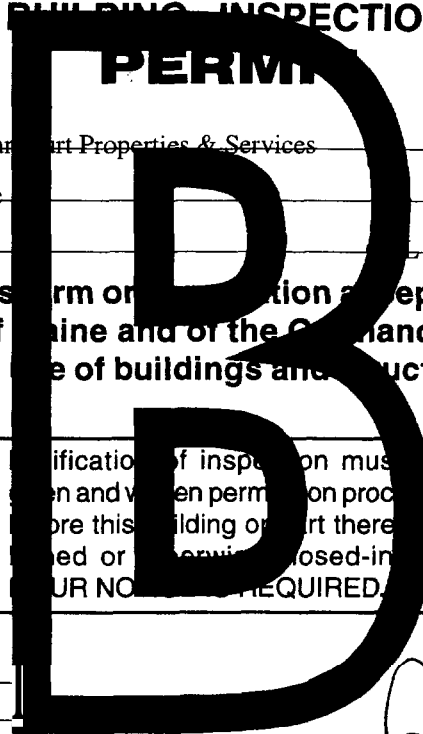


DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT



Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 061067
AUG 30 2006
CITY OF PORTLAND

This is to certify that BECK ALLISON T/Valliant Properties & Services

has permission to 10 x 14 Addition on garage

AT 40 LUDLOW ST

175 A008001

provided that the person or persons firm or person accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is closed or services closed-in. 4 OUR NO. IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____ Department Name

Handwritten signature: Jamie Bunker 8/30/06
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1067	Issue Date:	CBL: 175 A008001
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Location of Construction: 40 LUDLOW ST	Owner Name: BECK ALLISON T	Owner Address: 40 LUDLOW ST	Phone:
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Business Name:	Contractor Name: Valliancourt Properties & Services	Contractor Address: P O Box 1346 Westbrook	Phone: 2076257685
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Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R5
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Current Use: Single Family	Proposed Use: Single Family 10 x 14 Addition on garage	Permit Fee: \$70.00	Cost of Work: \$5,000.00	CEO District: 3
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Proposed Project Description: 10 x 14 Addition on garage	<input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group R3 Type SB IRC-2003 Signature: JWB 8/30/06
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Signature:	Signature:
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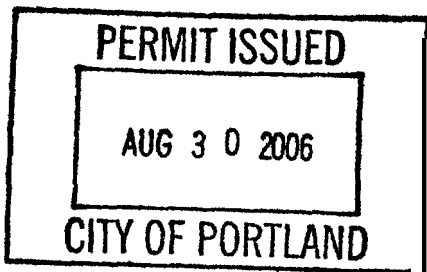
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: dmartin	Date Applied For: 07/18/2006	Zoning Approval	
-----------------------------	---------------------------------	------------------------	--

Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/25/06	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: ABM
---	--	--



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1067	Date Applied For: 07/18/2006	CBL: 175 A008001
------------------------------	--	----------------------------

Location of Construction: 40 LUDLOW ST	Owner Name: BECK ALLISON T	Owner Address: 40 LUDLOW ST	Phone:
Business Name:	Contractor Name: Valliancourt Properties & Services	Contractor Address: P O Box 1346 Westbrook	Phone (207) 625-7685
Lessee/Buyer's Name	Phone:	Permit Type:	

Proposed Use: Single Family 10 x 14 Addition on garage	Proposed Project Description: 10 x 14 Addition on garage
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/25/2006

Note: **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 08/13/2006

Note: **Ok to Issue:**

- 1) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans as of 8/30/06
- 4) Due to the allowance of a frost protected shallow foundation (slab), heat shall be provided that will keep the average temperature at 64 degrees



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 40 LUDLOW ST. PORTLAND, ME 04103		
Total Square Footage of Proposed Structure 140 SQ. FEET		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# 175 A 008	Owner: ALLISON BECK <input checked="" type="checkbox"/>	Telephone: 7746629 <input checked="" type="checkbox"/>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <input checked="" type="checkbox"/> ALLISON BECK 40 LUDLOW PORTLAND, ME. 04103 7746627	cost Of Work: \$ 5,000 Fee: \$ _____ C of O Fee: \$ WIA
Project description: 10' x 14' Addition on garage.		
Contractor's name, address & telephone: Cell Ann VALLIANCOURT PROPERTIES & SERVICE 653.4608 625-7685 Box 1346 WESTBROOK, ME. 04098		
Who should we contact when the permit is ready: Ann VALLIANCOURT ALLISON BECK		
Mailing address: 40 LUDLOW Phone: 7746629 PORTLAND, ME. 04103		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

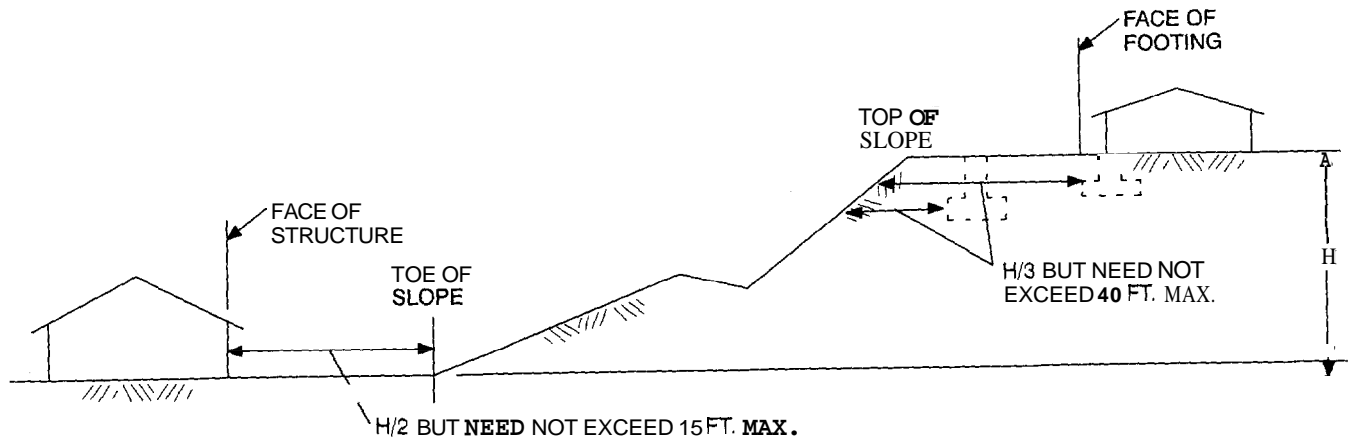
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representatives shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit

Signature of applicant: Allison Beck DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME JUL 18 2006 RECEIVED	Date: 7/13/06
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This is not a permit; you may not commence ANY work until the permit is issued.

FOUNDATIONS



For SI 1 foot = 304.8 mm.

**FIGURE R403.1.7.1
FOUNDATION CLEARANCE FROM SLOPES**

Examine

**TABLE R403.3
MINIMUM INSULATION REQUIREMENTS FOR FROST-PROTECTED FOOTINGS IN HEATED BUILDINGS^a**

AIR FREEZING INDEX (°F-days) ^b	VERTICAL INSULATION R-VALUE ^{c,d}	HORIZONTAL INSULATION R-VALUE ^{c,e}		HORIZONTAL INSULATION DIMENSIONS PER FIGURE R403.3(1) (inches)		
		Along walls	At corners	A	B	C
1,500 or less	4.5	Not required	Not required	Not required	Not required	Not required
2,000	5.6	Not required	Not required	Not required	Not required	Not required
2,500	6.7	1.7	4.9	12	24	40
3,000	7.8	6.5	8.6	12	24	40
3,500	9.0	8.0	11.2	24	30	60
4,000	10.1	10.5	13.1	24	36	60

a. Insulation requirements are for protection against frost damage in heated buildings. Greater values may be required to meet energy conservation standards. Interpolation between values is permissible.

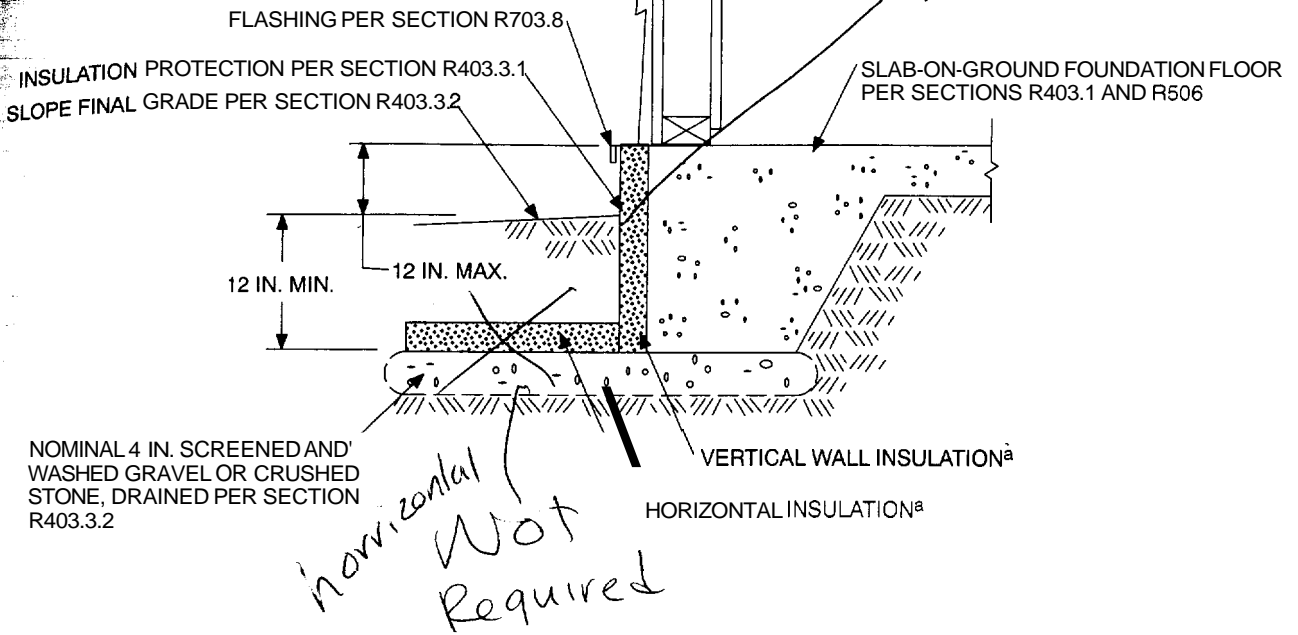
b. See Figure R403.3(2) for Air Freezing Index values.

c. Insulation materials shall provide the stated minimum R-values under long-term exposure to moist, below-ground conditions in freezing climates. The following R-values shall be used to determine insulation thicknesses required for this application: Type II expanded polystyrene—2.4R per inch; Type IV extruded polystyrene—4.5R per inch; Type VI extruded polystyrene—4.5R per inch; Type IX expanded polystyrene—3.2R per inch; Type X extruded polystyrene—4.5R per inch.

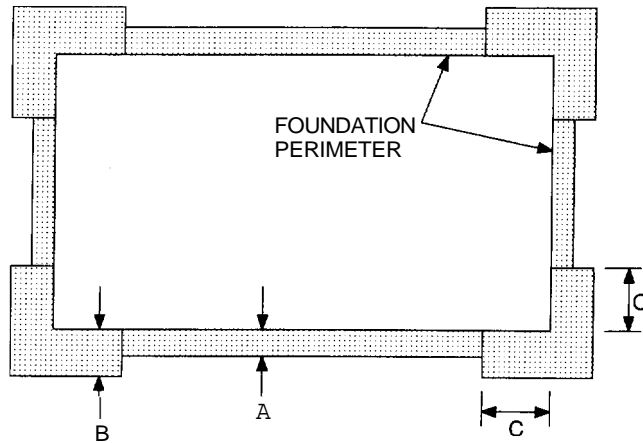
d. Vertical insulation shall be expanded polystyrene insulation or extruded polystyrene insulation.

e. Horizontal insulation shall be extruded polystyrene insulation.

INSULATION DETAIL



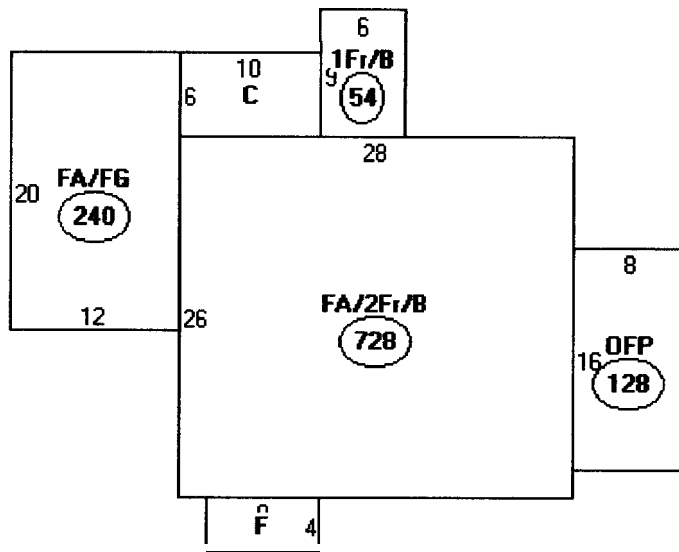
HORIZONTAL INSULATION PLAN



For SI: 1 inch = 25.4 mm.

a. See Table R403.3 for required dimensions and R-values for vertical and horizontal insulation.

FIGURE R403.3(1)
INSULATION PLACEMENT FOR FROST-PROTECTED FOOTINGS IN HEATED BUILDINGS



Descriptor/Area

- A: FA/2Fr/B
728 sqft
- B: FA/FG
240 sqft
- C: OFF
60 sqft
- D: 1Fr/B
54 sqft
- E: OFF
128 sqft
- F: OFF
32 sqft

This page contains a detailed description of the Parcel ID you selected. Press the **New** Search button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	175 A008001
Location	40 LUDLOW ST
Land Use	SINGLE FAMILY
Owner Address	BECK ALLISON T 40 LUDLOW ST PORTLAND ME 04103
Book/Page	12743/323
Legal	175-A-8 LUDLOW ST 40-42 MARLOW ST 19-23 8844 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$61,890	\$131,280	\$193,170

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$90,900	\$162,600	\$253,500

* Value subject to change based upon review of property status as of 4/1/06. The **tax** rate will be determined by City Council in May 2006.

Property information

Year Built 1935	Style Colonial	Story Height 2	Sq. Ft. 1897	Total Acres 0.203		
Bedrooms 3	Full Baths 1	Half Baths 1	Total Rooms 6	Attic Full Finsh	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales information

Date 09/27/1996 06/01/1995	Type LAND + BLDING LAND + BLDING	Price \$133,500	Book/Page 12743-323 11987-212
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Picture and Sketch

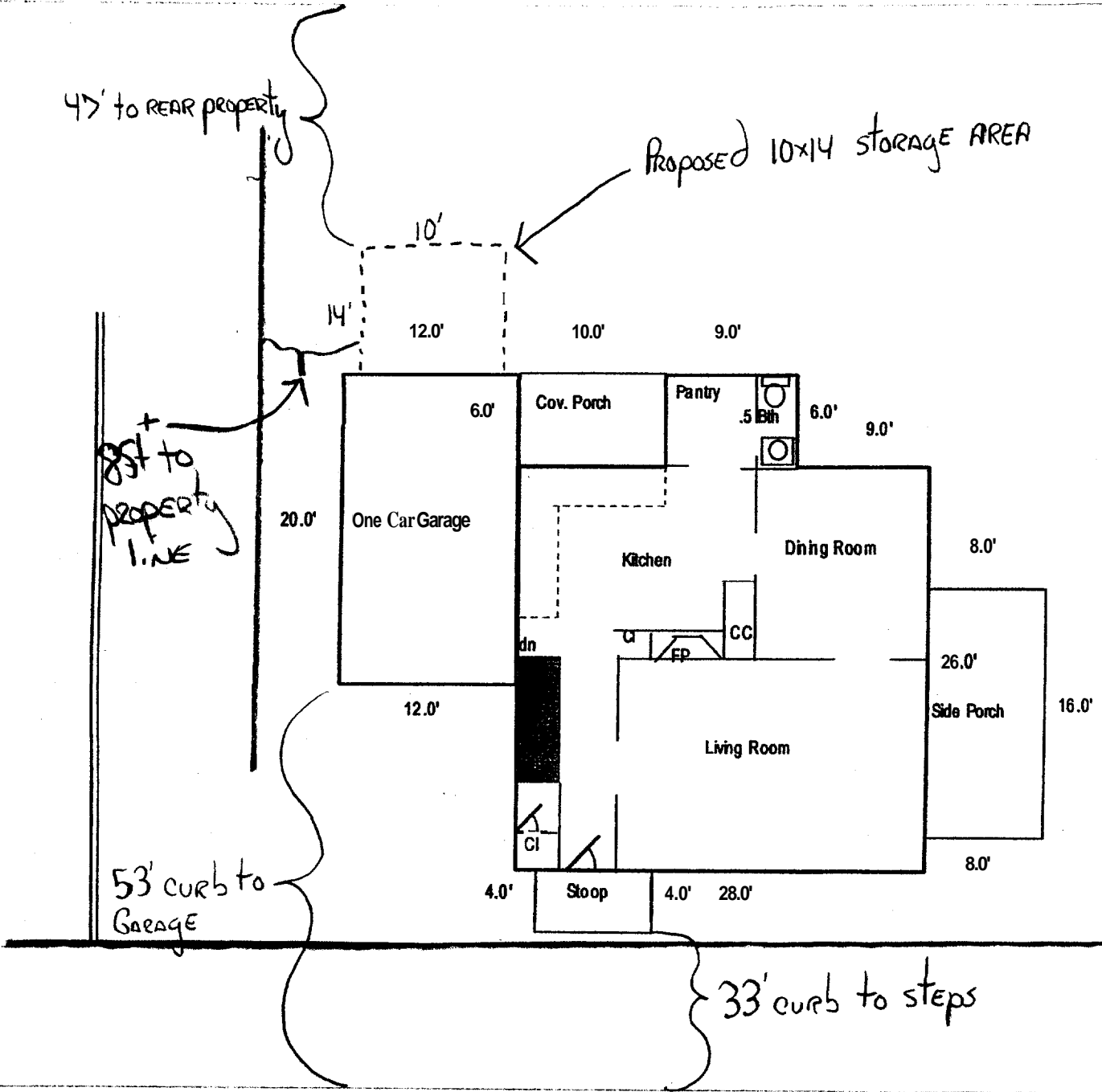
Picture	Sketch	Tax Mp
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Click here to view **Tax** Roil Information.



RS - lot size 5844
 rear - 20' req. - 47' given
 side - 15' req. - 8' given
 left 25' + *
 lot coverage = 40% - 3537.6 - 1382 OK
 max lot 35' = OK

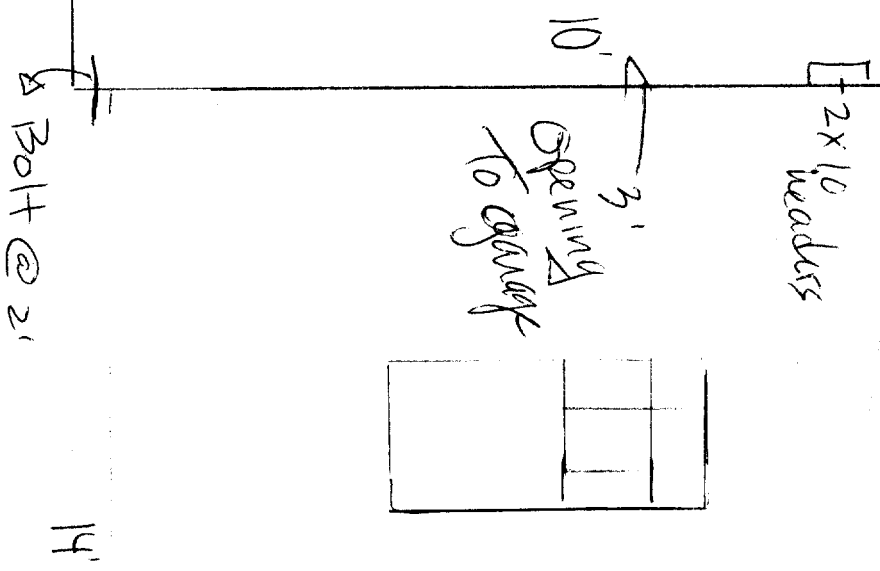
* see assessing map.



existing house	$28 \times 26 = 728$	addition 140
	$20 \times 12 = 240$	
	$19 \times 6 = 114$	
	$8 \times 16 = 128$	
	$4 \times 8 = 32$	
	1542	
	140	
	1382	

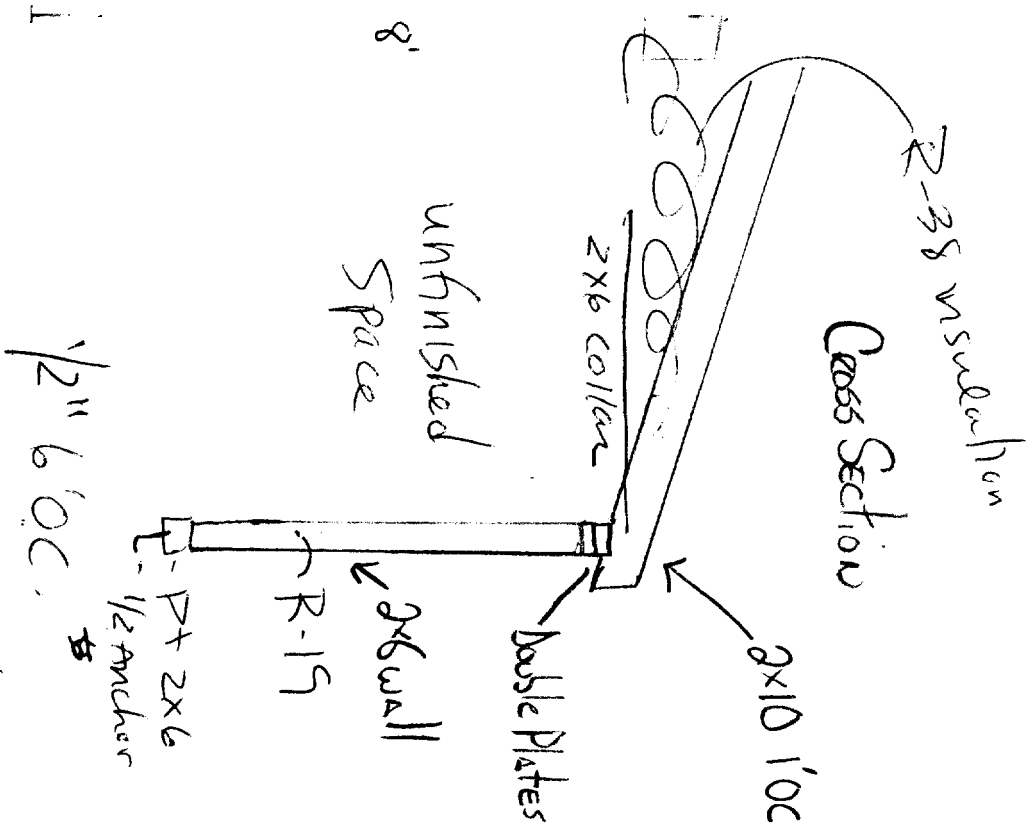
Storage Area 2" Vertical Insul Rigid
3' below grade

Truss will be installed to maintain 64° Temp



Slab - 8" w/ 1/2" haunch
Walls 2x6 16 OC w/ 1/2" OSB
Roof 2x10 16 OC w/ 3/8" CDX

Cross Section



Notes per Dan V. 8/25/06

Please call 874-3333 or 874-8693 to schedule your

inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months,

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below,

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point,

Certificate of Occupancy is not required for certain projects, Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee

Date

Jane Bouice

8/30/06

Signature of Inspections Official

Date

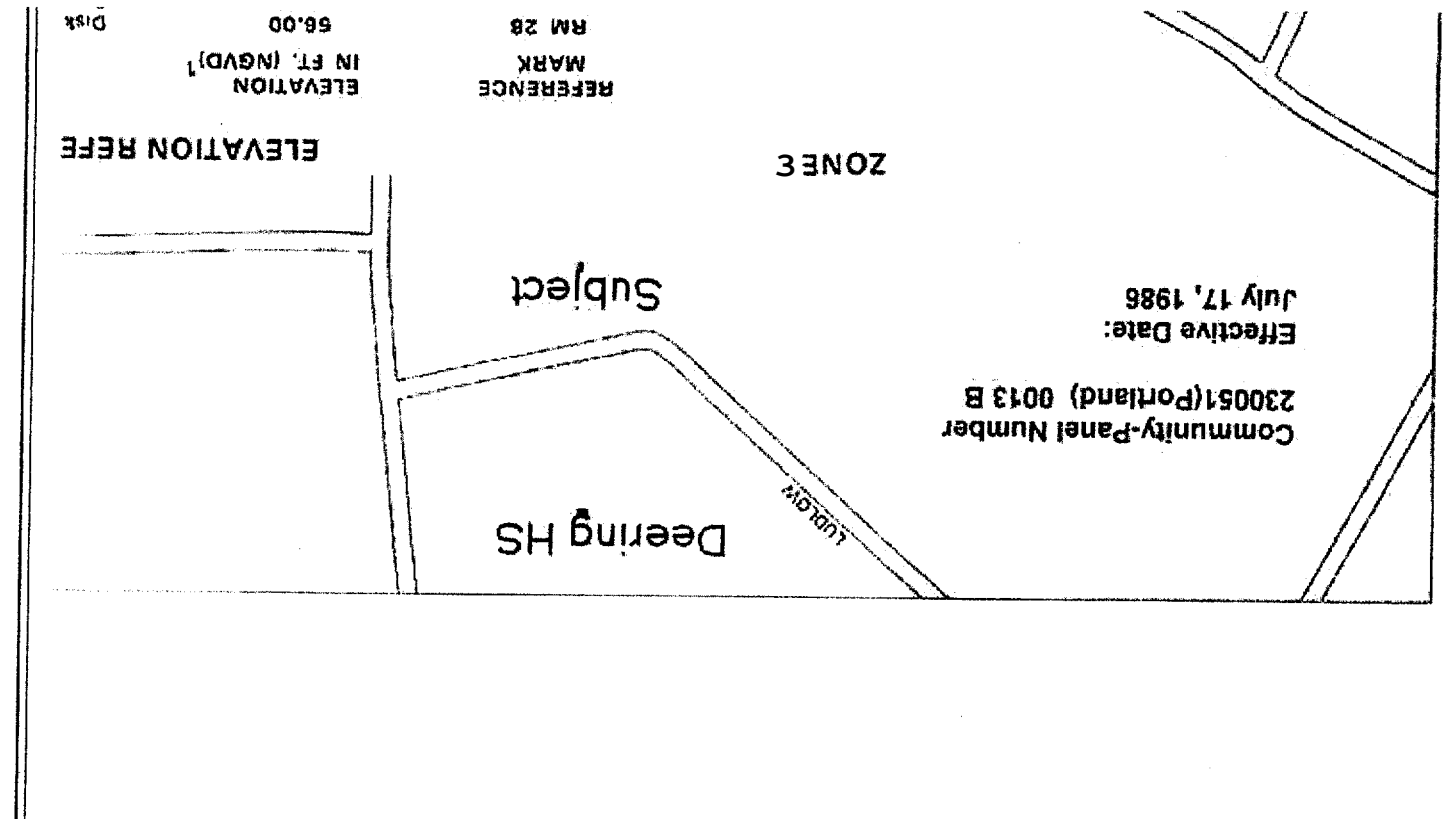
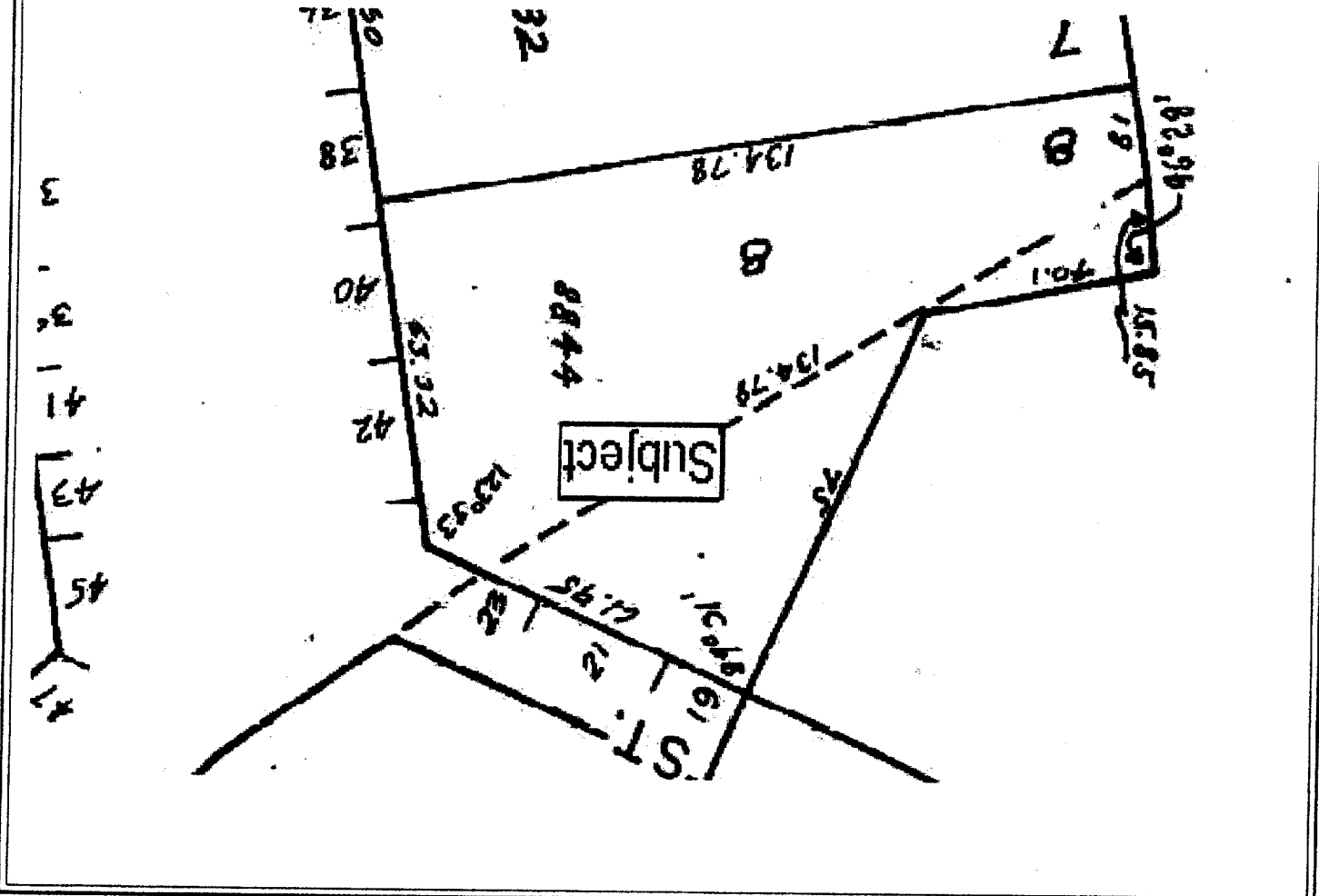
CBL: 175-A-8

Building Permit #:

06-1067

LOT PLAT MAP & FLOOD HAZARD LOCATION MAP

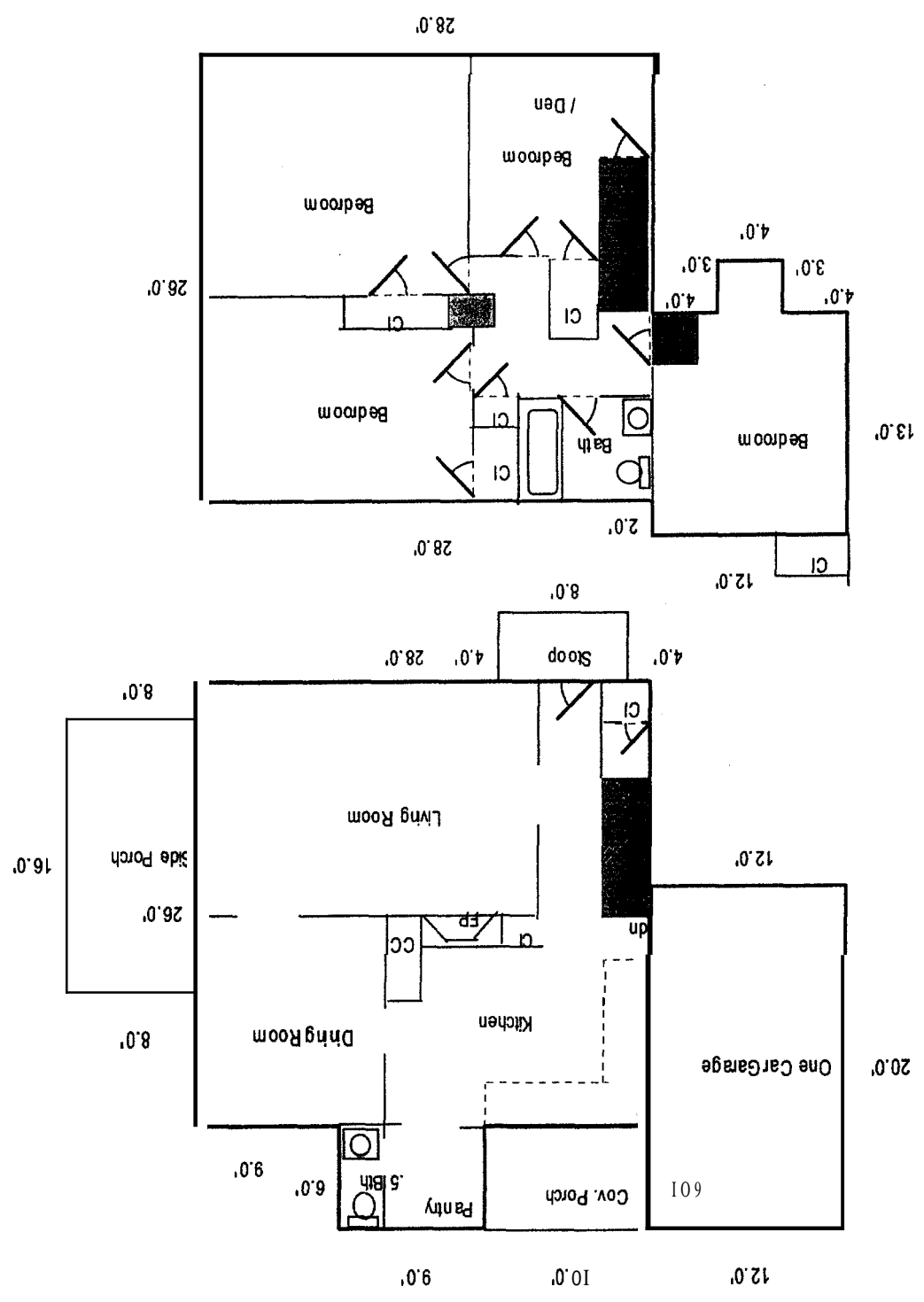
Borrower: Allison Beck
 Property Address: 40 Ludlow Street (Cor. Marlow St.)
 City: Portland
 Lender: The Mortgage Office
 File No.: 2006-050
 Case No.: No Loan # Provided
 State: ME
 Zip: 04103



Living Area	782.0
First Floor	896.0
Second Floor	782.0

SKETCH CALCULATIONS

Area	Perimeter
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FLOORPLAN

Borrower: Allison Beck	File No.: 2006-050
Property Address: 40 Ludlow Street (Cor. Marlow St.)	Case No.: No Loan # Provided
City: Portland	State: ME
Lender: The Mortgage Office	Zip: 04103