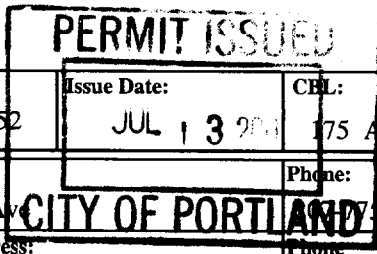


City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0852 Issue Date: JUL 13 2001 CHL: 175 A009001



Location of Construction: 346 Stevens Ave	Owner Name: Nikki Newell	Owner Address: 346 Stevens Ave	Phone: 4185
Business Name:	Contractor Name: no contractor/self	Contractor Address: n/a n/a	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: two family	Proposed Use: two family with two level deck 18' x 9' and 8' x 9'	Permit Fee: \$36.00	Cost of Work: \$2,000.00	CEO District: 3
Proposed Project Description: two level deck - upper level 18' x 9' and lower deck 8' x 9'		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB BOCA 1999 Signature: T. Munson	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied
 Signature: N/A Date:

Permit Taken By: dgc **Date Applied For:** 07/13/2001

	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 7/13/01

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

Nikki Newell
 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 846 Stevens Ave. Portland

Total Square Footage of Proposed Structure <u>234</u>	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Chart# <u>175</u> Block# <u>A</u> Lot# <u>9-10-11</u>	Owner: <u>Nikki Newell</u>	Telephone: <u>207 775 4115</u>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Nikki Newell</u> <u>346 Stevens Ave</u> <u>Portland ME 04103</u>	Cost Of Work: \$ <u>2000.00</u> Fee: \$
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Current use: _____

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: _____

Project description:

Contractor's name, address & telephone:

Who should we contact when the permit is ready: Nikki Newell

Mailing address: 346 Stevens Ave
Portland ME 04103 Phone: 207 871 1910

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Nikki Newell</u>	Date: <u>7/13/01</u>
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This is not a permit, you may not commence ANY work until the permit is issued

Applicant: Nikki Newell

Date:

Address: 346 Stevens Ave

C-B-L: 175-A-9-10-11

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-5

Interior or corner lot - Interior

Proposed Use/Work - Deck

Sewage Disposal - N/A

Lot Street Frontage - 50

Front Yard - 20' - 28' shown OK

Rear Yard - 20' - 48' shown

Side Yard - 8' - 52'

Projections - N/A

Width of Lot - 90' - OK

Height - OK

Lot Area - 14047 SF

Lot Coverage/ Impervious Surface - 40% - 5618 SF

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

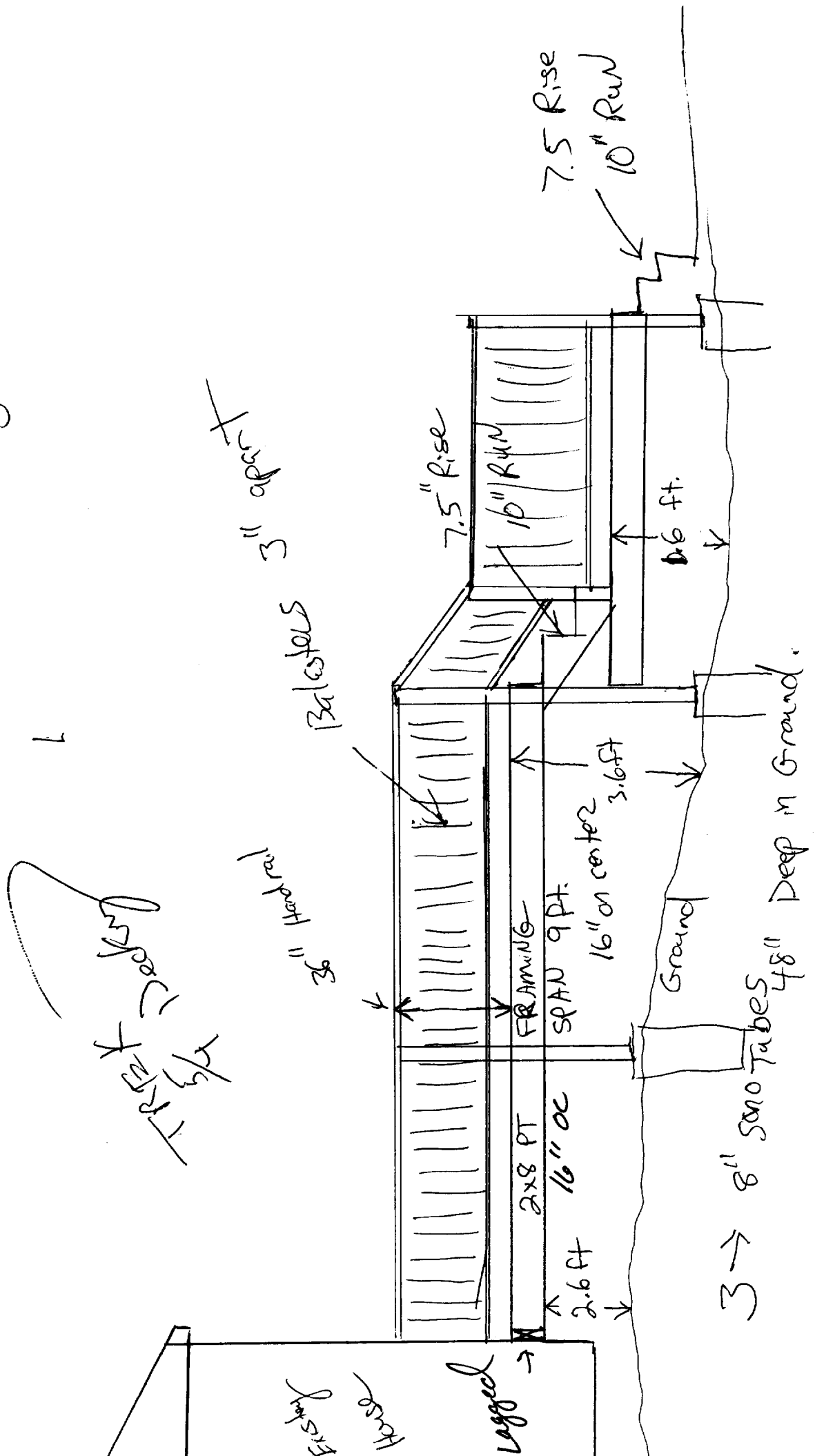
520
1500
~~2020~~

2020
162

2254 SF
Lot coverage

Note: Deck

Logged to house
with 5" concrete
Lag Shields!



FRAMING
SPAN 9 FT.

36" Hardwood
Balusters

7.5" Rise

10" Run

7.5 Rise
10" Run

0.6 ft.

Ground

3 → 8" Sono Tubes
48" Deep in Ground.

House
Logged

STEVENS AVENUE

CURB

SIDE WALK

28 feet

346 Stevens Ave.

Existing House

52 ft.

2 → 2x8 Girder
3 Soro Tubes
48" Deep
9ft. apart.

9ft

NEW

9ft

DECK

18x9

9ft

8x9

9ft

Property line
100 ft.

Existing
Garage

20x26

48 ft.

Property line

CITY OF PORTLAND
DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

389 Congress Street
Portland, Maine 04101

INVOICE FOR FEES

Application No: 1-0852	Applicant: Nikki Newell
Project Name: two level deck - upper level 18' x 9'	Location: 346 Stevens Ave
Invoice Date: 07/13/2001	

Previous Balance	-	Payment Received	+	Current Fees	=	Total Due	Payment Due Date
\$0.00		\$0.00		\$36.00		\$0.00	On Receipt

Previous Balance **\$0.00**

Fee Description	Qty	Fee Charge
Building Permit Fee First \$1000	1	\$30.00
Building Permit Fee Add'l \$1000	1	\$6.00
		\$36.00
Total Current Fees:	+	\$36.00
Amount Due Now:		\$36.00

Check 105
pd 36-

175A-9, 10, 11

Bill to: Nikki Newell
346 Stevens Ave
Portland, ME 04103

Application No: 1-0852
Invoice Date: 07/13/2001
Invoice No: 2290
Total Amt Due: \$0.00
Payment Amount: \$36.00

Make checks payable to the *City of Portland*, ATTN: Jodine Adams, 3rd Floor, 389 Congress Street, Portland, ME 04101