: <u>Public Building Division</u>		
City, State & Zip _____ Telephone: _____		
Who should we contact when the permit is ready: <u>ASARON D. SHIELDS</u> Telephone: <u>756-8292</u>		
Mailing address: _____		

DO NOT MAIL TO CITY JOB!

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Asaron D. Shields Date: 3/31/11

This is not a permit; you may not commence ANY work until the permit is issued



Administrative Authorization Application

Portland, Maine

Planning and Urban Development Department, Planning Division

PROJECT NAME: Deering High School - ADA Ramp
 PROJECT ADDRESS: 370 Stevens Ave CHART/BLOCK/LOT: 175-B1
 APPLICATION FEE: waived (\$50.00)

RECEIVED

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of the Proposal/Development)

Construct ADA Ramp - Deering High School

APR - 6 2011

CONTACT INFORMATION:

OWNER/APPLICANT

Name: City of Portland
 Address: Public Buildings Division
 Work #: _____
 Cell #: Att. Bob Leeman
 Fax #: _____
 Home #: _____
 E-mail: _____

CONSULTANT/AGENT

Name: Aaron Shrecks - Project Manager
 Address: City of Portland
 Work #: 756-8292
 Cell #: _____
 Fax #: _____
 Home #: _____
 E-mail: ads@portlandmaine.gov

Dept. of Building Inspection
City of Portland Maine

Criteria for an Administrative Authorizations:

(see section 14-523(4) on pg .2 of this appl.)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?
- l) Are there any zoning violations?
- m) Is an emergency generator located to minimize noise?
- n) Are there any noise, vibration, glare, fumes or other impacts?

Applicant's Assessment Planning Division

Y(yes), N(no), N/A

Y(yes), N(no), N/A

<u>NO</u>	<u>no</u>
<u>Yes</u>	<u>yes</u>
<u>Yes</u>	<u>yes</u>
<u>NO</u>	<u>no</u>
<u>Yes</u>	<u>yes</u>
<u>Yes</u>	<u>yes</u>
<u>NO</u>	<u>no</u>
<u>NO</u>	<u>no</u>
<u>NO</u>	<u>no</u>
<u>Yes</u>	<u>yes</u>
<u>Yes</u>	<u>yes</u>
<u>NO</u>	<u>no</u>
<u>N/A</u>	<u>N/A</u>
<u>NO</u>	<u>no</u>

Signature of Applicant: Aaron D. Shrecks Date: 3/31/11

Planning Division Use Only

Authorization Granted

Partial Exemption

Exemption Denied

With condition

Barbara Barhydt

Standard Condition of Approval: The applicant shall obtain all required City Permits, including building permits from the Inspection Division (Room 315, City Hall (874-8703)) prior to the start of any construction.

IMPORTANT NOTICE TO APPLICANT: The granting of an Administrative Authorization to exempt a development from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspections Office, Room 315, City Hall (207)874-8703, to determine what other City permits, such as a building permit, will be required.

**PROVISION OF PORTLAND CITY CODE
14-523 (SITE PLAN ORDINANCE)
RE: Administrative Authorization**

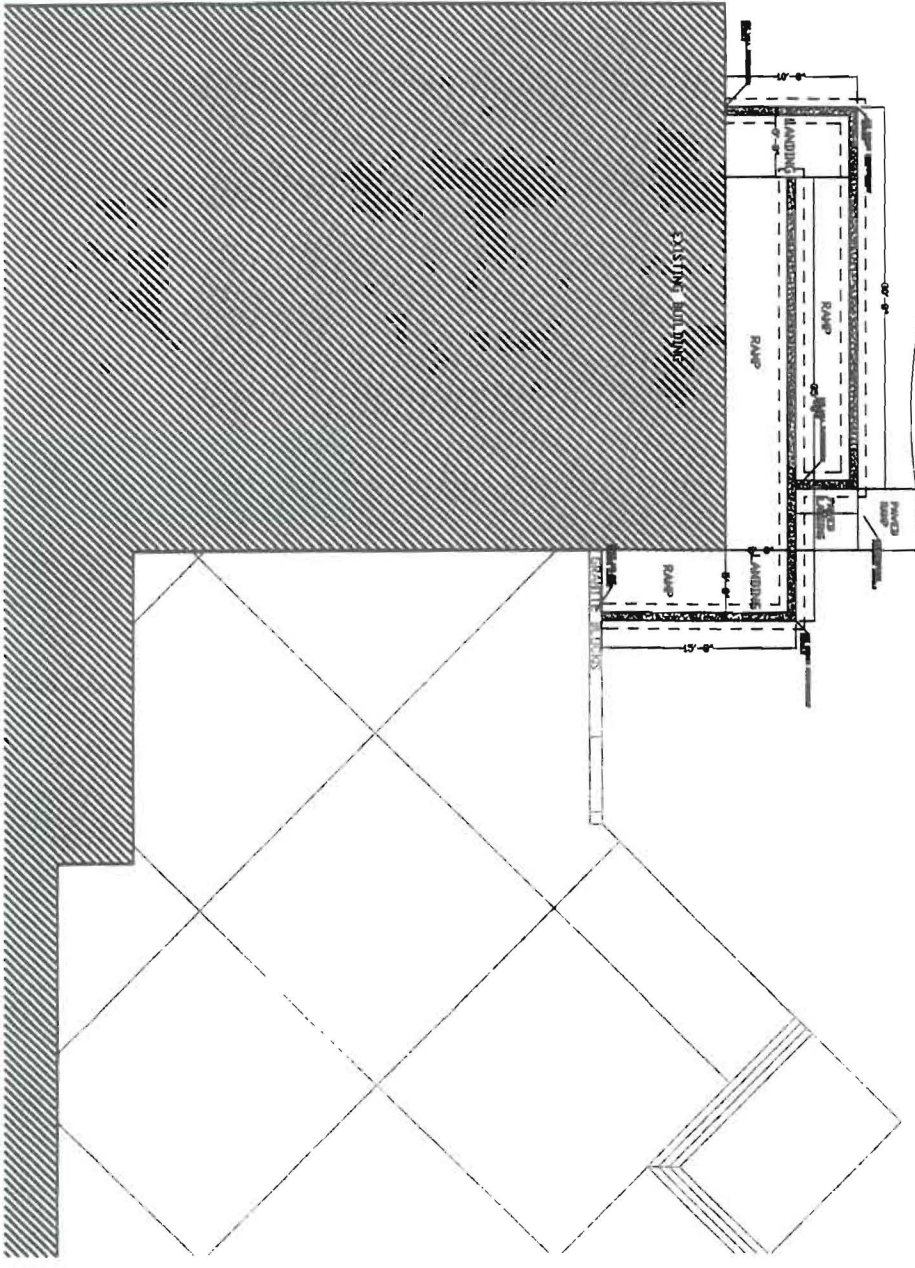
Sec. 14-523 (b). Applicability

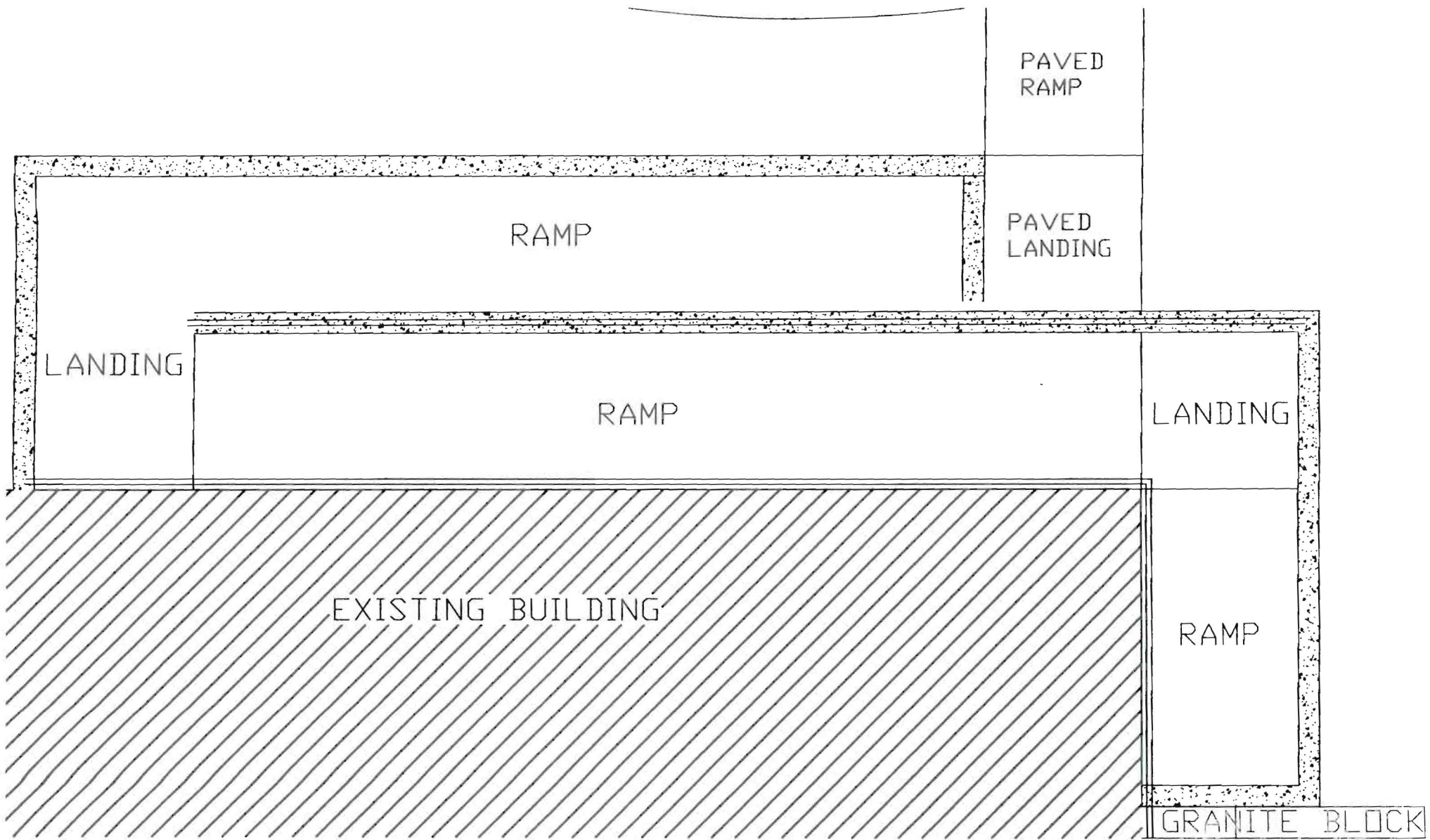
No person shall undertake any development identified in Section 14-523 without obtaining a site plan improvement permit under this article. (c) Administrative Authorization. Administrative Authorization means the Planning Authority may grant administrative authorization to exempt a development proposal from complete or partial site plan review that meets the standards below, as demonstrated by the applicant.

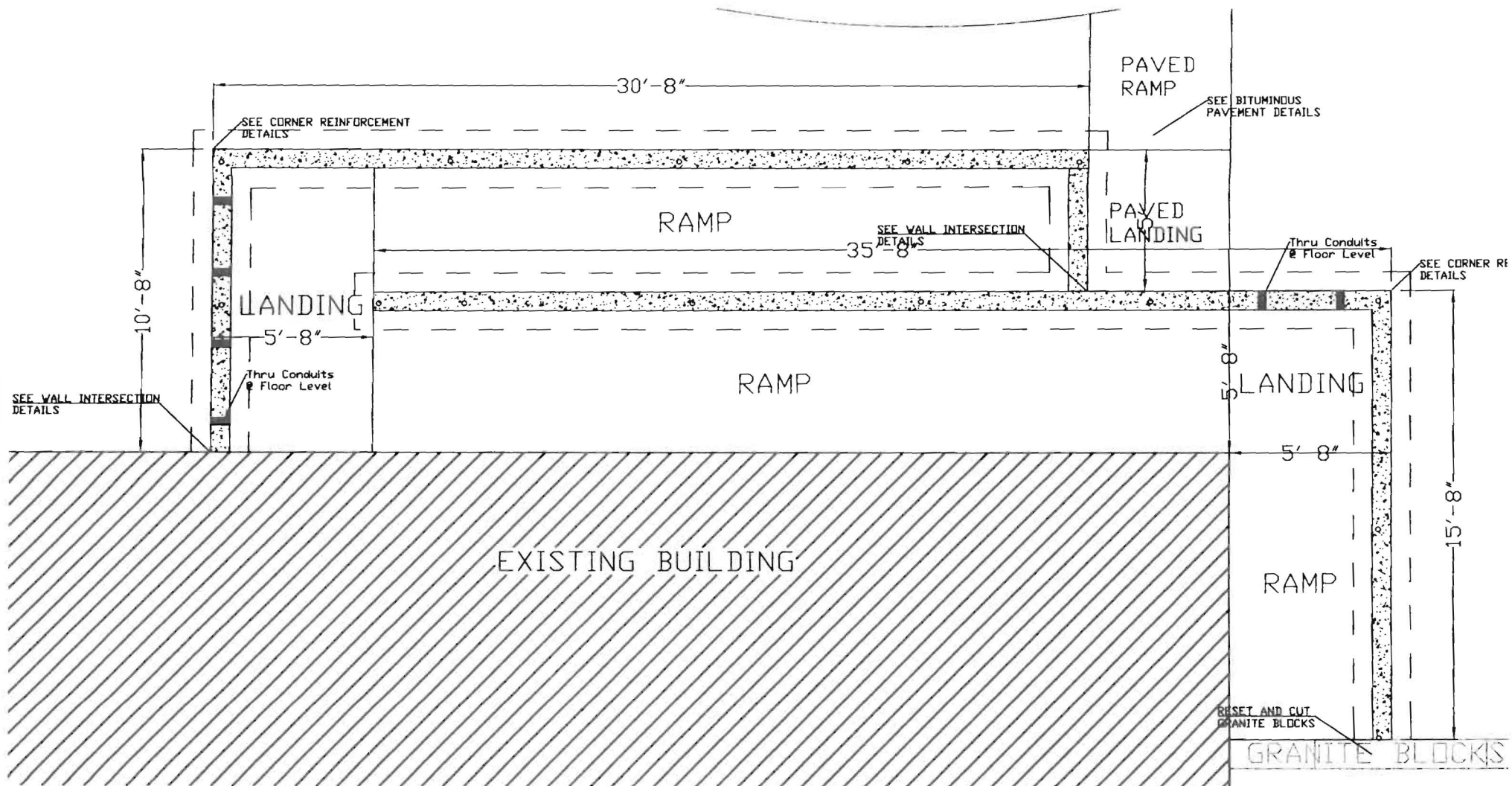
1. The proposed development will be located within existing structures, and there will be no new buildings, demolitions, or building additions other than those permitted by subsection b of this section;
2. Any building addition shall have a new building footprint expansion of less than five hundred (500) square feet;
3. The proposed site plan does not add any new curb cuts, driveways, or parking areas; the existing site has no more than one (1) curb cut and will not disrupt the circulation flows and parking on-site; and there will be no drive-through services provided;
4. The curbs and sidewalks adjacent to the lot are complete and in sound condition, as determined by the public works authority, with granite curb with at least four (4) inch reveal, and sidewalks are in good repair with uniform material and level surface and meet accessibility requirements of the Americans with Disabilities Act;
5. The use does not require additional or reduce existing parking, either on or off the site, and the project does not significantly increase traffic generation;
6. There are no known stormwater impacts from the proposed use or any existing deficient conditions of stormwater management on the site;
7. There are no evident deficiencies in existing screening from adjoining properties; and
8. Existing utility connections are adequate to serve the proposed development and there will be no disturbance to or improvements within the public right-of-way.
9. There are no current zoning violations;
10. Any emergency generators are to be located to minimize noise impacts to adjoining properties and documentation that routine testing of the generators occur on weekdays between the hours of 9 a.m. to 5 p.m. Documentation pertaining to the noise impacts of the emergency generator shall be submitted; and
11. There is no anticipated noise, vibration, glare, fumes or other foreseeable impacts associated with the project.

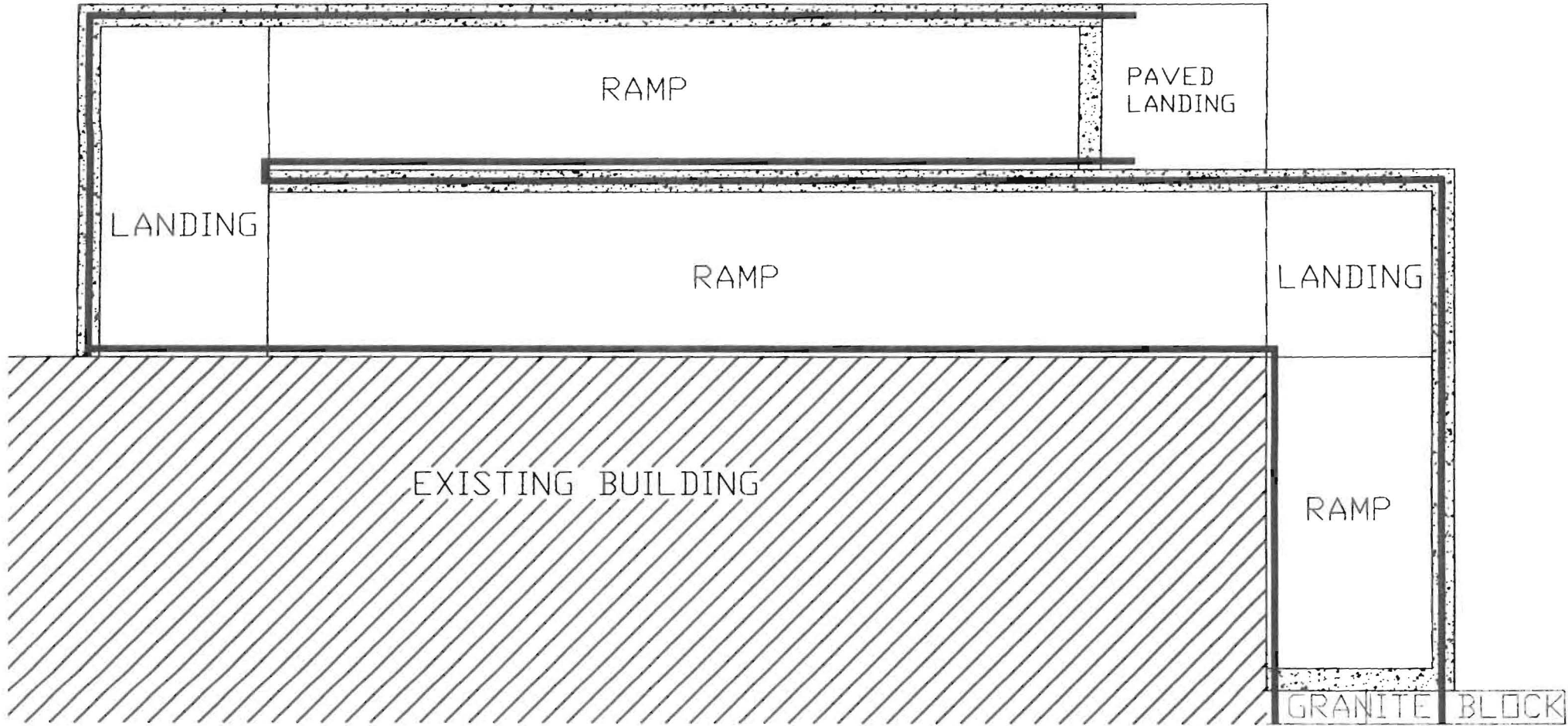
- a. **Filing the Application.** An applicant seeking an administrative authorization under this subsection shall submit an administrative authorization application for review, detailing the site plan with dimensions of proposed improvements and distances from all property lines, and stating that the proposal meets all of the provisions in standards 1-11 of Section 14-423 (b)1. **The application must be accompanied by an application fee of \$50.**
- b. **Review.** Upon receipt of such a complete application, the Planning Authority will process it and render a written decision of approval, approval with conditions or denial, with all associated findings.
- c. **Decision.** If a full administrative authorization is granted, the application shall be approved without further review under this article, and no performance guarantee shall be required. In the event that the Planning Authority determines that standards a and b of Section 14-523 (b) (1) and at least four (4) of the remaining standards have been met, the Planning Authority shall review the site plan according to all applicable review standards of Section 14-526 that are affected by the standards in this subsection that have not been met. If an exemption or partial exemption from site plan review is not granted, the applicant must submit a site plan application that will undergo a full review by the Planning Board or Planning Authority according to the standards of Section 14-526.

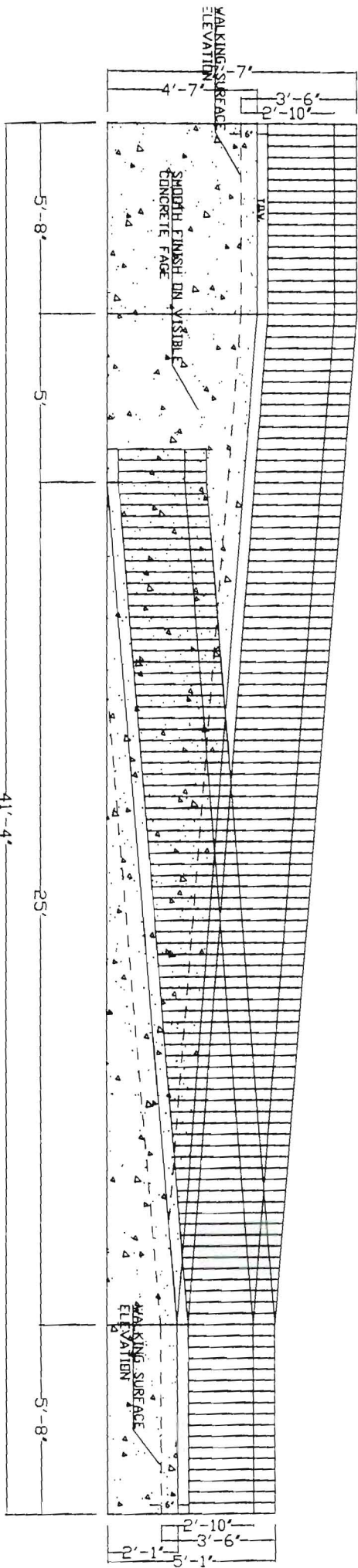
Deering A.S.
ADA Ramp

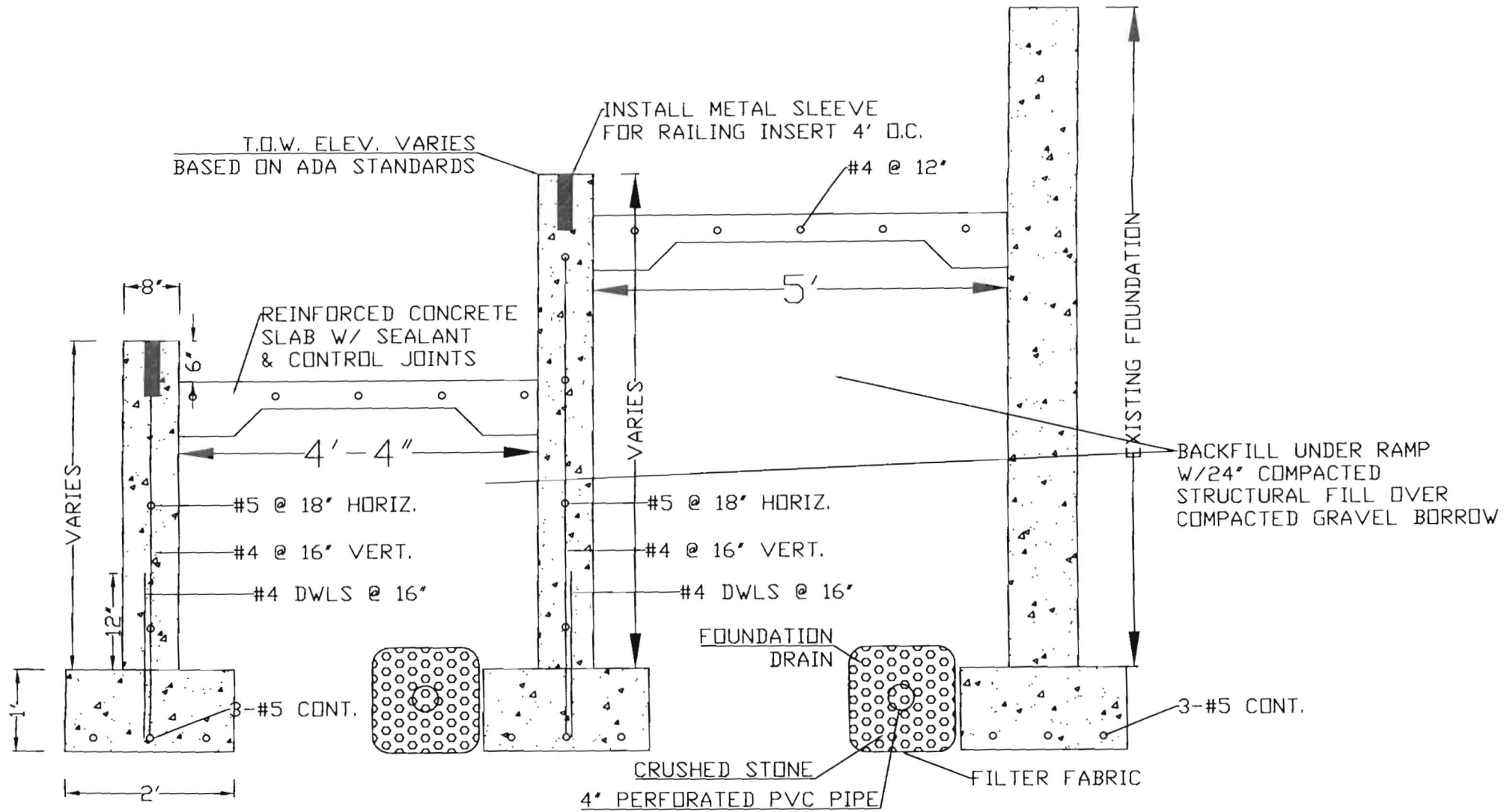


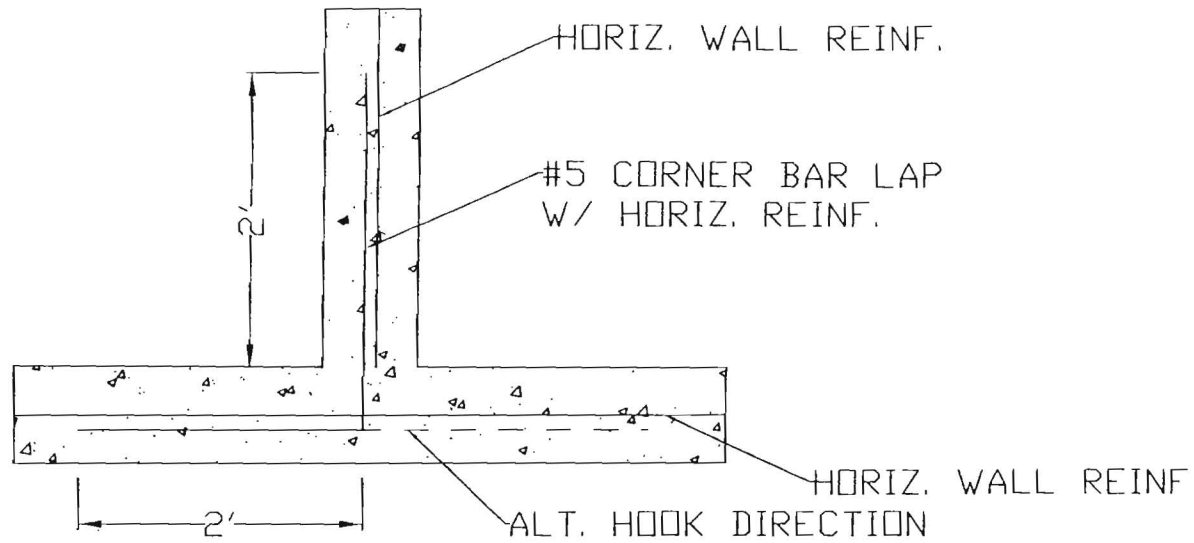




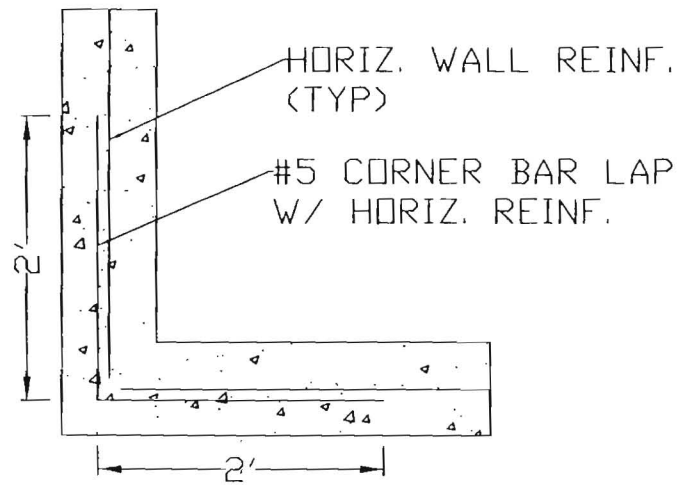




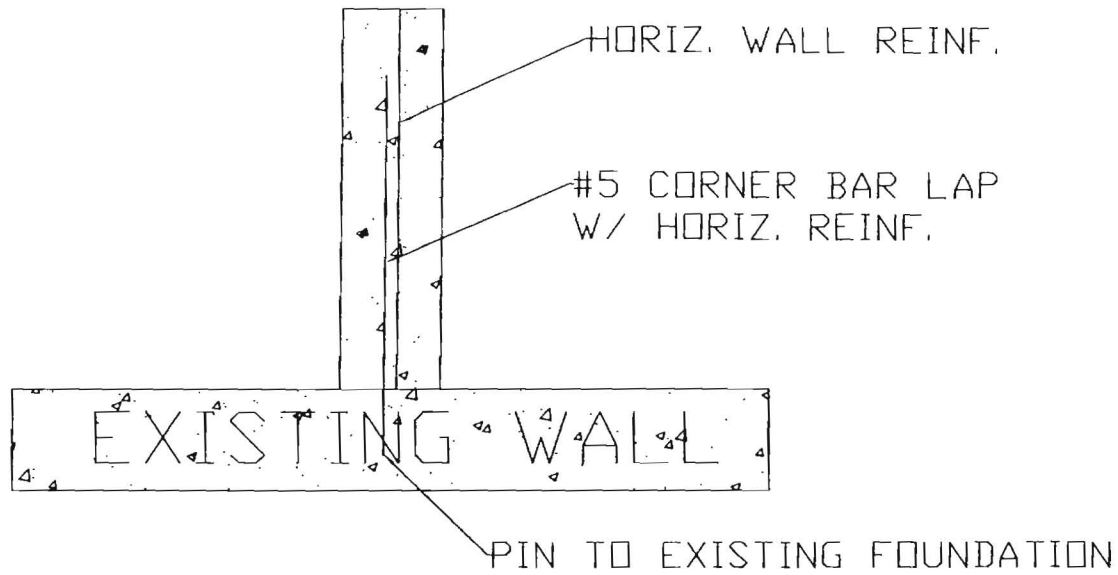




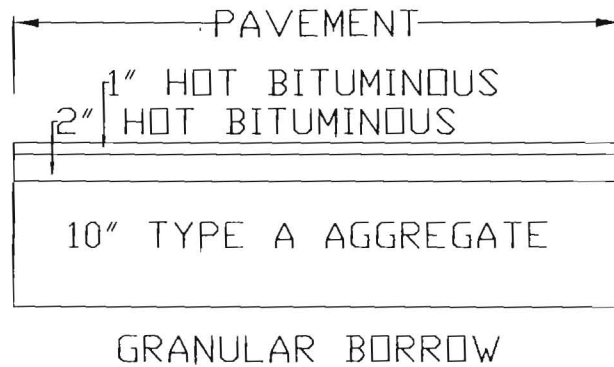
TYPICAL INTERSECTION



TYPICAL CORNER



TYPICAL INTERSECTION



BITUMINOUS PAVEMENT DETAIL

4/4/11

Job Summary Report
Job ID: 2011-04-714-ALTCOMM

Report generated on Apr 4, 2011 10:33:26 AM

Job Type:	Adds/Alter Commercial	Job Description:	370 Stevens Ave Derring HIgh School	Job Year:	2011
Building Job Status Code:	In Review	Pin Value:	1020	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	23,000	Square Footage:			
Related Parties:		OF CITY		<i>Property Owner</i>	
		City of Portland Trades Division - CITY PORTLAND		<i>GENERAL CONTRACTOR</i>	

Job Charges


Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 24374

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
927120	175 B 001 001		M				-70.296927	43.671942

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				370 STEVENS AVENUE NORTH

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
GOVERNMENTAL		NOT APPLICABLE					DISTRICT 7	DEERING-ROSEMONT

Structure Details

Structure: Deering High School

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Schools and Other Educational Buildings	0			370 STEVENS AVENUE NORTH

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value

Permit #: 20112393

Permit Data

Job Summary Report
Job ID: 2011-04-714-ALTCOMM

Report generated on Apr 4, 2011 10:33:26 AM

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
24374	Deering High School	Initialized	ADA Handi-cap Ramp			

Inspection Details						
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$250.00							

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E-Services Calendar Jobs

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information:

Services

Applications

Doing Business

Maps

Tax Relief

Tax Roll

Q & A

browse city services a-z

browse facts and links a-z



Best viewed at 800x600, with Internet Explorer

CBL 175 8001001
Land Use Type GOVERNMENTAL
Property Location 370 STEVENS AVE
Owner Information CITY OF PORTLAND
 389 CONGRESS ST
 PORTLAND ME 04101
Book and Page
Legal Description 175-B-1 181-H-1
 LUDLOW ST 1-123
 STEVENS AVE 364-402
 818648 SF
Acres 18.794

Current Assessed Valuation:

TAX ACCT NO.	24374	OWNER OF RECORD AS OF APRIL 2010
		CITY OF PORTLAND
LAND VALUE	\$2,900,300.00	389 CONGRESS ST
BUILDING VALUE	\$14,106,000.00	PORTLAND ME 04101
PORTLAND, CITY OF	(\$17,006,300.00)	
NET TAXABLE - REAL ESTATE	\$0.00	
TAX AMOUNT	\$0.00	

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

Building Information:

Card 1 of 1
Year Built 1923
Style/Structure Type SCHOOL
Units 1
Building Num/Name 1 - DEERING HIGH SCHOOL
Square Feet 124226

[View Sketch](#) [View Map](#) [View Picture](#)



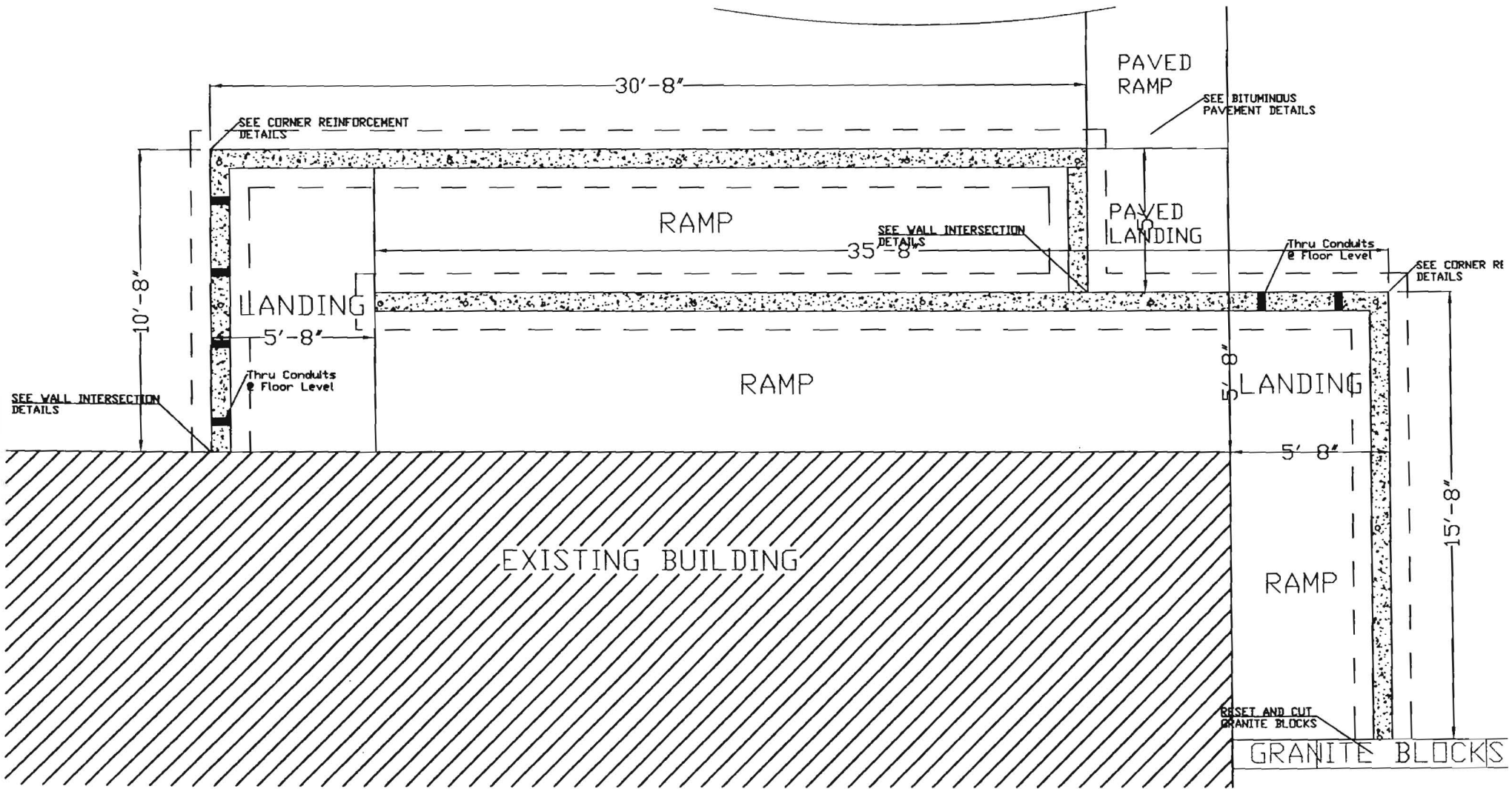
Exterior/Interior Information:

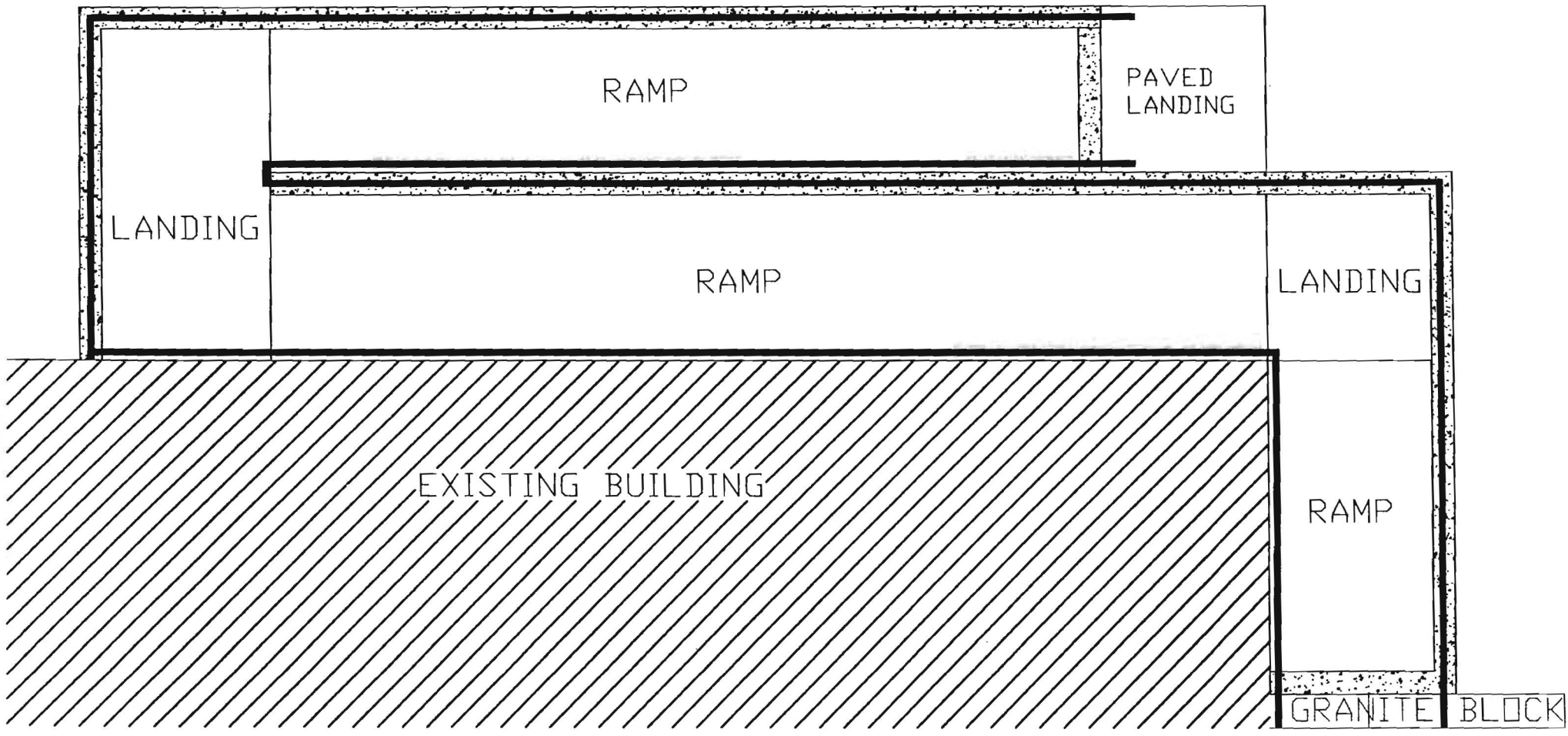
Card 1
Levels 81/81
Size 48690
Use SCHOOL
Height 10
Heating NONE
A/C NONE

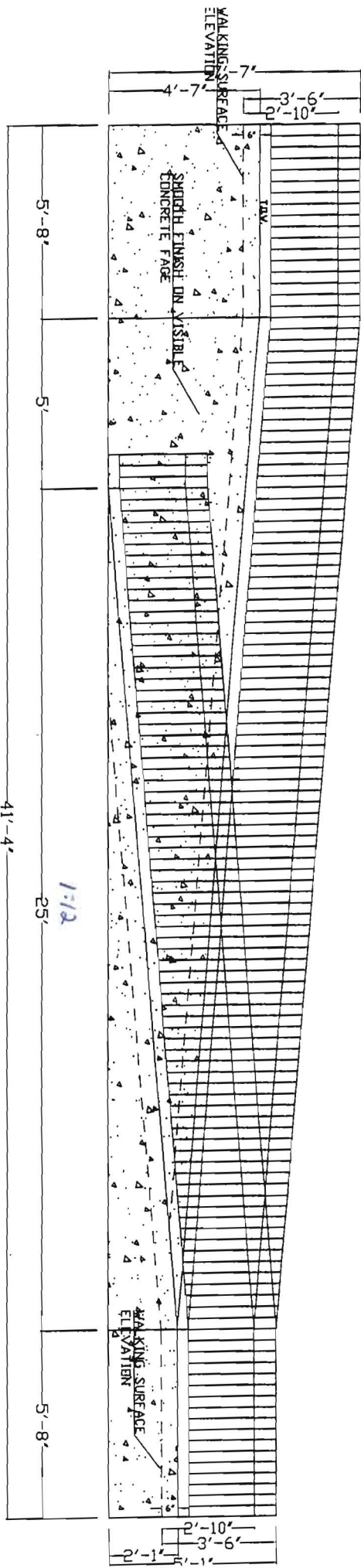
Card 1
Levels 01/02
Size 30323
Use SCHOOL
Height 10
Walls BRICK/STONE
Heating HOT AIR
A/C CENTRAL

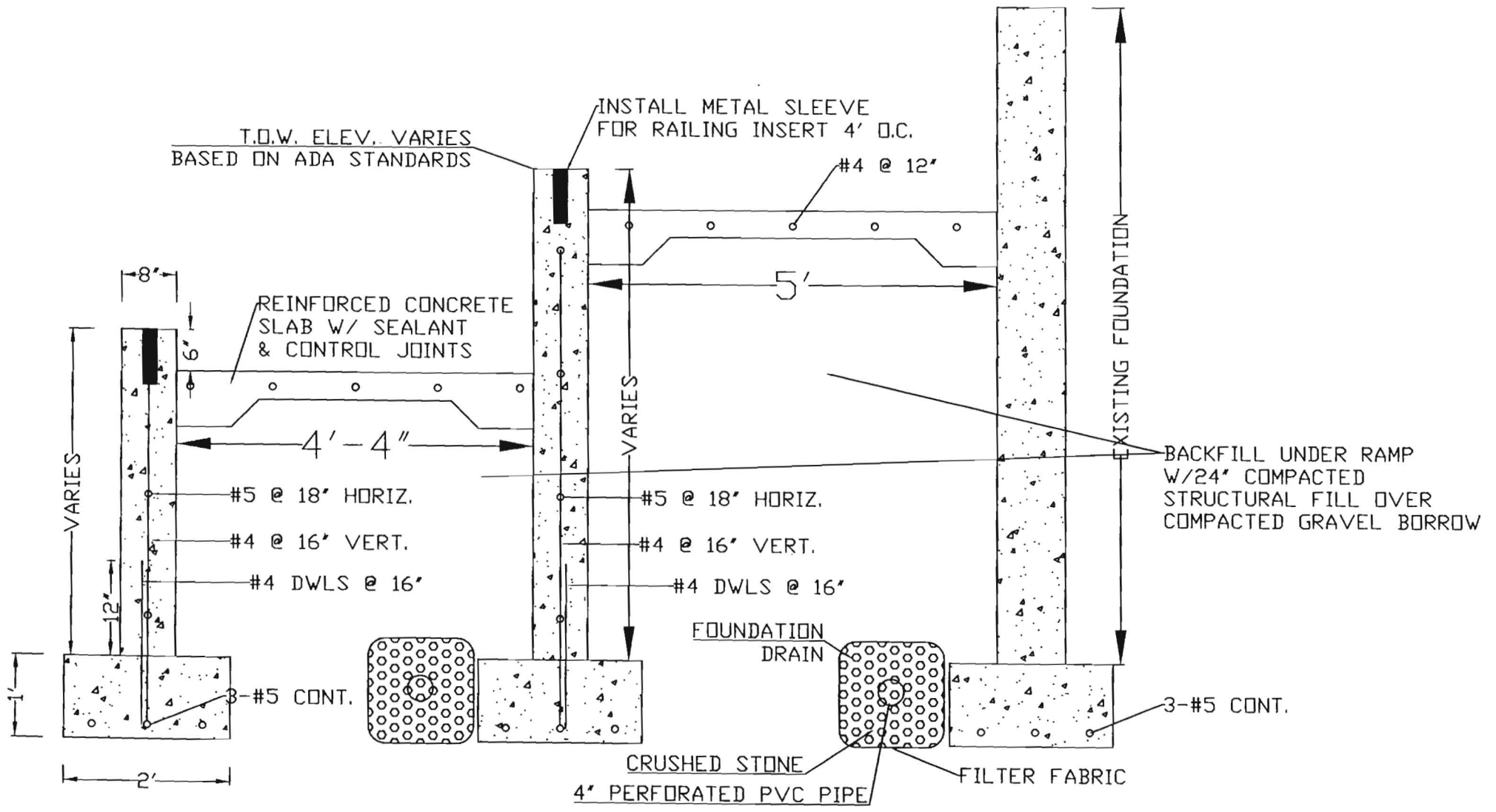
Card 1
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Use SCHOOL
Height 28
Walls BRICK/STONE
Heating HOT AIR
A/C CENTRAL

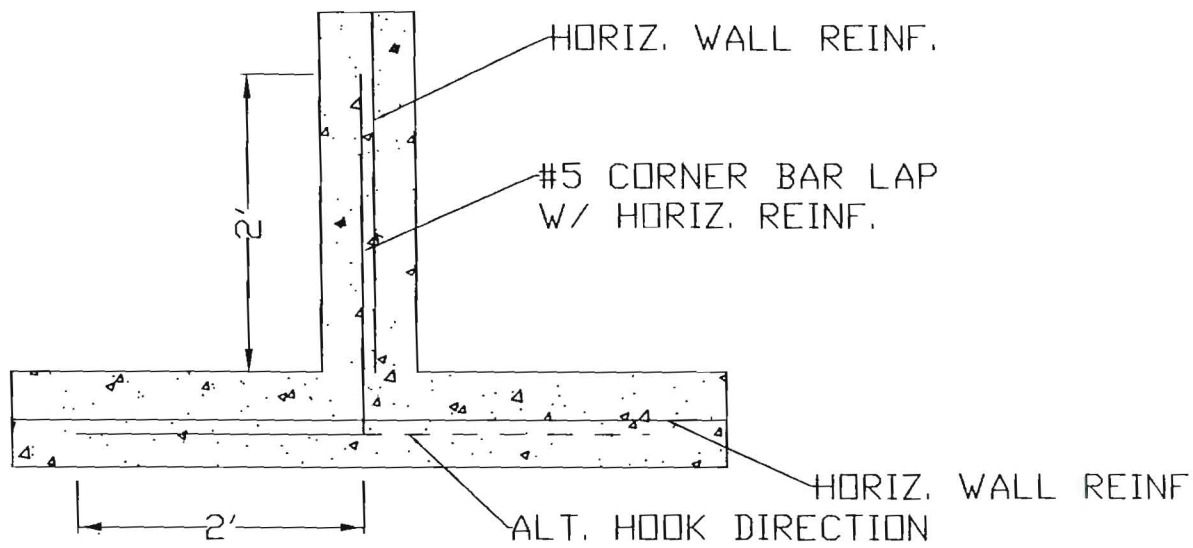
[New Search!](#)



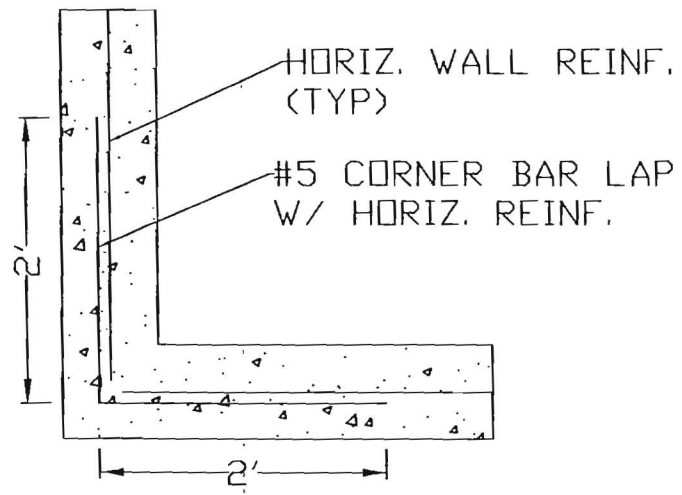




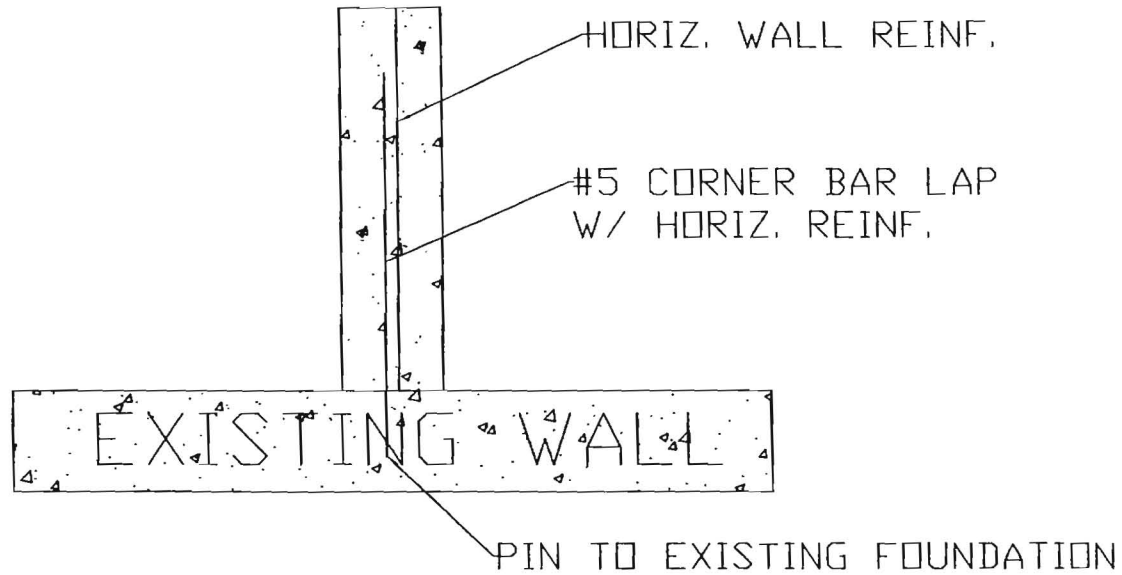




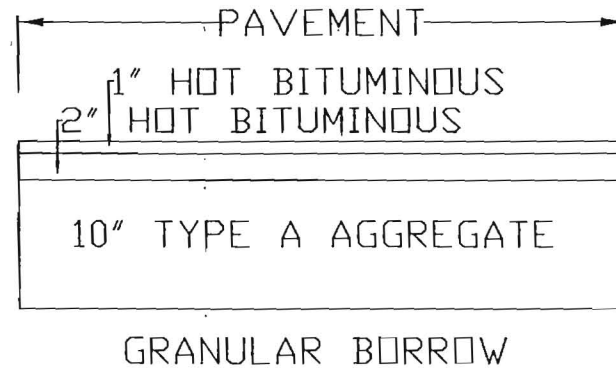
TYPICAL INTERSECTION



TYPICAL CORNER



TYPICAL INTERSECTION



BITUMINOUS PAVEMENT DETAIL

