City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No:	Issue Date:	CBL:
07-0242		174 A013001

Location of Construction:	Owner Name:	Owner Address:	Phone:
618 OCEAN AVE	JEWISH HOME FOR THE AGED	630 OCEAN AVE	
Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
The Inn at Cedars	C.M. Cimino Inc.	3 Warren Ave Westbrook	2078548876
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	**Zone:**
		Commercial	R-3 Prime R-5 - 100' strip along Ocean

Past Use:	Proposed Use:	Permit Fee:	Cost of Work:	CEO District:
The Inn at Cedars-	The Inn at Cedars - Addition to the Cedars for Assisted living facility	$48,745.00	$4,864,522.00	4

FIRE DEPT: ☑ Approved ☐ Denied

See Conditions

Signature: Greg Cuss

INSPECTION: Use Group: I-1 Type: 5A

SEE CONDITIONS 6/13/07

Signature:

Proposed Project Description:
Addition to the Cedars for Assisted living facility

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: ☐ Approved ☐ Approved w/Conditions ☐ Denied

Signature: Date:

Permit Taken By:	Date Applied For:
ldobson	03/09/2007

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Zoning Approval

Special Zone or Reviews	Zoning Appeal	Historic Preservation
☐ Shoreland N/A	☐ Variance	☑ Not in District or Landmark
☐ Wetland	☐ Miscellaneous	☐ Does Not Require Review
☐ Flood Zone	☒ Conditional Use for long term Extended Care Facilities	☐ Requires Review
☐ Subdivision 1 lot with 3 condo parcels	☐ Interpretation	☐ Approved
☒ Site Plan 2004-0078	☒ Approved by PB	☐ Approved w/Conditions
Maj ☒ Minor ☐ MM ☐	☐ Denied	☐ Denied
Date: ok with conditions 3/15/07	Date: 9/13/05	Date:

PERMIT ISSUED
JUN - 7 2007
CITY OF PORTLAND

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | DATE | PHONE

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Business Name:	**Contractor Name:**	**Contractor Address:**	**Phone**
The Inn at Cedars	C.M. Cimino Inc.	3 Warren Ave Westbrook	(207) 854-8876
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Commercial	

Proposed Use:	Proposed Project Description:
The Inn at Cedars - Addition to the Cedars for Assisted living facility	Addition to the Cedars for Assisted living facility

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 03/15/2007

Note: **Ok to Issue:** ☑

1) The approved use for this addition is for new assisted living: 30 additional units or 60 beds. (long term & extended care facilities).
2) Separate permits shall be required for any new signage.
3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 06/04/2007

Note: **Ok to Issue:** ☑

1) A separate permit is required for the kitchen exhaust system and stamped plans that establish compliance with the International Mechanical Code and a City Exhaust system checklist must be filed for review and approval.
2) The new addition must be completely separated from the existing structure by "firewalls" that comply with Section 705 of the 2003 IBC and aopenings and penetrations must be protected in accordance with Section 705.8 through and including 705.11
3) The roof and slab on grade show no "R" factors on the Energy Envelope Compliance Certificate, This seems to conflict with The 2003 IECC, please provide an explanation prior to the commencement of construction.
4) The Testing agencies designated as TBA in the statement of Special inspections must be designated and an amended statement be submitted for reveiw and approval prior to commencement of construction.
5) All stair tread and risers must comply with Section 1009.3 (7 in max riser and 11 in. min tread etc)

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 03/19/2007

Note: Site plan checklist not completed **Ok to Issue:** ☑

1) All doors shall swing in the direction of egress.
2) Soiled linnen rooms require 1 hr seperation.
3) Provide information on door to existing structure. 2 hr seperation?
4) Application requires State Fire Marshal approval.

Comments:

3/12/2007-mes: I spoke with Rick Knowland and he will get me the most recent stamped approved site plan.

3/15/2007-mes: received site plan from R.K. for review purposes but must wait for final sign-off from planning prior to issuance of permit.

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The Inn at Cedars	C.M. Cimino Inc.	3 Warren Ave Westbrook	(207) 854-8876
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Commercial	

4/2/2007-ldobson: I have commenced the review of the above project and have the following questions/comments:

1) Because the project has a Seismic Design Category of "C", a seismic quality assurance plan and contractors statement of responsibility, formatted as described in section 1705.2 and 1705.3 are required. Please make sure that all of the scoping issues are addressed in section 1705.1

2) CRITICAL ISSUE Egress courts/ egress access to a public way-- We had reviewed this concept in the recent past and had difficulty establishing compliance with section 1023.5 and 6 for the addition and the exisitng building. Please provide a life safety plan for the entire complex that establishes compliance with chapter 10 iof the IBC and the NFPA codes.

3) Please provide an area assessment that establishes compliance with section 503 of the IBC. Because you have chosen an NFPA 13R system, you are not allowed to use the sprinkler area bonus contemplated in section 506.3. This would be available only if you install a full NFPA 13 system.

4) Smoke dampers are not shown in duct penetrations in vertical fire separation assemblies. Please review section 716.5.4.1 and provide comment.

5)Please provide product information for all glazing in rated corridors that establishes compliance with Section 715.4.

6) Please Provide information that establishes compliance with Section 715.3 for the door assemblies.

4/24/2007-ldobson: I sent this email on 4/1/07 ....significant design issues, haven't heard from them???? HOLD
I have commenced the review of the above project and have the following questions/comments:
1) Because the project has a Seismic Design Category of "C", a seismic quality assurance plan and contractors statement of responsibility, formatted as described in section 1705.2 and 1705.3 are required.
Please make sure that all of the scoping issues are addressed in section 1705.1
>
2) CRITICAL ISSUE Egress courts/ egress access to a public way-- We had reviewed this concept in the recent past and had difficulty establishing compliance with section 1023.5 and 6 for the addition and the exisitng building. Please provide a life safety plan for the entire complex that establishes compliance with chapter 10 iof the IBC and the NFPA codes.

3) Please provide an area assessment that establishes compliance with section 503 of the IBC. Because you have chosen an NFPA 13R system, you are not allowed to use the sprinkler area bonus contemplated in section 506.3. This would be available only if you install a full NFPA 13 system.
4) Smoke dampers are not shown in duct penetrations in vertical fire separation assemblies. Please review section 716.5.4.1 and provide comment.
5)Please provide product information for all glazing in rated corridors that establishes compliance with Section 715.4.
6) Please Provide information that establishes compliance with Section 715.3 for the door assemblies.

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The Inn at Cedars	C.M. Cimino Inc.	3 Warren Ave Westbrook	(207) 854-8876
Lessee/Buyer's Name	**Phone:**	**Permit Type:**	
		Commercial	

5/9/2007-ldobson: I've discussed the courtyard issue with Captain Cass and we both would like a floor plan (life safety plan) of the entire facility that will show all egress components both existing and proposed.

That being said, and given the fire wall information below, we will need as built information for the existing firewalls, establishing compliance with section 705 before we can consider the courtyard as a viable option.

The wall assembly that you have submitted as a "firewall" is listed and rated as a "nonbearing wall".(Please check on the UL website) This being the case it is not applicable as a Firewall as contemplated by Section 705 for the purpse on considering the buildings as separate buildings" . Please review this section closely and submit an assembly that complies with all elements of section 705.

With regard to the Fire/Smoke Dampers, Please look at table 1016.1. As can be seen, the corridors are required to have a one hour rating, This being the case it brings section 715.3.3 into the discussion. Because the doors in the corridors must meet the smoke and draft control standards in UL1784, it triggers Section 716.5.4.1.and smoke dampers unless you fit into one of the exceptions. Please review this.

>>> "Tom McBride" <tmcbride@tsomides.com> 05/03/07 3:46 PM >>>
Hi Mike:

Did you receive our follow up response of April 30?
Please call to discuss any questions or comments as appropriate.

Thanks,
Tom

Thomas J. McBride, RA
Associate
Tsomides Associates Architects and Planners
389 Elliot St.
Newton Upper Falls, MA 02464

tmcbride@tsomides.com
www.tsomides.com

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

✓ Footing/Building Location Inspection:	Prior to pouring concrete
✓ Re-Bar Schedule Inspection:	Prior to pouring concrete
✓ Foundation Inspection:	Prior to placing ANY backfill
✓ Framing/Rough Plumbing/Electrical:	Prior to any insulating or drywalling
✓ Final/Certificate of Occupancy:	Prior to any occupancy of the structure or use. NOTE: There is a $75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

AC If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

____ CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Anthony J Cimino — 6/6/07
Signature of Applicant/Designee — Date

Chris N — 6/4/07
Signature of Inspections Official — Date

CBL: 174-A-013 Building Permit #: 070242

General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 630 OCEAN AVENUE, PORTLAND, ME		
Total Square Footage of Proposed Structure: 46,131 S.F.	Square Footage of Lot:	
Tax Assessor's Chart, Block & Lot Chart# 174 Block# A Lot# 13	Owner: J.H.A. SERVICES 630 OCEAN AVENUE PORTLAND, MAINE 04102	Telephone: 772-5456
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: C.M. CIMINO INC 3 WARREN AVENUE WESTBROOK, ME. 04092	Cost Of Work: $ 4,864,522.00 Fee: $ 48,665.22 C of O Fee: $

Current legal use (i.e. single family) ~~Vacant land~~ - lot is already Developed
If vacant, what was the previous use? _____
Proposed Specific use: _____
Is property part of a subdivision? _____ If yes, please name _____
Project description:
THE INN AT CEDARS
ASSISTED LIVING FACILITY

$48,745

Contractor's name, address & telephone: C.M. CIMINO INC
Who should we contact when the permit is ready: MICHAEL CIMINO
Mailing address: Phone: 854-8876
3 WARREN AVENUE
WESTBROOK, MAINE 04092

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAR - 9 2007
RECEIVED

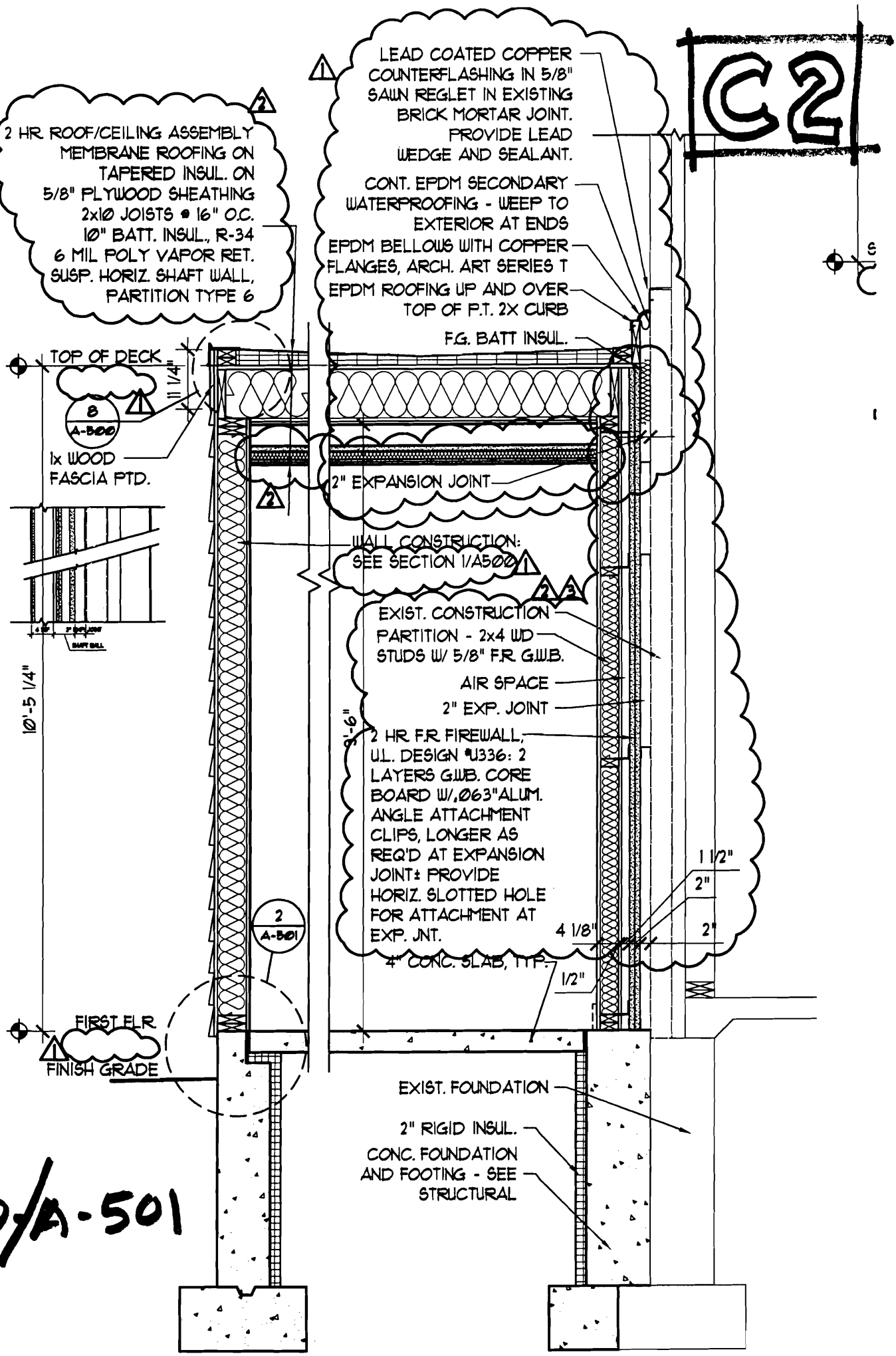
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Anthony J Cimino	Date: 3/8/07

This is not a permit; you may not commence ANY work until the permit is issued.



Certificate of Design Application

From Designer: ISOMDES ASSOCIATES ARCHITECTS PLANNERS

Date: 3-16-07

Job Name: CEDARS ASSISTED LIVING FACILITY

Address of Construction: 630 OCEAN AVENUE, PORTLAND, ME -

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 I.B.C. Use Group Classification (s) I-1 ASSISTED LIVING

Type of Construction V-A, WOOD FRAMED, PROTECTED

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC 903.3.1.2 OF I.B.C. YES

Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____

Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) YES

Structural Design Calculations

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
ROOMS	40 PSF + 10PSF PARTITIONS
CORRIDORS	80 PSF
OPEN PLAN AREAS	100 PSF

Wind loads (1603.1.4, 1609)

SEC 6 ASCE 7 Design option utilized (1609.1.1, 1609.6)

100 Basic wind speed (1809.3)

1.0 Building category and wind importance Factor, I_w table 1604.5, 1609.5)

B Wind exposure category (1609.4)

+/- 0.18 Internal pressure coefficient (ASCE 7)

18.7 Component and cladding pressures (1609.1.1, 1609.6.2.2)

14.2 Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

PER KEY Design option utilized (1614.1)

1 Seismic use group ("Category")

0.37, 0.16 Spectral response coefficients, SDs & SD1 (1615.1)

D Site class (1615.1.5)

N/A Live load reduction

N/A Roof *live* loads (1603.1.2, 1607.11)

SEE BELOW Roof snow loads (1603.7.3, 1608)

60 PSF Ground snow load, P_g (1608.2)

42 PSF If P_g > 10 psf, flat-roof snow load P_f

1.0 If P_g > 10 psf, snow exposure factor, C_e

1.0 If P_g > 10 psf, snow load importance factor, I

1.0 Roof thermal factor, C_t (1608.4)

42 PSF Sloped roof snowload, P_s (1608.4)

C Seismic design category (1616.3)

ARCHAIC/SHEARWALL Basic seismic force resisting system (1617.6.2)

R = 6.5 Response modification coefficient, R_I and

C_d = 4.0 deflection amplification factor C_d (1617.6.2)

EQUIV FORCE P. Analysis procedure (1616.6, 1617.5)

V = C_s W Design base shear (1617.4, 16175.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)

_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)

_____ Partition loads (1607.5)

_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404

Accessibility Building Code Certificate

Designer: Tsomides Associates Architects Planners

Address of Project: 640 Ocean Av.

Nature of Project: The Inn At Cedars

To the best of our knowledge, information, and belief,
The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.

(SEAL)

Signature:

Title: Principal/CEO

Firm: Tsomides Associates Architects Planners

Address: 389 Elliot St.

Newton Upper Falls, MA 02464

Phone: (617) 969-4774

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Certificate of Design

Date: February 12, 2007

From: Tsomides Associates Architects Planners

To the best of our knowledge, information and belief,
These plans and / or specifications covering construction work on:

The Inn at Cedars, 640 Ocean Av., Portland, ME 04112

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the ***2003 International Building Code*** and local amendments.

(SEAL)

Signature:

Title: Principal/CEO

Firm: Tsomides Associates Architects Planners

Address: 389 Elliot St.

Newton Upper Falls, MA 02464

Phone: (617) 969-4774

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

The Inn at Cedars
Program of Structural Tests and Special Inspections
Foley Buhl Roberts & Associates, Inc.

Project	The Inn at Cedars (H.U.D. Project 024- 43094)	
Location	649 Ocean Ave., Portland, ME	
Owner	JHA Services, Inc.	
Owner's Address	649 Ocean Avenue Portland, ME 04112	Tel - 207-772-5456 Fax - 207-772-6038
Architect of Record	Constantine Tsomides Tsomides Associates 389 Elliot Street Newton Upper Falls, MA 02464	Tel - 617-969-4774 Fax - 617-969-4793
Structural Engineer of Record (SER)	Jonathan D. Buhl, P.E. Foley Buhl Roberts & Associates, Inc. 2150 Washington Street Newton, MA 02462	Tel - 617-527-9600 Fax - 617-527-9606
Testing Agency (TA) (Special Inspector)	To Be Determined	Tel - xxx-xxx-xxxx Fax - xxx-xxx-xxxx
Geotechnical Engineer (GE)	James Weaver, P.E. Haley & Aldrich, Inc. 75 Washington Ave., Suite 203 Portland, ME 04101-2617	Tel - 207-482-4600 Fax - 207-775-7666

This program of structural tests and inspections is submitted as a condition for issuance of a building permit in accordance with the 2003 International Building Code.

The firms, agencies, or individuals noted above (hereafter referred to collectively as agents) will perform the structural tests and inspections under the direction of the SER.

The complete set of Contract Documents (Drawings and Specifications) that accompany the application for building permit is to be considered attached to this program as reference material.

This program does not relieve the Contractor of their responsibility to conduct the work in accordance with the requirements of the Construction Documents, the approved Shop Drawings and the 2003 International Building Code.

Construction Categories: The following construction categories, if checked, are included in the program of structural tests and inspections for this project. Specific tests and inspections required for each designated category are listed on the page noted opposite the category.

	Construction Category	Page
☒	Earthwork	3
☒	In-situ Bearing Strata	3
☒	Controlled Fill	3
☐	Underpinning	
☐	Excavation support	
☐	Drilled Pier Foundations	
☒	Cast-In-Place Concrete	4
☐	Post-Tensioned Concrete	
☐		

	Construction Category	Page
☐	Structural Precast Concrete	
☒	Masonry	5-6
☒	Structural Steel	7
☒	Steel Joists	7
☒	Steel Deck	7
☐	Shear Connectors	
☒	Wood Framed Construction	8
☒	Prefabricated Wood Trusses	8

Performance Specifications: The following construction components, if checked, are designated in the Contract Documents on the basis of a performance specification to be designed by the Contractor or Subcontractor's registered professional engineer. The design of these structural elements or systems will be reviewed by the SER and their construction is included in the program for structural tests and inspections.

	Construction Component	Page
☐	Structural Precast Components	
☐	Post-Tensioning Steel	
☒	Structural Steel Connections	7
☐	Metal Buildings	
☐	Glue-Laminated Wood Construction	
☐	Cold-Formed Metal Framing	
☐	Steel Stairs & Handrails/Guardrails	
☐	Skylights	
☒	Metal Plate Connected Wood Trusses	8

Reports: Test and inspection reports prepared by the SER, TA, and GE will be collected and maintained by the SER and distributed, according to the procedures established by the Building Official. Prior to the issuance of a certificate of occupancy the SER will submit a final report to the Architect, to be forwarded to the Owner and Building Official in accordance with the 2003 International Building Code.

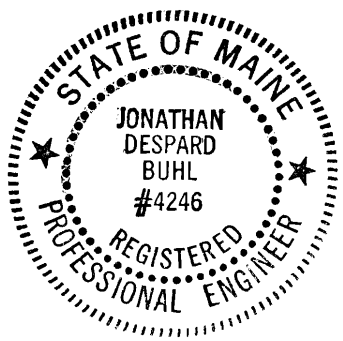
Prepared by the Structural Engineer of Record:

Name: Jonathan D. Buhl, P.E.
P.E. # 4246 (Structural)

Signature: 

Firm: Foley Buhl Roberts & Associates, Inc.

Date: February 16, 2007



Excavation, Backfill, and Compaction (Section 02220)

Item	Agent	Scope
1. Excavation	GE	Inspect existing sub-soils and groundwater conditions during building excavation.
2. Bearing Strata	GE	Inspect the in-situ bearing strata and compacted structural fill bearing strata for footings and slabs cast on grade for conformance with the Geotechnical Report, Spec. Section 02220 and Contract Documents.
3. Structural Fill	TA	Inspect and test compacted structural fill for conformance with the Geotechnical Report, Spec. Section 02220 and Contract Documents.

Cast-in-Place Concrete Construction (Section 03300)

Item	Agent	Scope
1. Mix Design	SER	Review mix design for each required strength of concrete for conformance with Spec. Section 03300 and Contract Documents.
2. Materials Certification	SER, TA	Review for conformance with Spec. Section 03300 and Contract Documents.
3. Batching Plant	TA	Review methods for batching and mixing, and quality control procedures at the batching plant. Conduct one (1) initial visit to the batching plant at the start of production and at least one (1) additional visit during the production period. Additional visits to the batching plant may be requested by the SER, if necessary.
4. Reinforcement Installation	TA	Inspect all reinforcement for grade, size, quantity, spacing, condition, cover and placement, for conformance with the approved Shop Drawings and Contract Documents.
5. Formwork	TA	Inspect for general configuration, cleanliness, and cover to reinforcement.
6. Concrete Placement	TA SER	Observe concrete placement operations. Verify conformance with Spec. Section 03300, including cold weather and hot weather placement procedures. Review cold weather and hot weather placement procedures submitted by the Contractor.
7. Testing and Evaluation of Concrete Strength	TA SER	Sample and test concrete, in accordance with Spec. Section 03300 and Contract Documents. Review test results for concrete.
8. Curing and Protection	TA	Observe curing procedures and protection of concrete from high/low temperatures and rapid loss of moisture. Verify conformance with Spec. Section 03300 and Contract Documents. .

Masonry Construction (04200)

Item	Agent	Scope
1. Review of Tests Submitted By Contractor for Masonry Units/Masonry Assemblages	SER	Review tests submitted by Contractor covering each class of masonry unit and type of masonry assemblage, including of mortar, grout, and prism tests. Verify conformance with Spec. Section 04200 and Contract Documents.
2. Materials Certification	SER, TA	Review concrete masonry units, masonry veneers, precast concrete units, mortar and grout materials to be used in the masonry construction for conformance with Spec. Section 04200 and Contract Documents.
3. Testing & Evaluation of Mortar & Grout Strength	TA SER	Sample and test mortar and grout used in field for masonry construction for conformance with Spec. Section 04200, and Contract Documents. Review test results for mortar and grout.
4. Proportioning, Mixing, and Consistency of Mortar & Grout	TA	Observe field procedures for proportioning and mixing of the mortar and grout to be used in the masonry construction.
5. Masonry Installation	TA	Inspect and report on installation of masonry units for general configuration and placement.
6. Anchorage	TA	Inspect type, spacing, and placement of masonry anchors and ties for conformance with Spec. Section 04200 and Contract Documents.
7. Reinforcement Installation	TA	Inspect reinforcement for grade, size, quantity, spacing, condition, cover, and placement, for conformance with the approved Shop Drawings and Contract Documents. .
8. Grouting Operations	TA	Inspect cells of masonry units for cleanliness prior to grouting. Observe partial/full grouting procedures for conformance with Spec. Section 04200, and Contract Documents.

Masonry Construction (04200) (continued)

9. Weather Protection	TA	Observe protection of masonry against cold and hot weather. Verify conformance with Spec. Section 04200 and Contract Documents.
10. Anchorage of Exterior Wall Masonry Veneer	TA	Inspect type, size, spacing, and placement of approved anchorage to adjacent back-up framing for conformance with Spec. Section 04200 and Contract Documents.

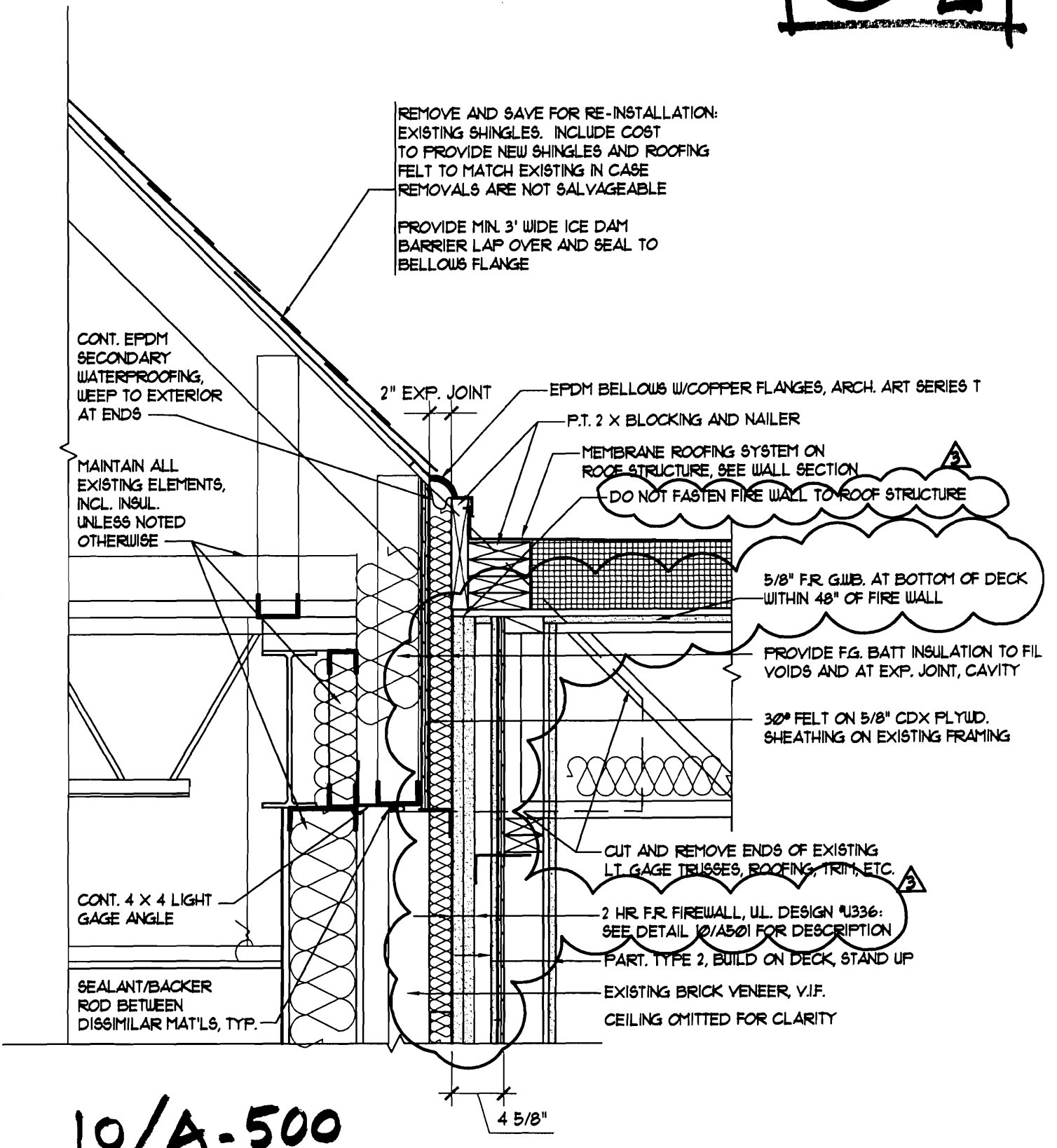
Structural Steel/Steel Joist/Steel Deck Construction (Sections 05120, 05210 and 05300)

Item	Agent	Scope
1. Fabricator Certification/ Quality Control Procedures	TA	Review and observe each Fabricator's detailed fabrication and quality control procedures for material, bolting, welding, surface preparation, and shop painting. If applicable, review reports by fabricator's approved independent inspection or quality control agency.
2. Shop Fabricated Members	TA	Inspect a representative number of shop fabricated members for conformance with Spec. Section 05120, Section 05210, the approved Shop Drawings and Contract Documents.
3. Material Certification	SER, TA	Review for conformance with Spec. Sections 05120, 05210, 05300 and Contract Documents.
4. Field Bolting	TA	Inspect and test field bolted connections for conformance with Spec. Section 05120, the approved Shop Drawings and Contract Documents. Review grade and size of bolts, and installation of torsion-controlled bolts.
5. Field Welding	TA	Inspect and test field welded connections for conformance with Spec. Section 05120, Section 05210, approved Shop Drawings and Contract Documents. Check welder qualifications. Visually check fillet welds and test partial/full penetration welds using applicable non-destructive methods.
6. Structural framing, Details and Assemblies	TA	Inspect grade of steel, size, placement, bridging and connection details for conformance with Spec. Section 05120, Section 05210, the approved Shop Drawings and Contract Documents.
7. Steel Deck	TA	Inspect steel deck type, gage, depth, width, and placement for conformance with Spec. Section 05300, the approved Shop Drawings and Contract Documents. Check welder qualifications. Visually check deck placement, laps, all welds to supports and longitudinal edges, all sidelap attachments, screws or other mechanical fasteners.

Rough Carpentry and Prefabricated Wood Truss Construction (Sections 06100 and 06190)

Item	Agent	Scope
1. Metal Plate Connected Wood Truss and Connection Design	SER	Review supplier's design of metal plate connected wood roof trusses, connections, ties and anchors for compliance with Spec. Section 06190, and Contract Documents.
2. Material Certification	SER, TA	Review materials used; including wood grade and species, plywood type and classification, metal connectors, etc., for conformance with Spec. Sections 06100, 06190, and Contract Documents.
3. Wood Framed Construction	TA	Inspect all wood framed construction; including metal plate connected wood roof trusses, blocking, bracing, bridging, sheathing, framing, nailing and metal connectors for conformance with Specification Sections 06100, 06190, the approved Shop Drawings and Contract Documents.

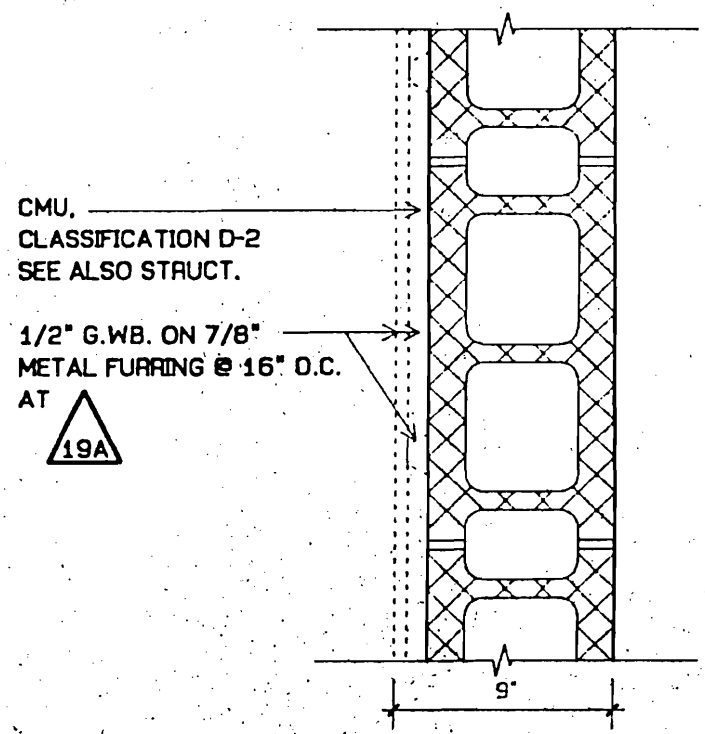
C1



10/A-500

11 SHAFT WALL @ CHASE
TWO HOUR FIRE RATED
U.L. DESIGN #U438
STC = 60

12



19 CMU WALL
TWO HOUR FIRE RATED
UL DESIGN #U905

19A W/FURRING AND G.W.B.

Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464
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FACSIMILE TRANSMISSION COVER SHEET

DATE: April 30, 2007

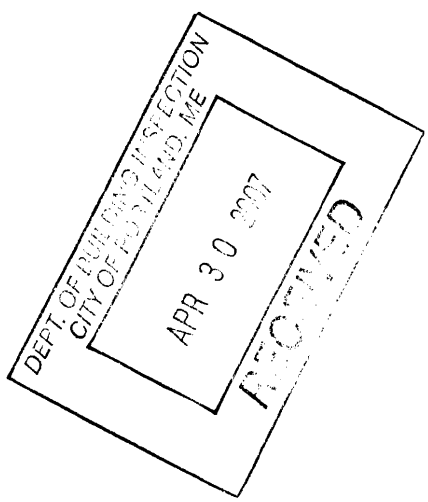
TO: Mr. Michael Nugent

COMPANY: City of Portland, ME

FAX NO. 207.874.8716

FROM: Tom McBride

REFERENCE: The Inn at Cedars, Ocean Av.



MESSAGE:

Hi Mike:

Pursuant to our conversation this morning, please see attached sketches, marked up to further clarify the design intent and methods of satisfying code requirements. Please note that attachment B-2 indicates safe dispersal areas, with 5 s.f. per person, for the existing Atrium and Cedars buildings, 50' away from each building. The proposed assisted living facility does not egress into the courtyard.

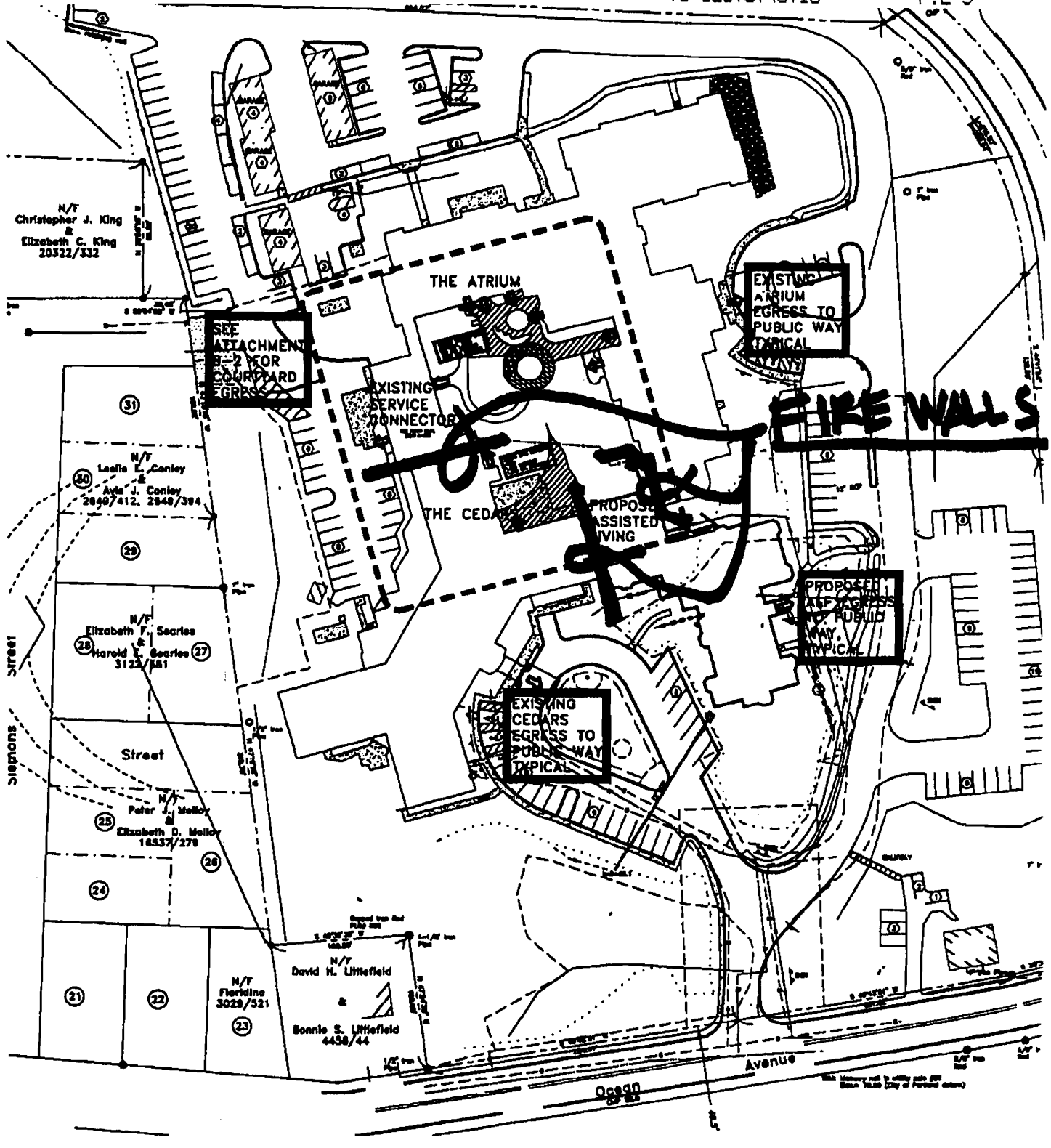
Please call with questions, comments, or concerns.

Thanks for your attention to this.

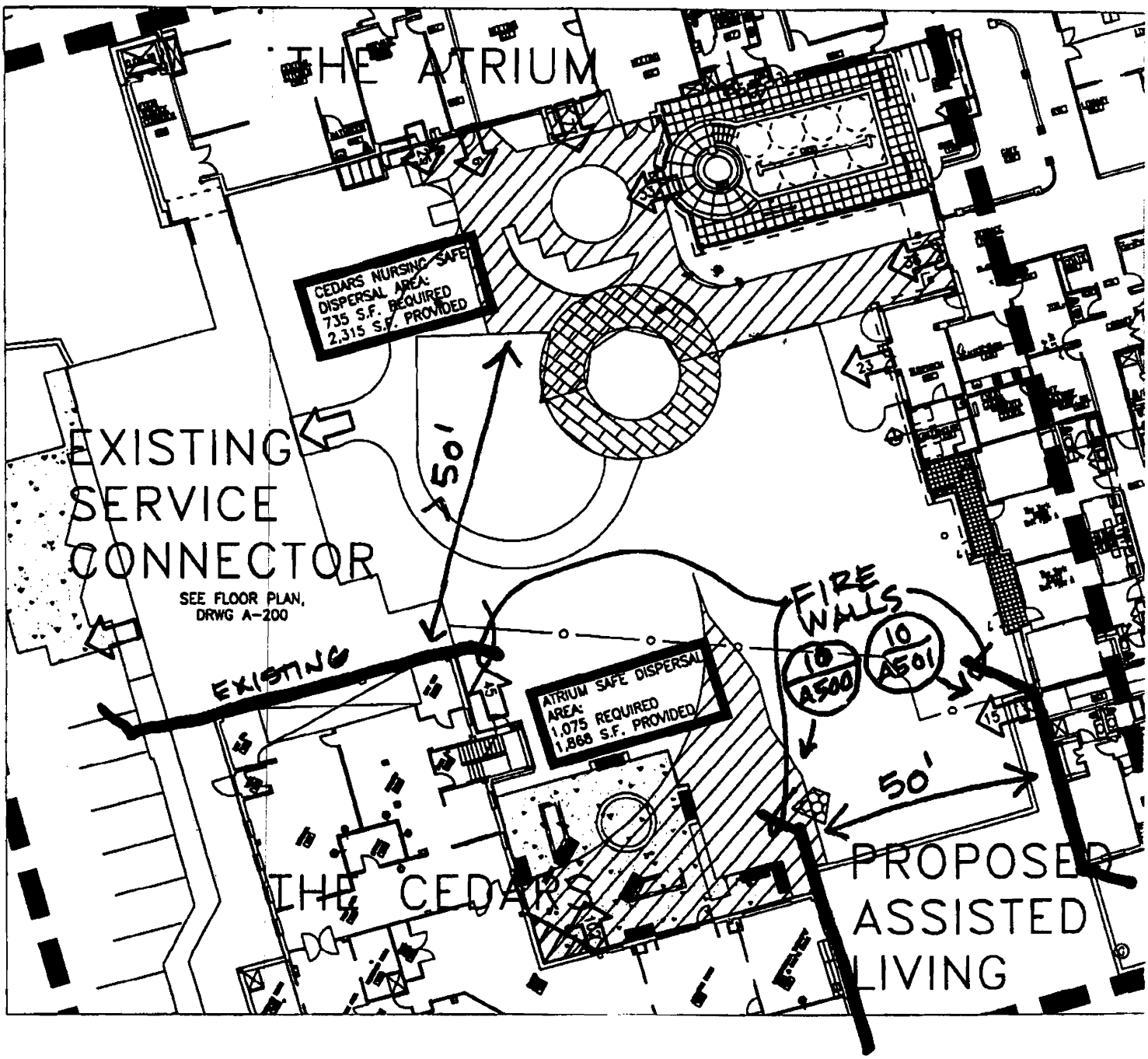
4 PAGES TO FOLLOW

Please call (617) 969-4774 with questions or problems.

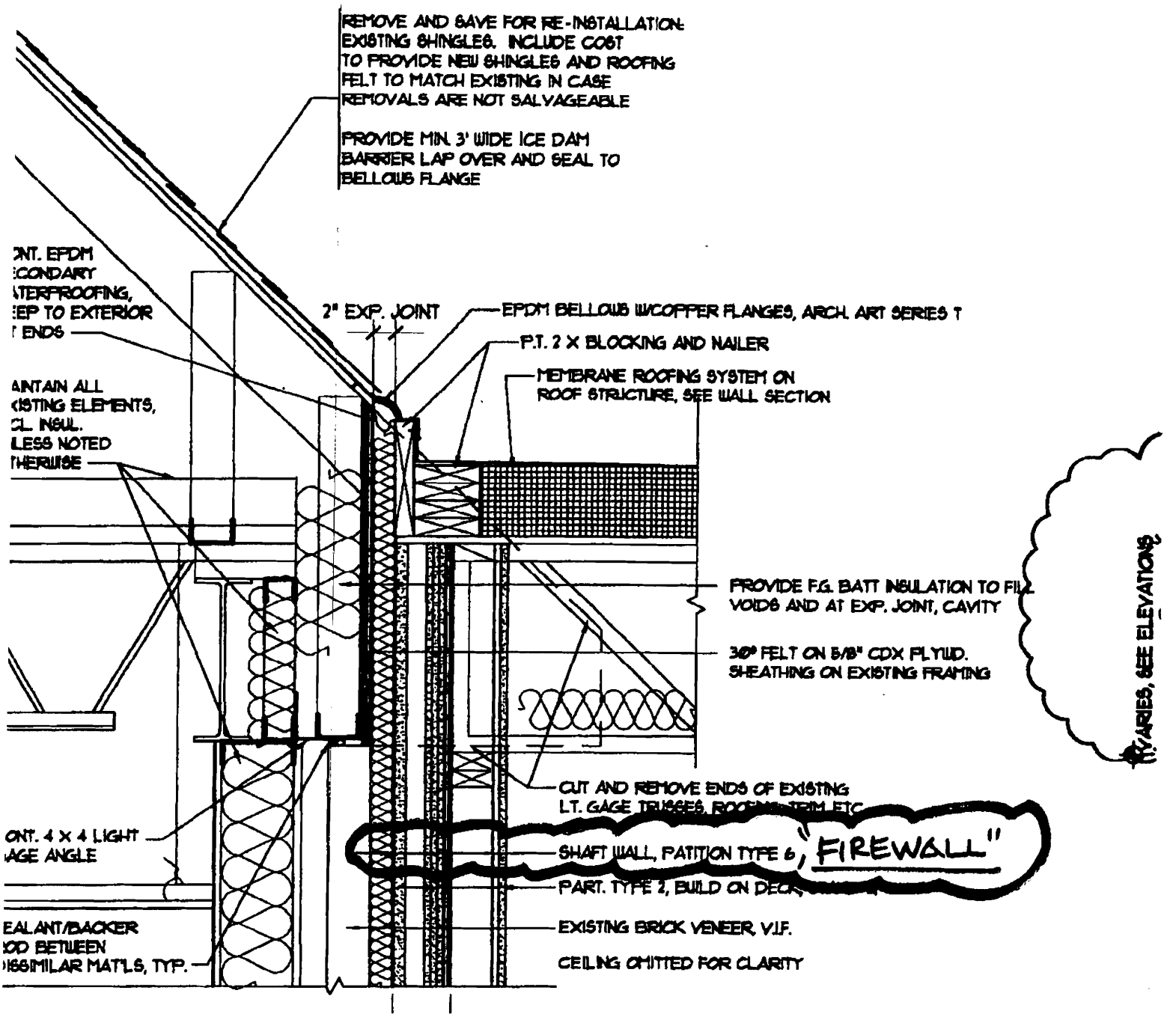
cc T. Yoder, Yoder, Inc., A. Cimino, C.M. Cimino, Inc., File



TITLE: Campus Egress Plan		Ref. Drwg. Survey
THE INN AT CEDARS PORTLAND, ME	DATE: 04/11/2007 SCALE: 1" = 100' DRAWING #: ATTACHMENT B-1	TSOMIDES ASSOCIATES Architects/Planners 389 Elliot St. Newton Upper Falls, MA 02464 (617)969-4774 (617)969-4793 Fa



TITLE: Courtyard Egress Plan		Ref. Drwg. Survey
CEDARS A.L.F. PORTLAND, ME	DATE: 04/11/2007 SCALE: 1" = 30' DRAWING #: ATTACHMENT B-2	TSOMIDES ASSOCIATES Architects/Planners 389 Elliot St. Newton Upper Falls, MA 02464 (617)969-4774 (617)969-4793 Fax



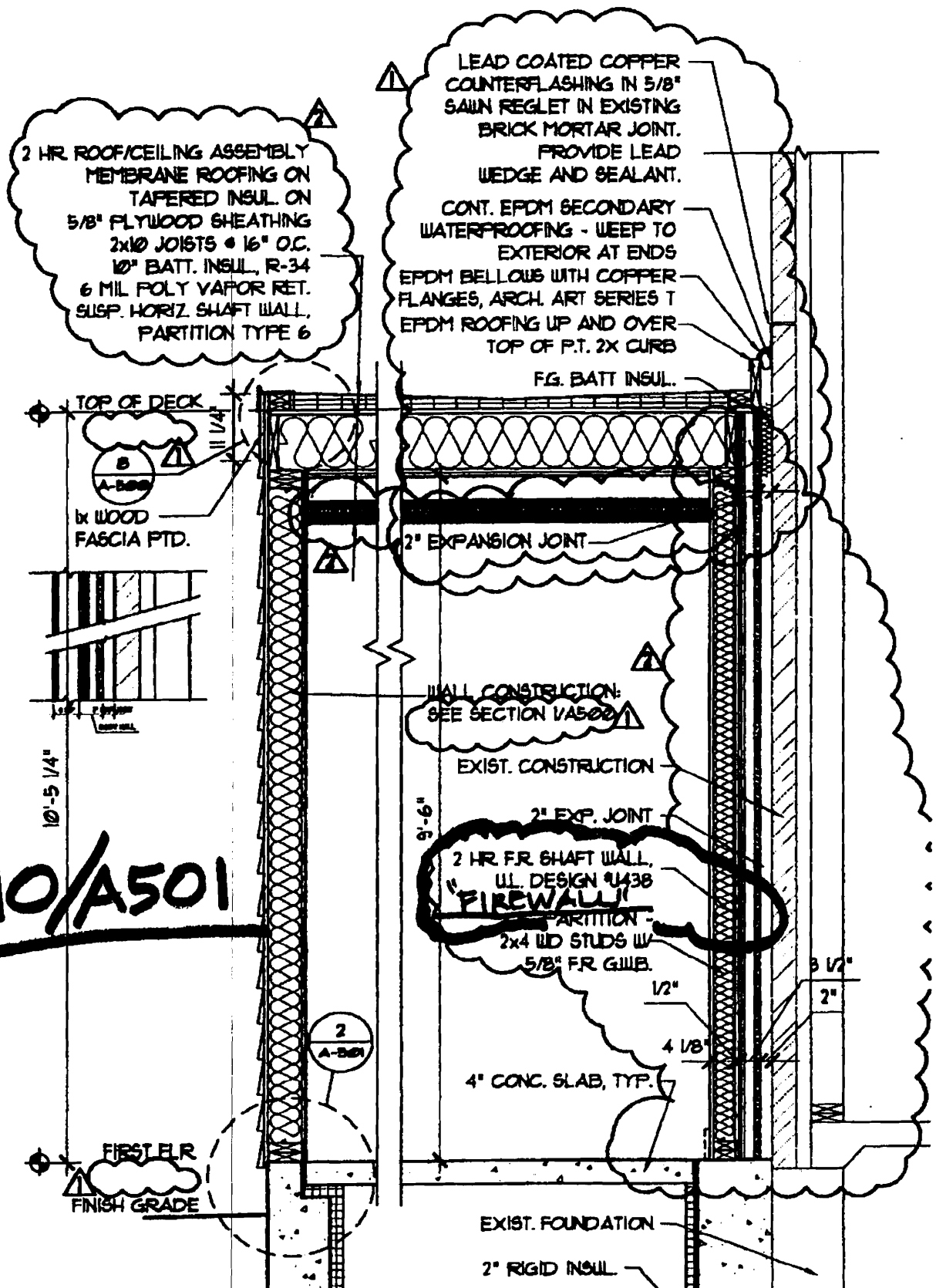
10 ROOF AT NURSING FACILITY

SCALE: 1"=1'-0"

10/A500

COPPER VENTED RIDGE AND CRESTING - ALL SIDES

NOT USED


LEAD COATED COPPER COUNTERFLASHING IN 5/8" SAWN REGLET IN EXISTING BRICK MORTAR JOINT. PROVIDE LEAD WEDGE AND SEALANT.
2 HR. ROOF/CEILING ASSEMBLY MEMBRANE ROOFING ON TAPERED INSUL. ON 5/8" PLYWOOD SHEATHING 2x10 JOISTS @ 16" O.C. 10" BATT. INSUL., R-34 6 MIL POLY VAPOR RET. SUSP. HORIZ. SHAFT WALL, PARTITION TYPE 6
CONT. EPDM SECONDARY WATERPROOFING - WEEP TO EXTERIOR AT ENDS
EPDM BELLOWS WITH COPPER FLANGES, ARCH. ART SERIES T
EPDM ROOFING UP AND OVER TOP OF P.T. 2X CURB
F.G. BATT INSUL.
TOP OF DECK
11 1/4"
B
A-502
1x WOOD FASCIA PTD.
2" EXPANSION JOINT
WALL CONSTRUCTION: SEE SECTION 1/A500
EXIST. CONSTRUCTION
2" EXP. JOINT
9'-6"
10'-5 1/4"
10/A501
2 HR F.R. SHAFT WALL, U.L. DESIGN #U438
"FIREWALL" PARTITION - 2x4 WD STUDS W/ 5/8" F.R. GWB.
3 1/2"
2"
1/2"
4 1/8"
2
A-501
4" CONC. SLAB, TYP.
FIRST FLR
FINISH GRADE
EXIST. FOUNDATION
2" RIGID INSUL.

SEBAGO TECHNICS, INC.
One Chabot Street
P.O. Box 1339
WESTBROOK, ME 04098-1339

Phone (207) 856-0277 FAX (207) 856-2206

LETTER OF TRANSMITTAL

15281

DATE	JOB NO.
4/10/07	03141

ATTENTION Mr. Michael Nugent

RE: Proposed Warehouse
Carpet and Rug Depot
Warren Avenue
Portland, Maine

TO Inspection Services
Room 315
Portland City Hall
389 Congress Street
Portland, ME 04101

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via _____ the following items:

☐ Shop drawings ☐ Prints ☐ Plans ☐ Samples ☐ Specifications

☐ Copy of letter ☐ Change order ☒ Report

COPIES	DATE	NO.	DESCRIPTION
1	8/6/04		Report on Subsurface and Foundation Investigation
			659 Warren
			315-A-1

THESE ARE TRANSMITTED as checked below:

☐ For approval ☐ Approved as submitted ☐ Resubmit _____ copies for approval

☒ For your use ☐ Approved as noted ☐ Submit _____ copies for distribution

☐ As requested ☐ Returned for corrections ☐ Return _____ corrected prints

☐ For review and comment ☐ _____

☐ FOR BIDS DUE _____ ☐ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
APR 18 2007
RECEIVED

COPY TO _____

SIGNED: Lee Rucker

If enclosures are not as noted, kindly notify us at once.

MEMORANDUM

Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464
617.969.4774
617.969.4793 Fax
www.tsomides.com

Tsomides
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DATE: February 12, 2007

TO: **Fire Department**
City of Portland, ME

FROM: Constantine L. Tsomides, NCARB, AIA
Principal / CEO

RE: The Inn at Cedars
640 Ocean Av.
Portland, ME 04112
Application for Building Permit

Per Building Permit Application Requirements, please note the following regarding this project:

APPLICANT
Michael Cimino
C.M. Cimino, Inc.
3 Warren Av.
Westbrook, ME 04092
(207) 854-8876

PROJECT ARCHITECT
Constantine L. Tsomides, NCARB / AIA
Tsomides Associates Architects Planners
389 Elliot St.
Newton Upper Falls, MA 02464
(617) 969-4774 Phone

PROPOSED USE OF STRUCTURE

IBC 2003:	Assisted Living Facility, I-1
NFPA 101 2003	Residential Board and Care Facility

SQUARE FOOTAGE OF STRUCTURE

By Floor	
Basement	1,882 s.f.
First Floor	12,383 s.f.
Second Floor	11,866 s.f.
Total	26,131 s.f

EXISTING AND PROPOSED FIRE PROTECTION OF STRUCTURE

Existing	N/A
Proposed	Fully sprinklered building

SEPARATE PLANS SHALL BE SUBMITTED FOR:

Suppression System	To be submitted prior to installation, during construction
Detection System	Under separate permit

SEPARATE LIFE SAFETY PLAN

Please refer to attached construction documents for the following information:

a) Fire resistance ratings of all means of egress
b) Travel distance from most remote point to exit discharge
c) Location of fire extinguishers
d) Location of emergency lighting
e) Location of exit signs
f) Please see attached NFPA Code Summary

ELEVATORS SHALL BE SIZED TO FIT AN 80" X 24" STRETCHER

Confirmed.

Please do not hesitate to call with questions, comments or concerns.

---

encl. NFPA 101 2003 Code Summary, February 12, 2007, 3 pages

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MEMORANDUM

February 12, 2007

The Inn at Cedars Assisted Living Facility

NFPA 101 2003 Code Summary

Code Ref. Code Requirement

Chapter 3 - Definitions

3.3.152.13 **Residential Board and Care Occupancy.** A building or portion thereof that is used for lodging and boarding of four or more residents, not related by blood or marriage to the owners or operators, for the purpose of providing personal care services.

3.3.163 Personal Care. The care of residents who do not required chronic or convalescent medical or nursing care.

Chapter 6 - Classification of Occupancy

6.1.9.1 ...Residential Board and Care Occupancy

Chapter 7 – Means of Egress

7.1.3.1 Exit Access Corridors to have a 1 hour fire resistance rating
1 hour fire resistance rating provided

7.1.3.2.1 Exits to be separated from other parts of the building by not less than a 1 hour fire resistance rating where the exit connects three stories or less.
1 hour fire resistance rating provided

7.1.4 Interior finishes in exit enclosures to be Class A or Class B.
Provided

7.1.5 Headroom shall be minimum 90", except at stairs, minimum 80".
Provided

7.2.1.2.4 Minimum door width shall not be less than 32" clear
Provided via 36" wide doors

Table 7.2.2.2.1(a) Stair Riser (max) 7", Tread (min.) 4"
Stair Tread (min.) 11"
Provided

7.2.2.4.4 Handrails to be between 34" and 38" high
Provided at 34" high from nose of tread

7.2.2.4.5 Guardrails to be min. 42" high
Provided at 42" high

Table 7.3.1.2 Occupant Load Factor
Calculated as assembly on public use areas of first floor; residential at assisted living units.
Total Occupant load for building = 254 people

Table 7.3.3.1 .4 inches per person stairs; .2 inches per person level components and ramps
83 Second Floor Occupants x .4 = 33.2" total stair width required
88" total stair width provided

254 Total Building Occupants x .2 = 50.8" total egress door width required
42" + 32" + 32" = 106" total egress door width provided.

7.3.4 Egress width
Minimum 44" at stairs, corridors, 32" clear at doors
Provided

7.4.1.1 Minimum two means of egress
Provided

7.5.1.1 Means of egress arrangement
Provided with required remoteness

7.6.1 Measurement of travel distance to exit
Measured as required

7.7.1 Discharge from exits
Exit discharges provided to an exterior exit discharge, and to open space;
Existing exit discharges from the adjacent Atrium and Nursing Care Center Buildings which discharge into the courtyard will be directed toward the existing Service Connector, which will accommodate egress to the exterior of the courtyard. Exit signage and emergency lighting will be provided, see electrical drawings.

7.7.2 Not more than 50% of required number of exits shall be permitted to discharge through areas on the level of exit discharge, provided criteria of 7.7.2.3 through 7.7.2.7 are met:
7.7.2.3 Exit discharges lead to free and unobstructed way to the exterior of the building.
7.7.2.4 Level of exit discharge is protected throughout by an automatic sprinkler system.
7.7.2.5 N/A
7.7.2.6 Entire area on level of discharge is separated from areas below by construction having a fire resistance rating not less than that required for the exit enclosure (1hour).
7.7.2.7 N/A
50% of exits discharge through areas on the level of exit discharge, meeting the criteria above.

7.8, 7.9, 7.10 Refer to electrical drawings.

Chapter 8 – Features of Fire Protection

8.3.2.1 Fire-resistive materials, assemblies, and systems used shall be limited to those permitted in the code and this chapter.
Assemblies are per U.L. designs, refer to drawings.

8.3.3.1 Wall openings required to have a fire protection rating by Table 8.3.4.2. shall be protected by approved, listed, labeled fire door assemblies and fire window assemblies...
Fire rated doors and frames to have testing agency labels.

Chapter 9 – Building Service and Fire Protection Equipment

9.2.3 Commercial cooking equipment shall be in accordance with NFPA 96....
Country Kitchen range is residential, see NFPA 96 Determination Form

9.7.1.1 Automatic sprinkler system ....shall be in accordance with one of the following: NFPA 13, 13R, 13D.
Provided.

Chapter 32 – Residential Board and Care Facilities

Note: Paragraphs not listed refer to requirements in Chapters 3 through 9, see above.

32..3.1.1.1 Section 32.3, Large Facilities, shall apply to residential board and care occupancies providing sleeping accommodations for more than 16 residents.

32.3.2.5.4 Dead end corridors shall not exceed 30 feet.
Max. dead end corridor is 20' or less.

32.3.2.6 Travel distance to exits....from any point in a room to the nearest exit.....shall not exceed 250 feet.
Max. travel distance is less than 150'.

Table 32.3.3.2.2 Hazardous area protection

The following rooms require a 1 hour separation / protection, or as noted:
Fuel-fired heater rooms
Maintenance shops
Storage rooms between 50 and 100 s.f. – smoke partition
Storage rooms over 100 s.f.
Trash collection rooms
Provided as noted above

32.3.3.3.2 Interior wall and ceiling finishes as follows:

Exit enclosures	Class A
Lobbies and Corridors	Class B
Rooms and enclosed spaces	Class B

32.3.3.3.3.2 Floor finishes in exits and exit access corridors to be Class II min.

32.3.3.5.1 Shall be protected throughout by an approved automatic sprinkler system....
Provided

32..3.3.6.1 Access shall be provided from every resident use area to at least one means of egress that is separated from all sleeping rooms by walls complying with 32.3.3.6.3 through 32.3.3.6.6: shall be smoke partitions; shall be constructed to resist the passage of smoke. Door closing devices shall not be required on doors in corridor wall openings other than those serving required exits, smoke barriers, or enclosures of vertical openings and hazardous areas.
Corridor partitions are 1 hour fire rated

32.3.3.8 Cooking facilities, other than those within individual residential units, shall be protected in accordance with 9.2.3
See 9.2.3 above

PORTLAND MAINE
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Marge S.

Planning and Development Department
Lee D. Urban, Director

Planning Division
Alexander Jaegerman, Director

September 19, 2005

Mr. David Kamila
Land Use Consultants
966 Riverside Street
Portland ME 04103

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
OCT 12 2005
RECEIVED

RE: Cedars Assisted Living Facility Expansion; 630 Ocean Avenue
CBL: 174-A-013, 174-A-014, 170-A-002,
#2004-0078

Dear Mr. Kamila:

On September 13, 2005, the Portland Planning Board voted on the following motions for the Cedars Assisted Living Facility expansion in the vicinity of 630 Ocean Avenue.

1. The Planning Board voted 7-0 that the plan was in conformance with the Conditional Use standards of the Land Use Code.

2. The Planning Board voted 7-0 that the plan was in conformance with the Site Plan Ordinance (including Site Location of Development Law) of the Land Use Code with the following conditions of approval:

   i. The Applicant shall submit documentation from the DEP/ACE approving the Natural Resources Protection Act Permit application for the proposed mitigation plan and that the City Council approves the DEP covenant agreement for the Evergreen Cemetery mitigation.

   ii. The site plan shall meet the requirements stated in Jim Seymour's memo dated September 8, 2005 except paragraph 2A.

   iii. The final condominium documents shall be reviewed and approved by Corporation Counsel.

O:\PLAN\DEVREVW\OCEAN630\9-13-05APPROVALLETTER.DOC

3. The Planning Board voted 7-0 that the plan was in conformance with the Subdivision Ordinance of the Land Use Code with the following conditions of approval:

   i. The Applicant shall submit documentation from the DEP/ACE approving the Natural Resources Protection Act Permit application for the proposed mitigation plan and that the City Council approves the DEP covenant agreement for the Evergreen Cemetery mitigation.

   ii. The plan shall meet the requirement stated in Jim Seymour's memo dated September 8, 2005 except for paragraph 2A.

   iii. That the final condominium documents shall be reviewed and approved by Corporation Counsel.

   iv. That the final plat shall be reviewed and approved by planning staff.

The approved plan includes 30 assisted living units.

The approval is based on the submitted site plan and the findings related to Conditional Use, Site Plan (including Site Location of Development Law) and Subdivision review standards as contained in Planning Report #52-05, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic Autocad files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.

2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Richard Knowland at 874-8725.

Sincerely,

Lee Lowry III, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Richard Knowland, Senior Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division
Michael Bobinsky, Public Works Director
Traffic Division
Eric Labelle, City Engineer
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Greg Cass, Fire Prevention
Assessor's Office
Approval Letter File
Kathryn Callnan, President, The Cedars, 630 Ocean Avenue, Portland ME 04103

MEMORANDUM

Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464
617.969.4774
617.969.4793 Fax
www.tsomides.com

Tsomides
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DATE: May 8, 2007

TO: **Mr. Michael Nugent**
City of Portland
Plan Reviewer

FROM: Tom McBride

RE: The Inn at Cedars Assisted Living Facility

Dear Mr. Nugent:

This is in response to your May 6, 2007 email questions and comments.

1. **Courtyard Egress**
Please see attached plan of the campus showing existing and proposed egress components, **Attachment A**.

Relevant code summary per 2003 IBC:
1023.6 Exit discharge shall provide a direct and unobstructed access to a public way.
Except. Provide safe dispersal area (for existing egresses at Atrium and Cedars Nursing):
- 5 sf per person
- 50 feet min. from building
- Permanently maintained and identified as safe dispersal area
- Safe and unobstructed path of travel from building

Provided per attached plan.

6/22/07

Relevant code summary per 2003 NFPA 101:
7.7.1 Exit Termination
Exits shall terminate directly, at a public way or at an exterior exit discharge, unless otherwise provided in 7.7.1.2 through 7.7.1.4....

7.7.1.3
The requirement of 7.7.1 shall not apply to [rooftop] exit discharge as otherwise provided in 7.7.6.

7.7.6 Discharge to [Roofs]
Where approved by the authority having jurisdiction, exits shall be permitted to discharge to roofs or other section of the building or an adjoining building where the following criteria are met:
1 The roof / ceiling assembly construction has a fire resistance rating not less than that required for the exit enclosure.
2 A continuous and safe means of egress from the [roof] is available.

The proposed condition:
One hour fire resistance rating is provided at existing Service Connector roof / ceiling (between the existing Atrium and Cedars Nursing Care Center);

Existing exit discharges from the adjacent Atrium and Nursing Care Center Buildings which currently discharge into the courtyard will be directed toward this existing Service Connector, which will accommodate egress to the exterior of the

courtyard. Exit signage and emergency lighting will be provided, see architectural and electrical drawings. An additional egress is via the proposed Inn at Cedars corridor, on the east side of the courtyard.

2. **Fire Walls**

705.2 Fire walls shall have sufficient structural stability under fire conditions to allow collapse of construction on either side without collapse of the wall for the duration of time indicated by the required fire-resistance rating.

Please see attached sketch of partition type 19A, for the existing 2 hour fire rated concrete masonry unit fire wall between the Atrium and Cedars, **Attachment B**.

Please see attached revisions to wall sections / details 10/A500 and 10/A501 for description of proposed fire wall complying with provisions of Section 705, **Attachments C1 and C2**. This 2 hour fire rated wall is designed to remain in place if construction on either side collapses.

705.6, Exception 4
In buildings of Type ...V... construction, walls shall be permitted to terminate at the underside of combustible roof sheathing or decks provided:

..no openings in the roof within 4' of the fire wall
...Class B roof covering
...protected with 5/8" type x gypsum board directly beneath the underside of the roof sheathing or deck.....

Walls terminate at underside of sheathing, per the above.

3. **Smoke Dampers**

Section 716.5.4.1, Smoke dampers at ducts penetrating corridor enclosures:
Please see attached May 8, 2007 letter from the project mechanical consulting engineer, **Attachment D**.

Thank you for your attention to this project. Please do not hesitate to call with questions, comments or concerns.

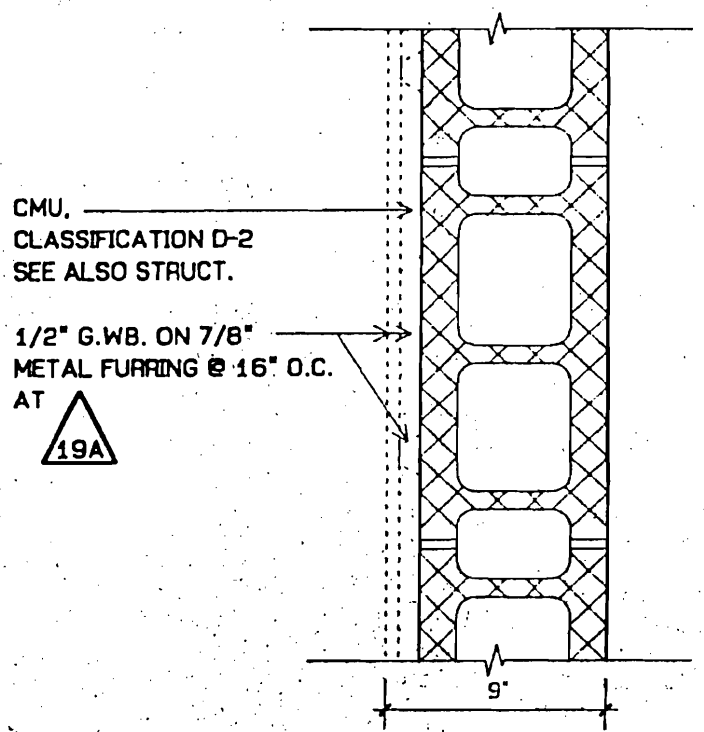
---

cc: with enclosures:
J. Watson, J.H.A. Services, Inc.
T. Yoder, Yoder Inc.
A. Cimino, C.M. Cimino, Inc.
without enclosures:
M. Zade, Zade Company
File

Encl: Attachments A, B, C, and D as listed above

11 SHAFT WALL @ CHASE
TWO HOUR FIRE RATED
U.L. DESIGN #U438
STC = 60

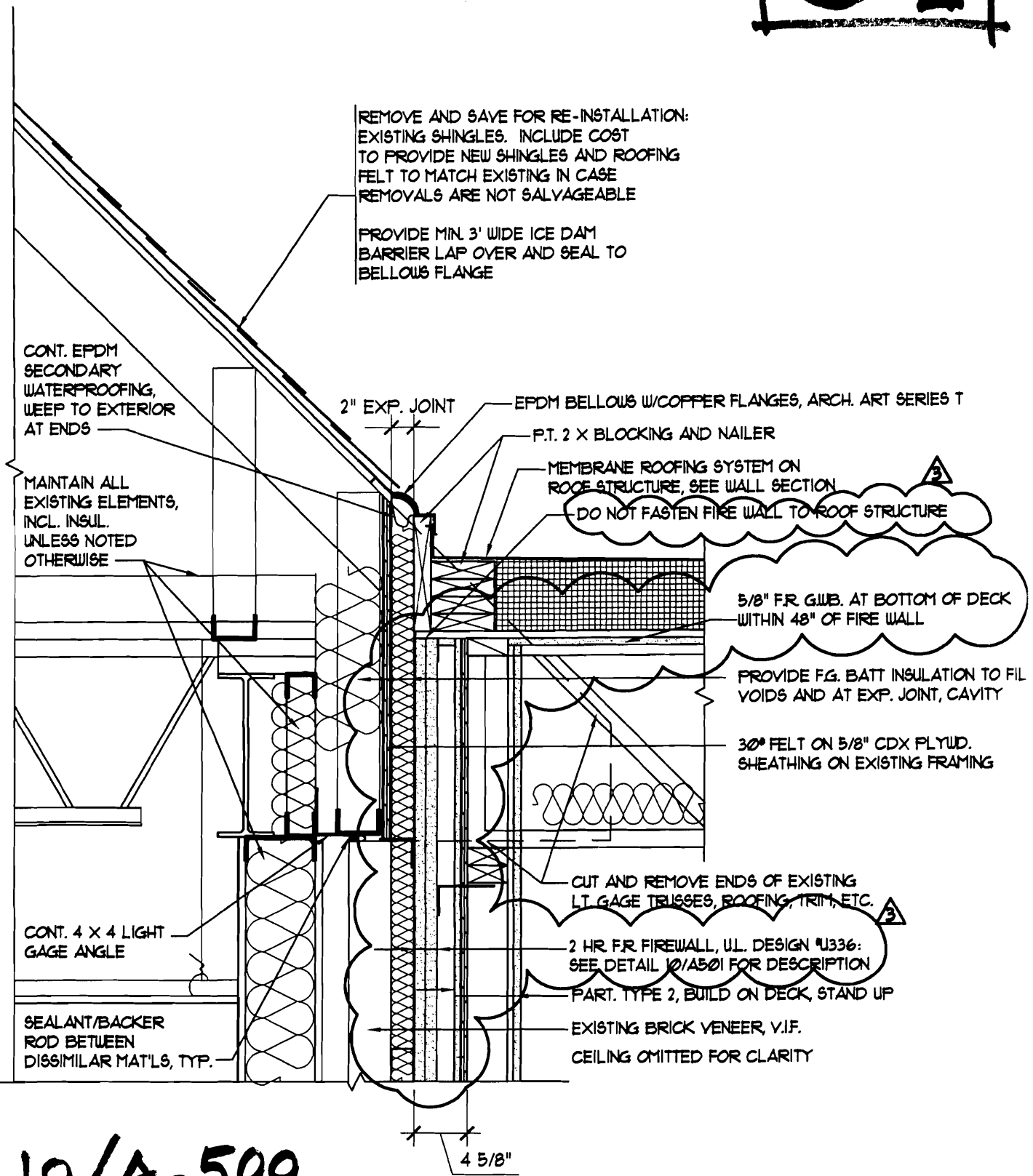
12



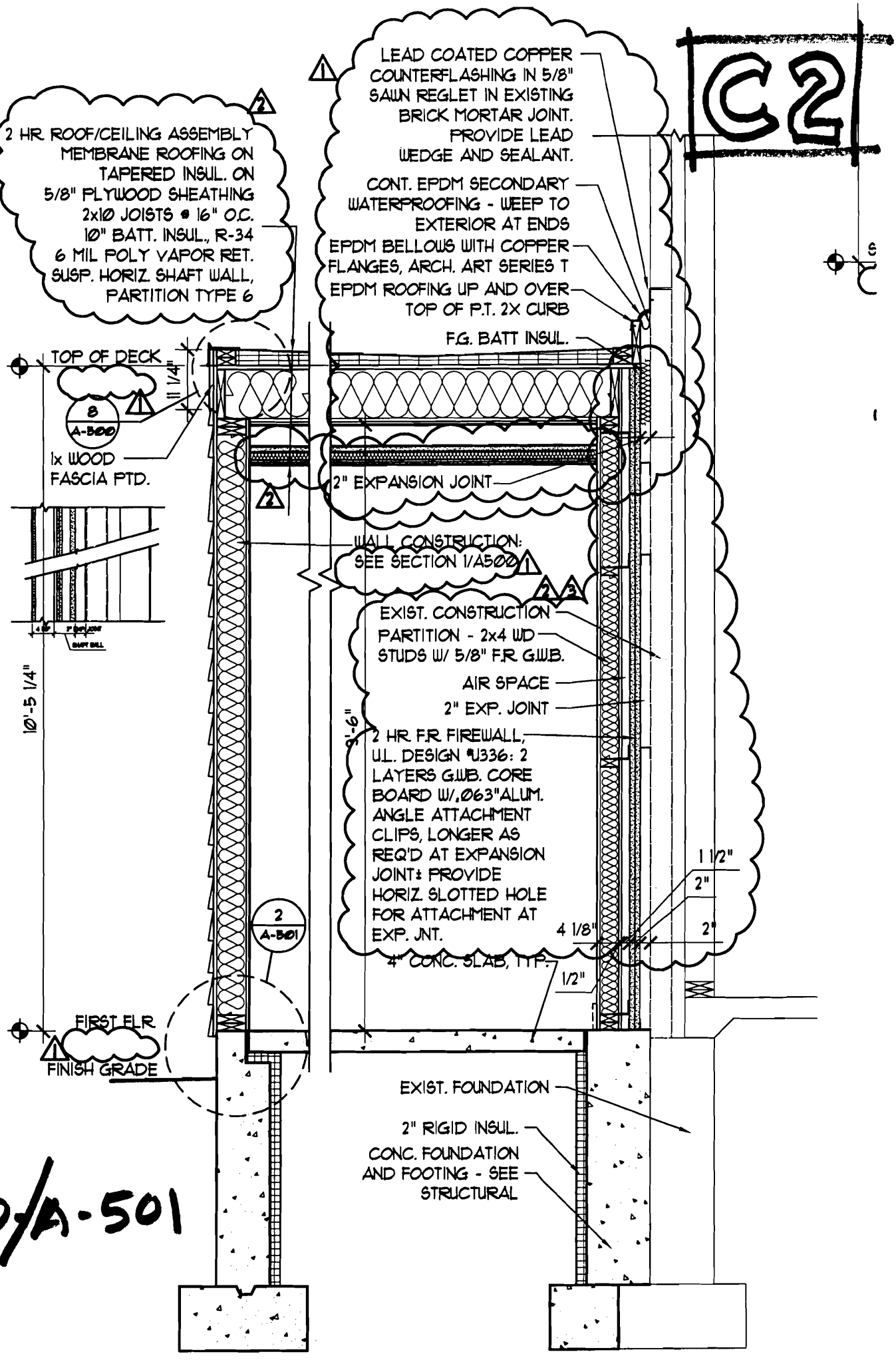
19 CMU WALL
TWO HOUR FIRE RATED
UL DESIGN #U905

19A W/FURRING AND G.W.B.

C1



10/A-500



ZADE

ZADE COMPANY INC.
Consulting Engineers
140 Beach St., Boston, MA 02111
Phone: (617) 338-4406
Fax: (617) 451-2540
Email: ZadeCo@AOL.com

Mohammed Zade Ph.D., P.E.
Mevlut S. Koymen P.E.
Muzaffer Muctehitzade M.Sc., P.E.

Tsomides Associates Inc.
Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464

May 8, 2007

Attention: Mr. Tom McBride

RE: Cedars ALF

Subject: Smoke Dampers

Dear Tom,

In response to your E-mal please note as follows:

The only duct that is connecting the corridors with the rooms is the make up air duct providing ventilation to the rooms. This duct is under positive pressure during normal operations. Therefore, smoke cannot get into the duct. Only, if the unit shuts down, then the smoke can get into the duct.

We suggest using back draft dampers for the ducts supplying air to the fan/coil units. The probability of the smoke entering into the fan coil unit and going backwards through the unit and the back draft damper is very low.

Please let us know if this will be acceptable. Otherwise the wired smoke dampers will burden the project very much.

If you have any questions or require further information, please contact our office.

Sincerely,
ZADE COMPANY, INC.

Mohammed Zade, Ph.D., P.E.
Principal
Smoke dampers

C:\Documents and Settings\Tom McBride\Local Settings\Temporary Internet Files\OLK1E\Cedarssmokedampers.docSmoke Dampers

MEMORANDUM

DATE: May 8, 2007

TO: **Mr. Michael Nugent**
City of Portland
Plan Reviewer

FROM: Tom McBride

RE: The Inn at Cedars Assisted Living Facility

Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464
617.969.4774
617.969.4793 Fax
www.tsomides.com

Tsomides
Associates
Architects
Planners

Dear Mr. Nugent:

This is in response to your May 6, 2007 email questions and comments.

1. **Courtyard Egress**
Please see attached plan of the campus showing existing and proposed egress components, **Attachment A**.

Relevant code summary per 2003 IBC:
1023.6 Exit discharge shall provide a direct and unobstructed access to a public way.
Except. Provide safe dispersal area (for existing egresses at Atrium and Cedars Nursing):
- 5 sf per person
- 50 feet min. from building
- Permanently maintained and identified as safe dispersal area
- Safe and unobstructed path of travel from building

Provided per attached plan.

370242

Relevant code summary per 2003 NFPA 101:
7.7.1 Exit Termination
Exits shall terminate directly, at a public way or at an exterior exit discharge, unless otherwise provided in 7.7.1.2 through 7.7.1.4....

7.7.1.3
The requirement of 7.7.1 shall not apply to [rooftop] exit discharge as otherwise provided in 7.7.6.

7.7.6 Discharge to [Roofs]
Where approved by the authority having jurisdiction, exits shall be permitted to discharge to roofs or other section of the building or an adjoining building where the following criteria are met:
1 The roof / ceiling assembly construction has a fire resistance rating not less than that required for the exit enclosure.
2 A continuous and safe means of egress from the [roof] is available.

The proposed condition:
One hour fire resistance rating is provided at existing Service Connector roof / ceiling (between the existing Atrium and Cedars Nursing Care Center);

Existing exit discharges from the adjacent Atrium and Nursing Care Center Buildings which currently discharge into the courtyard will be directed toward this existing Service Connector, which will accommodate egress to the exterior of the

courtyard. Exit signage and emergency lighting will be provided, see architectural and electrical drawings. An additional egress is via the proposed Inn at Cedars corridor, on the east side of the courtyard.

2. **Fire Walls**

705.2 Fire walls shall have sufficient structural stability under fire conditions to allow collapse of construction on either side without collapse of the wall for the duration of time indicated by the required fire-resistance rating.

Please see attached sketch of partition type 19A, for the existing 2 hour fire rated concrete masonry unit fire wall between the Atrium and Cedars, **Attachment B**.

Please see attached revisions to wall sections / details 10/A500 and 10/A501 for description of proposed fire wall complying with provisions of Section 705, **Attachments C1 and C2**. This 2 hour fire rated wall is designed to remain in place if construction on either side collapses.

705.6, Exception 4
In buildings of Type ...V... construction, walls shall be permitted to terminate at the underside of combustible roof sheathing or decks provided:

..no openings in the roof within 4' of the fire wall
...Class B roof covering
...protected with 5/8" type x gypsum board directly beneath the underside of the roof sheathing or deck.....

Walls terminate at underside of sheathing, per the above.

3. **Smoke Dampers**

Section 716.5.4.1, Smoke dampers at ducts penetrating corridor enclosures:
Please see attached May 8, 2007 letter from the project mechanical consulting engineer, **Attachment D**.

Thank you for your attention to this project. Please do not hesitate to call with questions, comments or concerns.

---

cc: with enclosures:
J. Watson, J.H.A. Services, Inc.
T. Yoder, Yoder Inc.
A. Cimino, C.M. Cimino, Inc.
without enclosures:
M. Zade, Zade Company
File

Encl: Attachments A, B, C, and D as listed above

Applicant: JHA Services Date: 9/12/05

Address: 630 Ocean Ave Cedars C-B-L: 174-A-013 +

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing Establishment #07-0242

Zone Location - R-3 prime - R-5 in 100' strip along Rd

Interior or corner lot -

Proposed Use/Work - New Assisted Living Project Not a PRUD of 30 Addition units of 60 Beds

Sewage Disposal - City

Lot Street Frontage - 50' ± 425' ± Shown

Front Yard - 25' - 238' Scaled

Rear Yard - 25' - 326'

Side Yard - 16' - 269' & 187'

Projections -

Width of Lot - 65' - ± 586' Scaled

~~No bldg elevations~~ → Height - 35' MAX - 28'6" to ridge is shown

Lot Area - 10.57 Acres shown per Assessors 272,300 / 166,800 / 439,100 ±

Lot Coverage/Impervious Surface - 35% allowed

Area per Family - N/A

Off-street Parking - see other side for Breakdown - 149 pkg spaces req - 171 pk spcs counted stay 188 -

Loading Bays - 2 required - (1) Ambulance/Emergency & (1) Service/supply vehicle Both Shown

Site Plan - major 2004-0078

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 7 - Zone X

working w/ Wetland mitigation; DEP AT Evergreen Cemetary to this project

to PB

Conditional use for Long-term & Extended Care Facilities

Also Subdivision - 1 lot with 3 condo parcels

MEMORANDUM

Echo Bridge Office Park
389 Elliot Street
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617.969.4774
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www.tsomides.com

Tsomides
Associates
Architects
Planners

DATE: April 11, 2007

TO: **Mr. Michael Nugent**
City of Portland
Plan Reviewer

FROM: Tom McBride

RE: The Inn at Cedars Assisted Living Facility

Dear Mr. Nugent:

This is in response to your April 2, 2007 email questions and comments. Using your numbering, and referring to the 2003 IBC unless noted otherwise:

1. For The **Seismic Quality Assurance Plan**, please see attached documents, **Attachment A**:

   The Program of Structural Tests and Inspections, prepared by Foley Buhl Roberts & Associates, Inc., Dated Feb. 16, 2007, 8 pages
   Letter from Zade Co., April 9, 2007, 1 page regarding Seismic Bracing (Mechanical Components)
   Contractor's Statement of Responsibility, C.M. Cimino, April 11, 2007, 2 pages

2. **Egress to a public way**
   Please note the following per 2003 IBC:

   1023.6 Exit discharge shall provide a direct and unobstructed access to a public way.
   Except. Provide safe dispersal area (for existing egresses at Atrium and Cedars Nursing):
   5 sf per person
   50 feet min. from building
   Permanently maintained and identified as safe dispersal area
   Safe and unobstructed path of travel from building
   Please see attached sketches, **Attachment B:** Campus Egress Plan and Courtyard Egress Plan, 4-11-2007, 2 pages for demonstration of compliance with provisions of the above exception.

   Please note the following per 2003 NFPA 101:

   7.7.1 Exit Termination
   Exits shall terminate directly, at a public way or at an exterior exit discharge, unless otherwise provided in 7.7.1.2 through 7.7.1.4....

   7.7.1.3
   The requirement of 7.7.1 shall not apply to [rooftop] exit discharge as otherwise provided in 7.7.6.

   7.7.6 Discharge to [Roofs]
   Where approved by the authority having jurisdiction, exits shall be permitted to discharge to roofs or other section of the building or an adjoining building where the following criteria are met:

1 The roof / ceiling assembly construction has a fire resistance rating not less than that required for the exit enclosure.
2 A continuous and safe means of egress from the [roof] is available.

The proposed condition:
One hour fire resistance rating is provided at existing Service Connector (between the existing Atrium and Cedars Nursing Care Center) roof / ceiling;

Existing exit discharges from the adjacent Atrium and Nursing Care Center Buildings which currently discharge into the courtyard will be directed toward this existing Service Connector, which will accommodate egress to the exterior of the courtyard. Exit signage and emergency lighting will be provided, see architectural and electrical drawings.
See Attachment B.

Please see attached State Fire Marshal Construction permit, **Attachment C,** 3-27-07, 1 page.

3. **Section 503 compliance**, allowable heights and areas
Please note the following revision to height and area calculations:

Allowable Heights and Building Areas

Table 503	I-1	3 story 50', 10,500 s.f. per floor tabular height and area allowable
Height Mod.	N/A	
Area Mod.	Frontage Increase, see attached plan and calculations dated 4-3-07, **Attachment D,** 1 page	
506.2	26.9% x 10,500 = 2,824	
	2,824 + 10,500 = **13,324 s.f. / floor allowable with modification**	
	2 story 30' (future 3 story, 42') height provided	
	12,383 s.f. max. floor area provided	

4. Section 716.5.4.1, **Smoke dampers at ducts penetrating corridor enclosures:**
Our review of this section indicates that it requires smoke dampers at each point a duct or air transfer opening penetrates a corridor enclosure required to have smoke and draft control doors....

Per Sections 407 and 408, Occupancies I-2 and I-3 require smoke barriers. This I-1 occupancy does not utilize smoke barriers; therefore, smoke dampers are not required.

5, 6. Please see attached **glazing and door / frame product literature**, **Attachment E,** 4 pages, and 9 pages, respectively, for demonstration of compliance with Sections 715.4 and 715.3.

Please do not hesitate to call with questions, comments or concerns.

---

cc: J. Watson, J.H.A. Services, Inc.
T. Yoder, Yoder Inc.
A. Cimino, C.M. Cimino, Inc.
M. Zade, Zade Company
File

Encl: Attachments A, B, C, D, E, as listed above

ATTACHMENT A
TAAP

Project	The Inn at Cedars (H.U.D. Project 024- 43094)	
Location	649 Ocean Ave., Portland, ME	
Owner	JHA Services, Inc.	
Owner's Address	649 Ocean Avenue Portland, ME 04112	Tel - 207-772-5456 Fax - 207-772-6038
Architect of Record	Constantine Tsomides Tsomides Associates 389 Elliot Street Newton Upper Falls, MA 02464	Tel - 617-969-4774 Fax - 617-969-4793
Structural Engineer of Record (SER)	Jonathan D. Buhl, P.E. Foley Buhl Roberts & Associates, Inc. 2150 Washington Street Newton, MA 02462	Tel - 617-527-9600 Fax - 617-527-9606
Testing Agency (TA) (Special Inspector)	To Be Determined	Tel - xxx-xxx-xxxx Fax - xxx-xxx-xxxx
Geotechnical Engineer (GE)	James Weaver, P.E. Haley & Aldrich, Inc. 75 Washington Ave., Suite 203 Portland, ME 04101-2617	Tel - 207-482-4600 Fax - 207-775-7666

This program of structural tests and inspections is submitted as a condition for issuance of a building permit in accordance with the 2003 International Building Code.

The firms, agencies, or individuals noted above (hereafter referred to collectively as agents) will perform the structural tests and inspections under the direction of the SER.

The complete set of Contract Documents (Drawings and Specifications) that accompany the application for building permit is to be considered attached to this program as reference material.

This program does not relieve the Contractor of their responsibility to conduct the work in accordance with the requirements of the Construction Documents, the approved Shop Drawings and the 2003 International Building Code.

The Inn at Cedars
Program of Structural Tests and Special Inspections
Foley Buhl Roberts & Associates, Inc.

Construction Categories: The following construction categories, if checked, are included in the program of structural tests and inspections for this project. Specific tests and inspections required for each designated category are listed on the page noted opposite the category.

	Construction Category	Page
☒	Earthwork	3
☒	In-situ Bearing Strata	3
☒	Controlled Fill	3
☐	Underpinning	
☐	Excavation support	
☐	Drilled Pier Foundations	
☒	Cast-In-Place Concrete	4
☐	Post-Tensioned Concrete	
☐		

	Construction Category	Page
☐	Structural Precast Concrete	
☒	Masonry	5-6
☒	Structural Steel	7
☒	Steel Joists	7
☒	Steel Deck	7
☐	Shear Connectors	
☒	Wood Framed Construction	8
☒	Prefabricated Wood Trusses	8

Performance Specifications: The following construction components, if checked, are designated in the Contract Documents on the basis of a performance specification to be designed by the Contractor or Subcontractor's registered professional engineer. The design of these structural elements or systems will be reviewed by the SER and their construction is included in the program for structural tests and inspections.

	Construction Component	Page
☐	Structural Precast Components	
☐	Post-Tensioning Steel	
☒	Structural Steel Connections	7
☐	Metal Buildings	
☐	Glue-Laminated Wood Construction	
☐	Cold-Formed Metal Framing	
☐	Steel Stairs & Handrails/Guardrails	
☐	Skylights	
☒	Metal Plate Connected Wood Trusses	8

Reports: Test and inspection reports prepared by the SER, TA, and GE will be collected and maintained by the SER and distributed, according to the procedures established by the Building Official. Prior to the issuance of a certificate of occupancy the SER will submit a final report to the Architect, to be forwarded to the Owner and Building Official in accordance with the 2003 International Building Code.

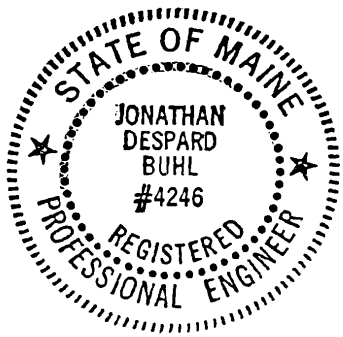
Prepared by the Structural Engineer of Record:

Name: Jonathan D. Buhl, P.E.
P.E. # 4246 (Structural)

Signature:

Firm: Foley Buhl Roberts & Associates, Inc.

Date: February 16, 2007



Excavation, Backfill, and Compaction (Section 02220)

Item	Agent	Scope
1. Excavation	GE	Inspect existing sub-soils and groundwater conditions during building excavation.
2. Bearing Strata	GE	Inspect the in-situ bearing strata and compacted structural fill bearing strata for footings and slabs cast on grade for conformance with the Geotechnical Report, Spec. Section 02220 and Contract Documents.
3. Structural Fill	TA	Inspect and test compacted structural fill for conformance with the Geotechnical Report, Spec. Section 02220 and Contract Documents.

Cast-in-Place Concrete Construction (Section 03300)

Item	Agent	Scope
1. Mix Design	SER	Review mix design for each required strength of concrete for conformance with Spec. Section 03300 and Contract Documents.
2. Materials Certification	SER, TA	Review for conformance with Spec. Section 03300 and Contract Documents.
3. Batching Plant	TA	Review methods for batching and mixing, and quality control procedures at the batching plant. Conduct one (1) initial visit to the batching plant at the start of production and at least one (1) additional visit during the production period. Additional visits to the batching plant may be requested by the SER, if necessary.
4. Reinforcement Installation	TA	Inspect all reinforcement for grade, size, quantity, spacing, condition, cover and placement, for conformance with the approved Shop Drawings and Contract Documents.
5. Formwork	TA	Inspect for general configuration, cleanliness, and cover to reinforcement.
6. Concrete Placement	TA SER	Observe concrete placement operations. Verify conformance with Spec. Section 03300, including cold weather and hot weather placement procedures. Review cold weather and hot weather placement procedures submitted by the Contractor.
7. Testing and Evaluation of Concrete Strength	TA SER	Sample and test concrete, in accordance with Spec. Section 03300 and Contract Documents. Review test results for concrete.
8. Curing and Protection	TA	Observe curing procedures and protection of concrete from high/low temperatures and rapid loss of moisture. Verify conformance with Spec. Section 03300 and Contract Documents.

Masonry Construction (04200)

Item	Agent	Scope
1. Review of Tests Submitted By Contractor for Masonry Units/Masonry Assemblages	SER	Review tests submitted by Contractor covering each class of masonry unit and type of masonry assemblage, including of mortar, grout, and prism tests. Verify conformance with Spec. Section 04200 and Contract Documents.
2. Materials Certification	SER, TA	Review concrete masonry units, masonry veneers, precast concrete units, mortar and grout materials to be used in the masonry construction for conformance with Spec. Section 04200 and Contract Documents.
3. Testing & Evaluation of Mortar & Grout Strength	TA SER	Sample and test mortar and grout used in field for masonry construction for conformance with Spec. Section 04200, and Contract Documents. Review test results for mortar and grout.
4. Proportioning, Mixing, and Consistency of Mortar & Grout	TA	Observe field procedures for proportioning and mixing of the mortar and grout to be used in the masonry construction.
5. Masonry Installation	TA	Inspect and report on installation of masonry units for general configuration and placement.
6. Anchorage	TA	Inspect type, spacing, and placement of masonry anchors and ties for conformance with Spec. Section 04200 and Contract Documents.
7. Reinforcement Installation	TA	Inspect reinforcement for grade, size, quantity, spacing, condition, cover, and placement, for conformance with the approved Shop Drawings and Contract Documents.
8. Grouting Operations	TA	Inspect cells of masonry units for cleanliness prior to grouting. Observe partial/full grouting procedures for conformance with Spec. Section 04200, and Contract Documents.

Masonry Construction (04200) (continued)

9. Weather Protection	TA	Observe protection of masonry against cold and hot weather. Verify conformance with Spec. Section 04200 and Contract Documents.
10. Anchorage of Exterior Wall Masonry Veneer	TA	Inspect type, size, spacing, and placement of approved anchorage to adjacent back-up framing for conformance with Spec. Section 04200 and Contract Documents.

Structural Steel/Steel Joist/Steel Deck Construction (Sections 05120, 05210 and 05300)

Item	Agent	Scope
1. Fabricator Certification/ Quality Control Procedures	TA	Review and observe each Fabricator's detailed fabrication and quality control procedures for material, bolting, welding, surface preparation, and shop painting. If applicable, review reports by fabricator's approved independent inspection or quality control agency.
2. Shop Fabricated Members	TA	Inspect a representative number of shop fabricated members for conformance with Spec. Section 05120, Section 05210, the approved Shop Drawings and Contract Documents.
3. Material Certification	SER, TA	Review for conformance with Spec. Sections 05120, 05210, 05300 and Contract Documents.
4. Field Bolting	TA	Inspect and test field bolted connections for conformance with Spec. Section 05120, the approved Shop Drawings and Contract Documents. Review grade and size of bolts, and installation of torsion-controlled bolts.
5. Field Welding	TA	Inspect and test field welded connections for conformance with Spec. Section 05120, Section 05210, approved Shop Drawings and Contract Documents. Check welder qualifications. Visually check fillet welds and test partial/full penetration welds using applicable non-destructive methods.
6. Structural framing, Details and Assemblies	TA	Inspect grade of steel, size, placement, bridging and connection details for conformance with Spec. Section 05120, Section 05210, the approved Shop Drawings and Contract Documents.
7. Steel Deck	TA	Inspect steel deck type, gage, depth, width, and placement for conformance with Spec. Section 05300, the approved Shop Drawings and Contract Documents. Check welder qualifications. Visually check deck placement, laps, all welds to supports and longitudinal edges, all sidelap attachments, screws or other mechanical fasteners.

Rough Carpentry and Prefabricated Wood Truss Construction (Sections 06100 and 06190)

Item	Agent	Scope
1. Metal Plate Connected Wood Truss and Connection Design	SER	Review supplier's design of metal plate connected wood roof trusses, connections, ties and anchors for compliance with Spec. Section 06190, and Contract Documents.
2. Material Certification	SER, TA	Review materials used; including wood grade and species, plywood type and classification, metal connectors, etc., for conformance with Spec. Sections 06100, 06190, and Contract Documents.
3. Wood Framed Construction	TA	Inspect all wood framed construction; including metal plate connected wood roof trusses, blocking, bracing, bridging, sheathing, framing, nailing and metal connectors for conformance with Specification Sections 06100, 06190, the approved Shop Drawings and Contract Documents.

ZADE

ZADE COMPANY INC.
Consulting Engineers
140 Beach St., Boston, MA 02111
Phone: (617) 338-4406
Fax: (617) 451-2540
Email: ZadeCo@AOL.com

Mohammed Zade Ph.D., P.E.
Mevlut S. Koymen P.E.
Muzaffer Muctehitzade M.Sc., P.E.

Tsomides Associates Inc.
Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464

April 9, 2007

Attention: Mr. Tom McBride

RE: Cedars ALF

Subject: Seismic Bracing

Dear Tom,

The IBC-2003, 1705.1.1and2, requires that only the HVAC systems carrying hazardous materials and piping system that carries flammable materials are required to be seismically restrained.

Therefore, in this project only the gas piping will be seismically restrained. We will observe the installation and make sure that the gas mains are seismically restrained at the end of the runs and at the equipment connections.

The sprinkler piping will be installed per NFPA-13 and seismically restrained per NFPA-13 requirements. We will review the shop drawings for compliance.
If you have any questions or require further information, please contact our office.

Sincerely,
ZADE COMPANY, INC.

Mohammed Zade, Ph.D., P.E.
Principal

C:\Documents and Settings\Tom McBride\Local Settings\Temporary Internet Files\OLK1E\Cedarsseismic.doc

C.M.CIMINO INC.

3 WARREN AVE.
WESTBROOK, ME
04092

April 11, 2007

City of Portland
Building Inspections Division
389 Congress Street
Portland, Maine 04101

COMMERCIAL &
INDUSTRIAL
CONSTRUCTION

Attn: Building Inspections

Re: Contractor's Responsibility Statement relative to construction of a seismic- force - resisting system.
The Inn at Cedars ALF
630 Ocean Avenue
Portland, Maine 04103

CARLO M. CIMINO
PRESIDENT

Gentlemen:

C.M. Cimino Inc. will serve as the General Contractor for the above referenced project. As required by the 2003 International Building code, we are required to provide you with a contractor's statement relative to construction of a seismic – force –resisting system. Responses to the four questions outline in section 1705.3 of the code are below:

1.) C.M. Cimino Inc. acknowledges the special requirements set forth in the Quality Assurance Plan which consists of the Program of Structural Tests and Special Inspections, dated February 16, 2007, prepared by Foley Buhl Roberts & Associates, Inc. and the letter from Zade Company Inc., dated April 9, 2007.

2.) C.M. Cimino Inc. acknowledges that it will build the project in conformance with the plans and specifications, dated 11/22/06, provided by Tsomides Associates. These plans have also been provided to the City of Portland, for review, in the application process for the building permit.

3.) Daily field reports will be kept by the on site superintendent. The reports will contain such information as weather, who is on site, the type of work taking place, where on site the work is taking place, tests taken on that work, references to RFI's sent to the architect. The method and frequency of the tests and inspections is outlined in the documents which comprise the Quality Assurance Plan. The test reports will be sent to the Architect and Engineer. All work that does not pass the scheduled tests and inspections and is not in conformance with the plans and

TEL (207) 854-8876
FAX (207) 856-2254

specifications will be removed and replaced. Testing will be performed by a reputable Testing Company.

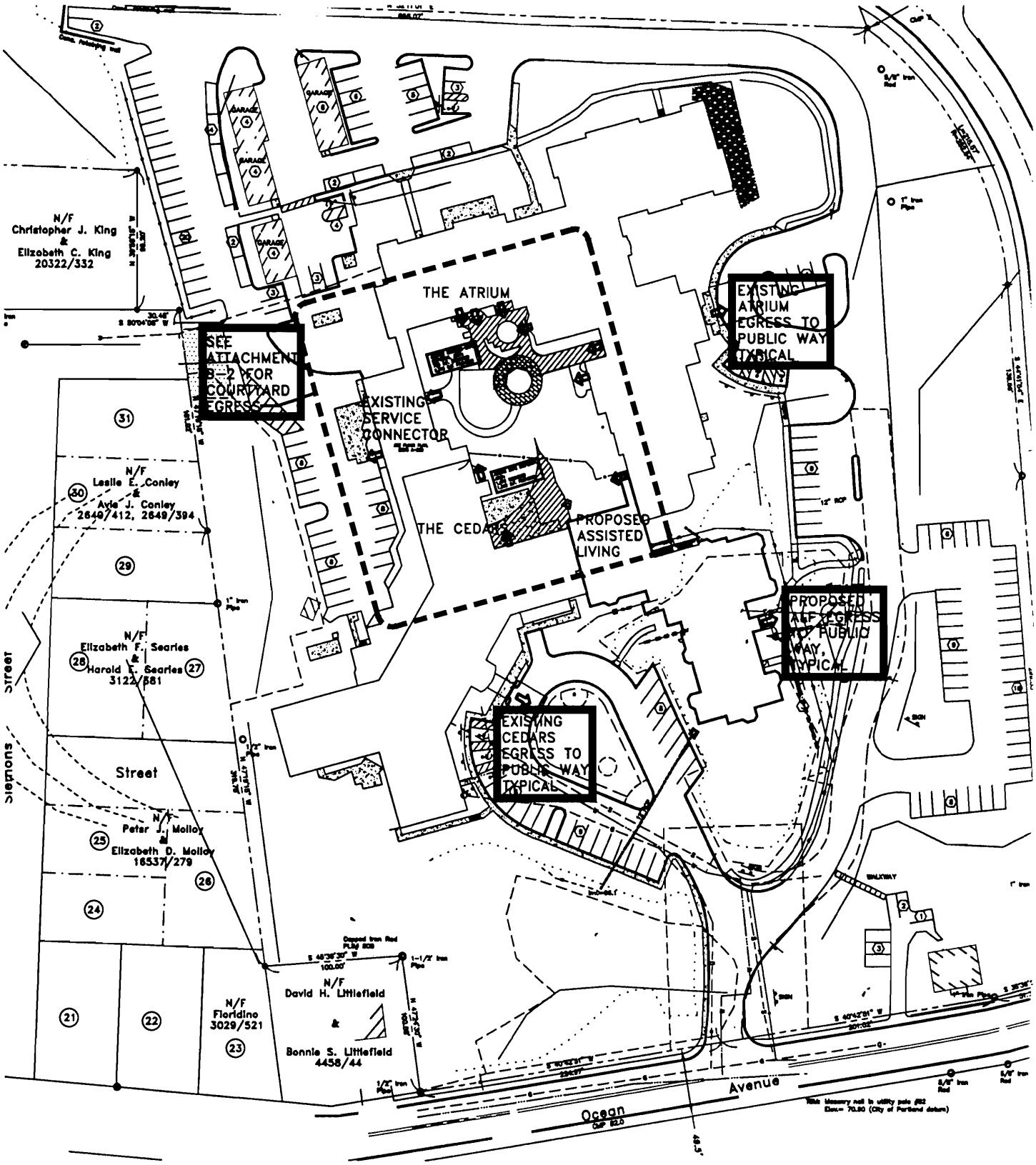
4.) Anthony Cimino – Project Manager – Bachelor of Science in Civil Engineering from the University of Maine, President and Owner of C.M. Cimino Inc.
Michael Cimino – Superintendent – Vice President and Owner of C.M. Cimino Inc.

If you have any further questions, please do not hesitate to contact me.

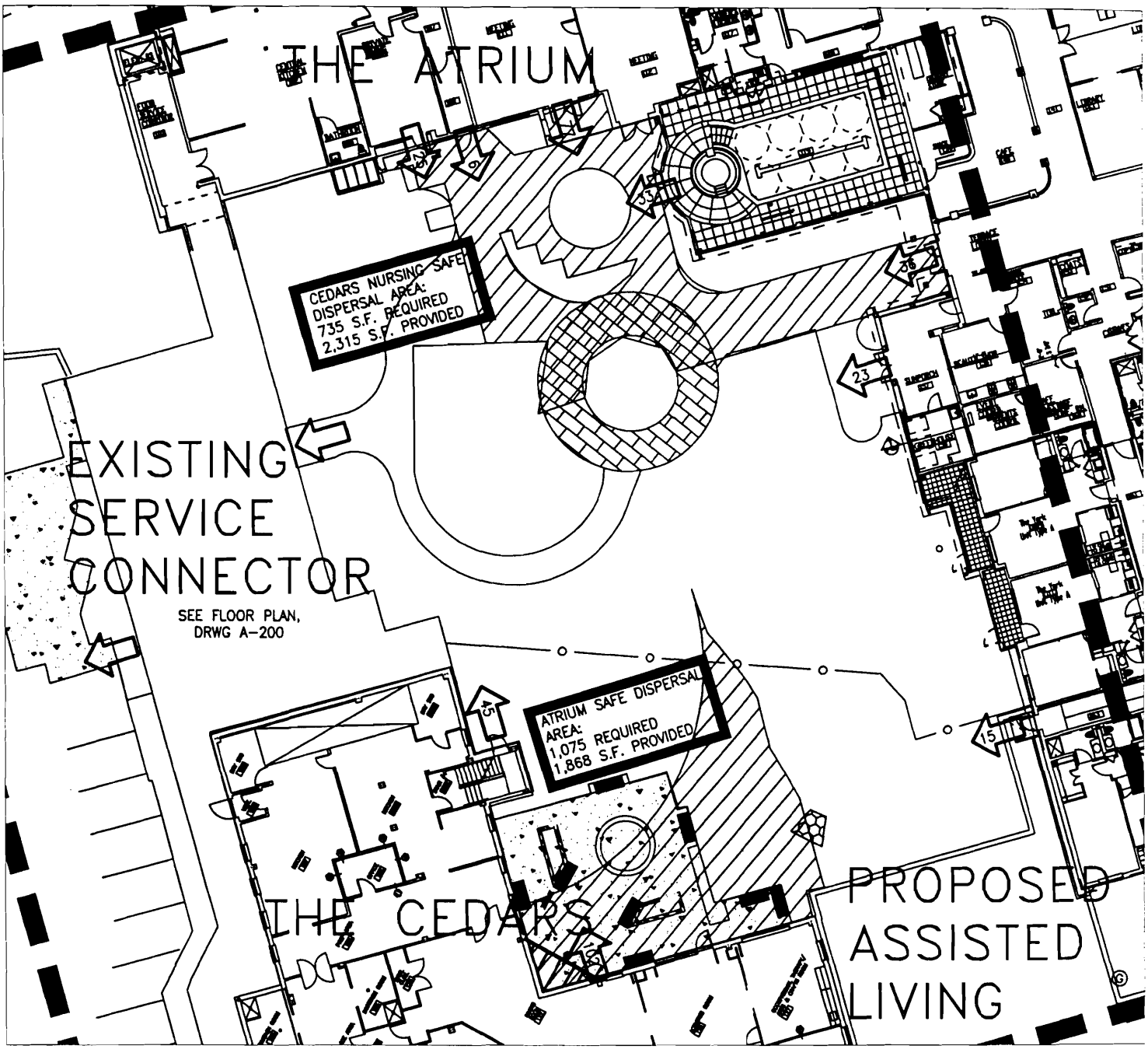
Respectfully,

Anthony J. Cimino

Anthony J. Cimino, President
C.M. CIMINO INC.



TITLE: Campus Egress Plan		Ref. Drwg. Survey
THE INN AT CEDARS PORTLAND, ME	DATE: 04/11/2007 SCALE: 1" = 100' DRAWING #: ATTACHMENT B-1	TSOMIDES ASSOCIATES Architects/Planners 389 Elliot St. Newton Upper Falls, MA 02464 (617)969-4774 (617)969-4793 Fax



TITLE: Courtyard Egress Plan		Ref. Drwg. Survey
CEDARS A.L.F. PORTLAND, ME	DATE: 04/11/2007 SCALE: 1" = 30' DRAWING #: ATTACHMENT B-2	TSOMIDES ASSOCIATES Architects/Planners 389 Elliot St. Newton Upper Falls, MA 02464 (617)969-4774 (617)969-4793 Fax

State of Maine
Department of Public Safety
Construction Permit

Reviewed for Barrier Free

= 16588

Sprinkled
Sprinkler Supervised

APR - 2 2007

INN AT CEDARS, THE
Located at: 640 OCEAN AVE.
PORTLAND
Occupancy/Use: APARTMENTS/CONGREGATE HOUSING

Permission is hereby given to:

J.H.A. ASSISTED LIVING, INC.

640 OCEAN AVE.
PORTLAND, ME 04112

to construct or alter the afore referenced building according to the plans hitherto filed with the Commisioner and now approved. No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed available at the site of construction.

This permit will expire at midnight on the 26 th of September 2007

Dated the 27 th day of March A.D. 2007

H. [illegible]
Commissioner

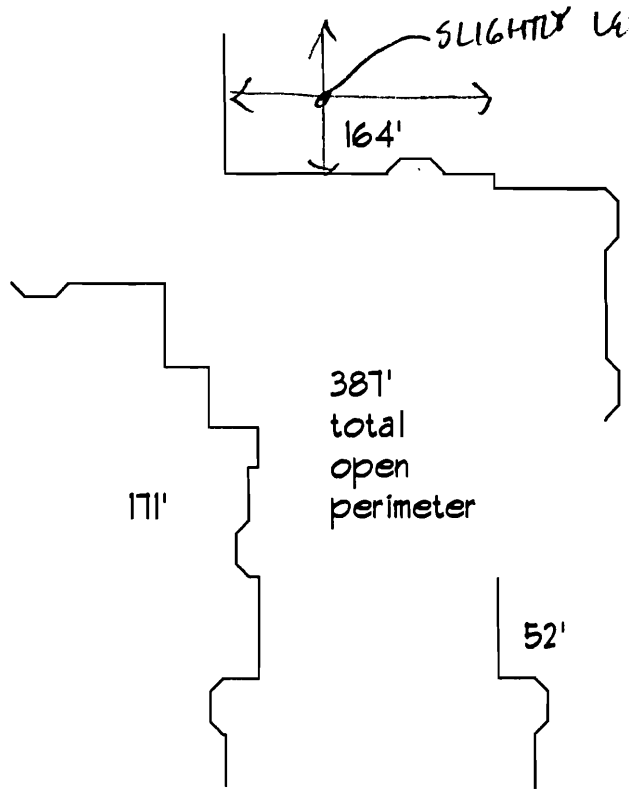
Copy-1 Owner

Comments:

ATTACHMENT C

J.H.A. ASSISTED LIVING, INC.

640 OCEAN AVE.
PORTLAND, ME 04112

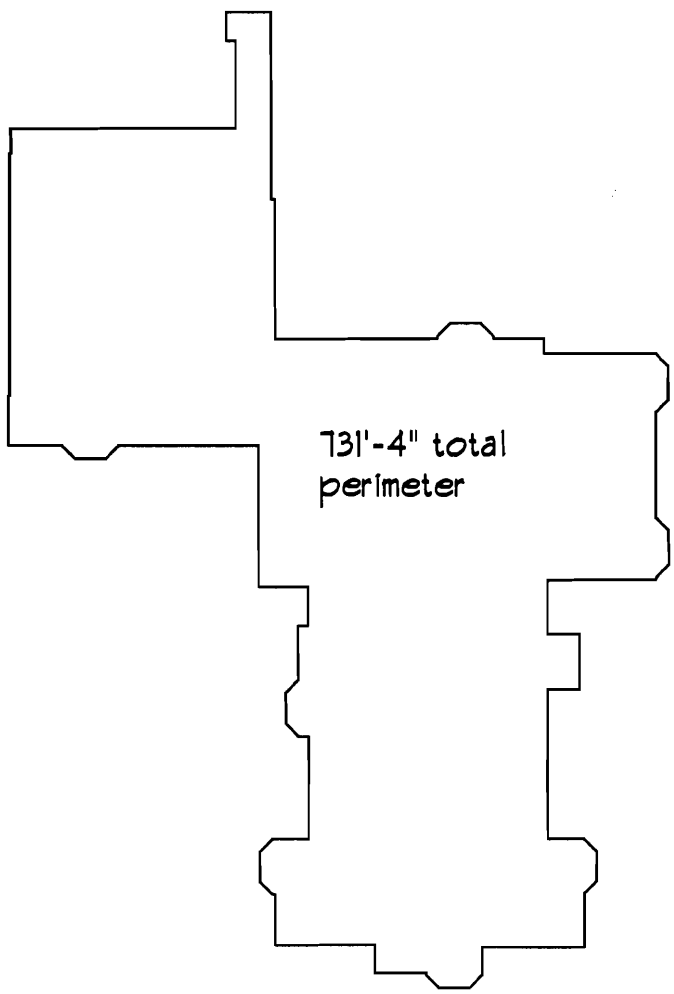


IF 387' TOTAL
324 > 30'
63 = 28'-8
AVG = 30-1.074
= 28.92'

$$I_f = 100\left[\frac{F}{P} - .25\right]\frac{W}{30}$$

$$= 100\left[\frac{387}{731} - .25\right]\frac{28.92}{30}$$

$I_f = 26.9\%$



ATTACHMENT D

TAAP N.T.S.

4-3-07

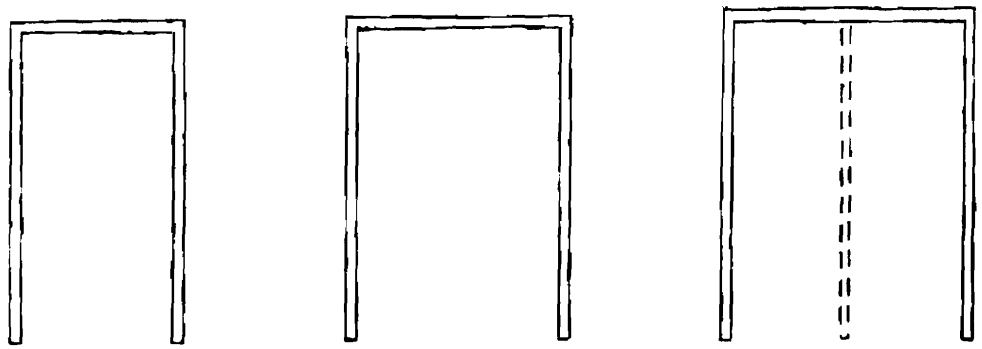
THE INN AT CEDARS

PORTLAND, ME

ATTACHMENT E -DOORS/FRAMES
TAAP 4-11-07

FIRE RATED THREE SIDED FRAMES

Typical Elevations



FIRE RATED THREE SIDED FRAME:

The three sided frames covered in this section have been tested in accordance with UBC 7-2 1997 and UL 10C, NFPA25-1999 and listed by either Underwriters Laboratories Incorporated (UL) or Warnock Hersey (WH). The ratings and sizes available are shown on the following pages.

Three sided frames are designed to be set on the floor and anchored to the wall construction. All frame anchoring must be in accordance with the installation instructions for the appropriate frame construction.

THREE SIDED FRAMES:

Labeled three (3) sided frames are available in the following configurations:

- **Single opening** – hinge jamb, strike jamb and header.
- **Double opening** – two hinge jambs and a head. Commonly refered to as pairs swinging in the same direction.
- **Double swing with a mullion** – two hinge jambs, a head and a mullion (stationary or removable). This opening configuration is actually considered as two single door openings.
- **Double egress** – unique contoured frame (profiles) with two hinge jambs and a head. This opening configuration is used in corridor applications. Pair of doors with each swinging in the opposite direction.
- **Dutch doors** – hinge jamb, strike jamb and header, used in storeroom applications.
- **Multiple opening** – a unique application having a combination of hinge and/or strike jambs, vertical mullions and header.

APPROVED FRAME SERIES:

Frames covered in this section are F, FN, DW, K and MU. Regardless of the frame series being used, all frames must be installed into a fire rated wall.

LISTING INFORMATION COVERED:

All listings covered in this section are for reference and assistance in developing overall parameters of approvals. Several variables such as hardware, wall construction and application will effect the fire ratings. Individual manufacturer's listings will take precedance.

All listings shown in this section conform to the requirements of UBC 7-2 1997 and UL 10C & NFPA252-1999.

INSTALLATION:

Installation of all Steelcraft framing systems shall conform to the published Steelcraft installation instructions, SDI 105 *Recommended Installation Instructions for Steel Frames* and ANSI/DHI A115-IG *Installation Guide for Doors and Hardware*. All fire rated frames must be installed in accordance with NFPA Pamphlet 80, and/or the *local Authority Having Jurisdiction*.

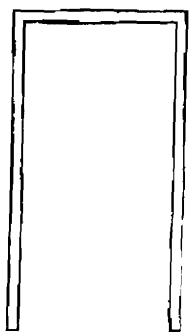
THREE SIDED FRAMES FOR SINGLE DOOR

Frame					Wall Application	Listings		
Series	Jamb Depths		Corner			Max. Frame Rating	Maximum Sizes (door opening)	
	Min.	Max	KD	SUA			UL	WH
F12	4¾	14		X	Masonry	3 hour	4'0" x 10'0"	4'0" x 10'0"
F12	4¾	14		X	Stud wall	3 hour	4'0" x 8'0"	Not listed
F12	4¾	14		X	Masonry or stud wall	1½ hour	4'0" x 10'0" [4] 4'0" x 9'0" [3]	4'0" x 10'0" [4] 4'0" x 9'0" [3]
F16, F14	3	14	X	X	Masonry	3 hour	4'0" x 10'0"	4'0" x 10'0"
F16, F14	3	14	X	X	Stud wall	3 hour	4'0" x 8'0"	Not listed
F16, F14	3	14	X	X	Masonry or stud wall	1½ hour	4'0" x 10'0" [4] 4'0" x 9'0" [3]	4'0" x 10'0" [4] 4'0" x 9'0" [3]
FN16, FN14	4¾	12¾	X	X	Masonry	3 hour	4'0" x 10'0"	4'0" x 10'0"
FN16, FN14	4¾	12¾	X	X	Masonry or stud wall	1½ hour	4'0" x 10'0" [4]	4'0" x 10'0" [4]
MU16	3¼	14		X	Masonry	3 hour	4'0" x 10'0"	4'0" x 10'0"
MU16	3¼	14		X	Masonry or stud wall	1½ hour	4'0" x 10'0" [4] 4'0" x 9'0" [3]	4'0" x 10'0" [4] 4'0" x 9'0" [3]
MU16	3¼	14		X	Stud wall	3 hour	4'0" x 8'0"	Not listed
MU16	3¼	14	X	X	Masonry or stud wall	1½ hour	4'0" x 9'0"	4'0" x 8'10"
DW16, K16	3¼	9	X		Stud wall	1½ hour	4'0" x 9'0"	4'0" x 8'10"

3 SIDED FRAMES

NOTES: Three sided frame options for single doors:

1. **Hospital stops** – 6" maximum (152mm) high, double rabbeted frames only.
2. **Communicating frames** – all ratings are available.
3. 4'0" x 9'0" maximum when wood or steel stud anchors are shipped loose.
4. 4'0" x 10'0" maximum with welded in wood or steel stud anchors



Minimum hardware requirements:

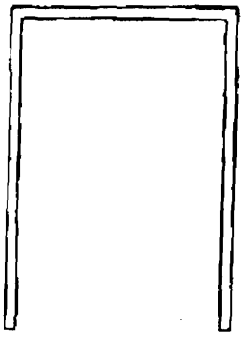
- Strike for single point latch
- Closer
- Approved hinges

THREE SIDED FRAMES FOR DOUBLE DOORS

Frame					Wall Application	Listings		
Series	Jamb Depths		Corner			Max. Frame Rating	Maximum Sizes (door opening)	
	Min.	Max	KD	SUA			UL	WH
F12	4¾	14		X	Masonry	3 hour	8'0" x 10'0"	8'0" x 10'0"
F12	4¾	14		X	Stud wall	3 hour	8'0" x 8'0"	Not listed
F12	4¾	14		X	Masonry or stud wall	1½ hour	8'0" x 10'0" [4]	8'0" x 10'0"
							8'0" x 9'0" [3]	8'0" x 9'0"
F16, F14	3	14	X	X	Masonry	3 hour	8'0" x 10'0"	8'0" x 10'0"
F16, F14	3	14	X	X	Stud wall	3 hour	8'0" x 8'0"	Not listed
F16, F14	3	14	X	X	Masonry or stud wall	1½ hour	8'0" x 10'0" [4]	8'0" x 10'0" [4]
							8'0" x 9'0" [3]	8'0" x 9'0" [3]
FN16, FN14	4¾	12¾	X	X	Masonry	3 hour	8'0" x 10'0"	8'0" x 8'0"
FN16, FN14	4¾	12¾	X	X	Masonry or stud wall	1½ hour	8'0" x 10'0" [4]	8'0" x 10'0" [4]
MU16	3¼	14		X	Masonry	3 hour	8'0" x 10'0"	8'0 x 10'0"
MU16	3¼	14		X	Masonry or stud wall	1½ hour	8'0" x 10'0" [4]	8'0" x 10'0" [4]
							8'0" x 9'0" [3]	8'0" x 9'0" [3]
MU16	3¼	14		X	Stud wall stud wall	3 hour	8'0" x 8'0"	Not listed
MU16	3¼	14	X		Masonry or stud wall	1½ hour	8'0" x 9'0"	8'0" x 8'10"
DW16, K16	3¼	9	X		Stud wall	1½ hour	8'0" x 9'0"	8'0" x 8'10"

NOTES: Three sided frame options for single doors:

1. **Hospital stops** – 6" maximum (152mm) high, double rabbeted frames only.
2. **Communicating frames** – all ratings are available.
3. 4'0" x 9'0" maximum when wood or steel stud anchors are shipped loose.
4. 4'0" x 10'0" maximum with welded in wood or steel stud anchors



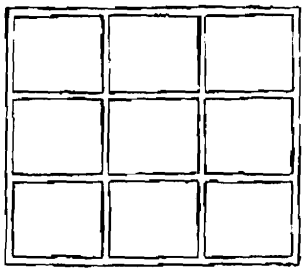
Minimum hardware requirements:

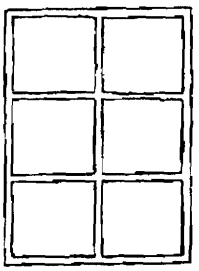
- Strike(s) depending on application for either:
  1. Flush, surface or automatic bolt in head
  2. Vertical rod inactive or both leafs
- Closer(s) depending on hardware applications and *Authority Having Jurisdiction*
  1. Active leaf
  2. Both leafs
- Approved hinges

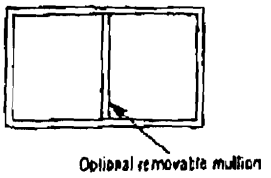
3 SIDED FRAMES

FIRE RATED WINDOW FRAMES

Typical Elevations







FIRE WINDOW FRAMES:

The fire window (borrowed lite) frames covered in this section, have been tested in accordance with UBC 7-4 (1997) NFPA 257, and UL9 and listed by either Underwriters Laboratories Incorporated (UL) or Warnock Hersey (WH). The ratings and sizes available are shown on the following pages.

Fire window frames are commonly refered to as Labeled Borrowed Lite Frames, and can be installed in all labeled masonry, wood and steel stud wall constructions.They are available in both single and multiple lites and in the following applications:

Sitting on the floor – Frame is located on the floor and anchored to both the floor and adjacent wall structures

Above the floor – Frame is located above the floor line and is anchored into the surrounding wall structure.

The overall size of the fire window will vary with the type of wall construction it is installed in, and the location of the window in the wall. Generally, fire windows that sit on the floor can be of a larger size than those located above the floor and in the wall.

APPROVED FRAME SERIES:

Frames covered in this section are F, DW and MU-Series. Regardless of the frame series being used, all frames must be installed into fire rated walls.

LISTING INFORMATION COVERED:

All listings covered in this section are for reference and assistance in developing overall parameters of approvals. Several variables such as wall construction and application will effect the fire ratings. Individual manufacturer's listings will take precedence

INSTALLATION:

Installation of all Steelcraft framing systems shall conform to the published Steelcraft installation instructions, SDI 105 *Recommended Installation Instructions for Steel Frame* and ANSI/DHI A115-IG *Installation Guide for Doors and Hardware*. All fire rated doors and frames must be installed in accordance with NFPA Pamphlet 80, and/or the local *Authority Having Jurisdiction*.

All listings shown in this section conform to the requirements of UBC 7-4 (1997) NFPA 257, and UL9.

Details are subject to change without prior notice.

FIRE WINDOW FRAMES LOCATED OFF THE FLOOR

F and MU-Series fire window frames located off (above) the finished floor and located in stud walls must have anchors in the sill section to prohibit the frame from sliding down the wall. The anchors are conventional lock-in type wood or steel stud anchor.

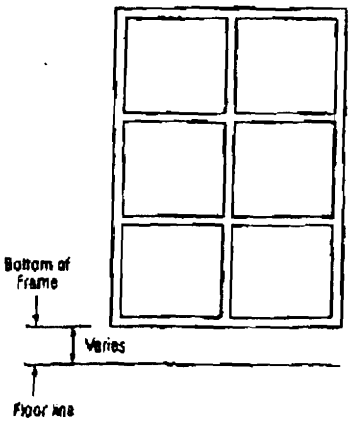
Frame			Wall Application	Max. Frame Rating	Listings	
					Maximum Overall Frame Size	
Series	Depths				UL	WH
	Min.	Max				
F16, F14	3	14	Masonry wall	60 Min[5]	13'2" x 11'7"	13'2" x 11'7"
F16, F14	3	14	Stud wall	60 Min[3]	9'0" x 9'7"	9'0" x 9'7"
F16, F14	3	14	Masonry wall	¾ hour	13'2" x 11'7"	13'2" x 11'7"
F16, F14	3	14	Stud wall	¾ hour	9'0" x 9'7"	9'0" x 9'7"
F16, F14	3	14	Masonry or Stud wall	20 Min w/o hose stream	13'2" x 11'7"	13'2" x 11'7"
MU16	3¼	14	Masonry wall	60 Min[3]	13'2" x 11'7"	13'2" x 11'7"
MU16	3¼	14	Stud wall	60 Min[3]	9'0" x 9'7"	9'0" x 9'7"
MU16	3¼	14	Masonry wall	¾hour	13'2" x 11'7"	13'2" x 11'7"
MU16	3¼	14	Stud wall	¾ hour	9'0" x 9'7"	9'0" x 9'7"
MU16	3¼	14	Masonry or stud wall	20 Min w/o hose stream	13'2" x 11'7"	13'2" x 11'7"

NOTES:

1. Frames must be supplied as welded (SUA) assemblies, except single lites with removable mullions (or without dividers) which may be supplied as knock-down (KD).
2. Frames may be prepared for field splicing. For splicing details, refer to the Architectural Sticks Section of this manual.
3. All glass must be either ¼" (6mm) wire glass or other listed glazing materials.
4. Maximum glass sizes available for listed ¼" wire glass:
   ¾ hour assemblies:
   - ⅝" (16mm) stop: 1296 sq. in. (.84 sq.m) and maximum 54" (1372mm) exposed glass in width or height.

   20 minute assemblies without hose stream:
   - ⅝" (16mm) stop: 5268 sq. in. and maximum 109 ⅜" (2787 mm) exposed glass in width or height.
5. 60 minute frames must be glazed with Fire Lite glass. ⅝" High stops maximum exposed glass size 2721 sq. inches. Maximum of 77" exposed glass in width or height.
6. Glass sizes exceeding 1296 sq. inches may not be acknowledged by local building codes and may be subject to approval by the local authority having jurisdiction.

Typical Elevation



GOLD SERIES
7-Ply Architectural Flush Doors
MFD1 1/2 -7
Mohawk 90-Minute Mineral Core B-Label
7-Ply Construction

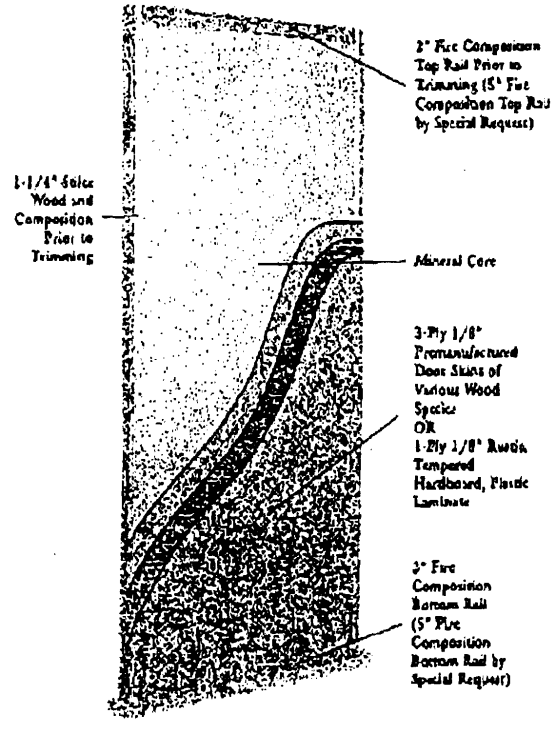
QUALITY ASSURANCES: All Mohawk 90-Minute Fire doors comply with UBC standard 7-2-97 Positive Pressure requirements, meet or exceed the latest edition of W.D.M.A. I.S. 1A-97 and AWI 1300 Quality Standards, and are labeled under Warnock Hersey International program.

APPLICATIONS: Used in commercial and architectural openings when a 90-minute label is required by building codes.

MAXIMUM SIZE:

SIZE	NEGATIVE PRESSURE	POSITIVE PRESSURE
SINGLE	4/0 X 10/0	4/0 X 9/0
PAIR (STANDARD)	8/0 X 10/0	8/0 X 8/0
PAIR (DOUBLE EGRESS)	8/0 X 10/0	8/0 X 8/0
DOOR/TRANSOM COMBINED	4/0 X 10/0	4/0 X 9/0
PROFILED CORE	No	No
PROFILED CORE (PAIRS)	No	No
DUTCH DOOR	No	No
FULL LITE	See Maximum Size Openings	See Maximum Size Openings

*Please contact our customer service department for the latest revisions on Positive Pressure requirements.



Our doors can be manufactured to comply with UBC Standard 7-2-97 Positive Pressure requirements. If Positive Pressure is required, an outline of each category is listed below.

CATEGORY A Intumescent concealed in stiles and top rail of door with Firestop II stiles and Firestop I Rails, installed in an 18-gauge frame (Single) 4/0 x 8/0; (Paired and Double Egress) 8/0 x 8/0.
CATEGORY B Intumescent installed on frame only. Intumescent not allowed to be installed on both door and frame. (Single) 4/0 x 8/0, (Paired) 8/0 x 8/0, Paired applications must have concealed intumescent at the meeting edges. Double Egress not allowed. No intumescent required in door for single swing applications, but must have a 16" gauge frame and an approved Category G gasket system.

S-SMOKE LABEL AVAILABLE WITH AN APPROVED CATEGORY H GASKET SYSTEM.

THICKNESS: 1-3/4".

CONSTRUCTION: Typical 7-ply architectural-grade construction. Face construction utilizes state-of-the-art PVA technology.

FACES: 3-ply wood veneers in Premium (A and AA), Good (B), book or slip matched for balanced, center, and running assemblies. Door skins are 1/8" and face veneers are minimum 1/50" thick. 3-ply veneer premanufactured door skins are hot-pressed.

GRADES:
Custom—standard.
Premium—available by special request, extended lead times for AA faces.

Stock species for immediate manufacturing: Rotary Natural Birch, Rotary Select White Birch, Plain Sliced Red and White Oak, Plain Sliced Natural Maple, Plain Sliced Select White Maple, Plain Sliced American Black Cherry, Quarter Sliced African Mahogany, Plain Sliced Honduras Mahogany, and Medium Density Overlay. Special order species extended lead-time: Rotary Select Red Birch, Plain Sliced Walnut, Plain Sliced American Beech, Plain Sliced Natural Ash, Plain Sliced Red and White Birch, Rotary Maple, Bird's Eye Maple, Rotary Oak, Plain Sliced Poplar, Plain Sliced Sapele, Rotary White Oak, and Santos (Rosewood). Other species available by special request.

MOHAWK
FLUSH DOORS, INC.

1-PLY PLASTIC LAMINATE: Faces from Formica, Nevamar, and Wilson-Art. Pionite available by special request (lead-time and price will vary).
1-PLY: TEMPERED HARDBOARD Modulus of rupture 8500 PSI. Meets or exceeds ANSI/AHA-135.4 1982 Standards.
1-PLY: RUSTIC Modulus of rupture 5700 PSI. Meets or exceeds ANSI/AHA-135.4 1982 Standards.

CORE: Noncombustible non-asbestos Mineral Core engineered to meet label requirements. Stiles and rails are bonded to core using a hot-melt glue process and then sanded to ensure even thickness and minimal telegraphing of core and stile parts through veneers.

STILES: Hardwood or matching stiles standard. 2-ply stile construction 9/16" untreated wood edge strip bonded to a 1" inner banding of gypsum and wood fibers. Maximum wood thickness after trimming is 3/16". Results of test data: Screw-holding capacity TM-10, 1130.4 load lbs. at failure, Split Resistance, TM-5, 847.9 load lbs. at failure, Cleavage ASTM D143-83, 931.5 load lbs. at failure, slam test 350,000 cycles no failure. Matching veneer edge by special request. All dimensions prior to factory trimming and prefitting.

RAILS: No intumescent required in top rail of door or on frame. Top and Bottom Rails are 2" composition material. All components bonded to core. 5" Fire Composition top and/or bottom rail by special request. All dimensions prior to factory trimming and prefitting.

OPTIONAL LOCKBLOCKS: 5" x 18" Fire Composition lockblocks by special request.

ADHESIVE: Polyvinyl Acetate (PVA) Type II is standard. Type II is a water-resistant interior glue which must withstand the bond test described in W.D.M.A. I.S. 1A-97 T.M.6 specifications. Polyvinyl Acetate (PVA) Type I by special request. Type I adhesive is a waterproof glue and must withstand the bond test described in W.D.M.A. I.S. 1A-97 T.M.6 specifications.

FACTORY PREFINISH: Our Premium 2000 Prefinish is a 12-step operation performed on a 540-ft. prefinish line, which is one of the most sophisticated and advanced prefinishing systems in use throughout the industry. The finish is totally environmentally safe using a combination of water-borne acrylics, ultraviolet sealers, and topcoats, all of which are formaldehyde-free. This line addresses all of the negative properties of water-borne finishes. The prefinish process is applied to all 6 sides of the door, sealing it completely. These doors are prefinished in an in-plant environment by skilled personnel, eliminating all of the field finishing problems. We offer 8 standard polyurethane stain finishes: (TR-6) Clear, Teak, Red, Brown, Dark Brown, Mahogany, Gray, and Walnut. We have 2 standard polyurethane paint finishes: (OP-6) White 2071 and L4000. If our wide color range of standard finishes does not meet your requirements, we will custom color-match your choice of stain or paint.

RUSTIC: An embossed tempered hardboard face with a modulus of Rupture of 5700 PSI. Meets or exceeds ANSI/AHA – 135.4 1982 Standards. Prefinished on our 540-ft. prefinish line with a 9-step application to capture the rich inherent beauty of Walnut and Oak veneers. Available in 8 decorator tones: Lite Oak, Oak, Golden Oak, White, Walnut, Classic Gray, Classic Mahogany, and Classic Autumn Oak. Rustic gives you a durable problem-free prefinished door at substantial savings compared to wood-veneered doors.

PRIMING: White standard color. Custom colors by special request. 3 coats of water-based acrylic materials are applied to faces. An equal application of priming material is applied to stiles. Top and bottom rails are clear-coated. Priming is not a sealer. Doors must receive paint manufacturer's recommended sealer coats applied equally to all 6 sides of doors.

MAXIMUM LITE SIZE OPENINGS: Negative and Positive Pressure 10" x 33". For Negative Pressure clear glass is available—contact our customer service department for these options. Light cut-outs shall be no closer than 5-1/2" from the edge of door or hardware cut-out. Light must be glazed with a minimum of 1/4"-thick listed wire glass and installed in a listed light frame, per NFPA 80. All measurements are from edge of cut-out. Clear glass is being tested for Positive Pressure applications at the present time. Check listings for recent approvals.

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PREMDOR

GOLD SERIES

7-Ply Architectural Flush Doors

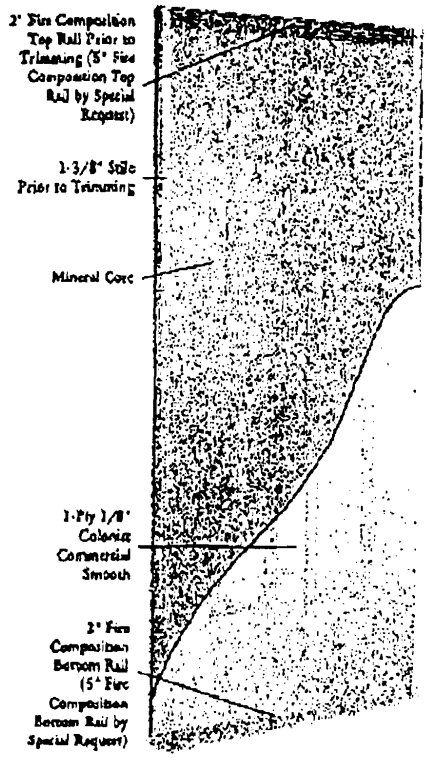
MCMP45
Mohawk Commercial Molded 45-Minute Mineral Core C-Label Door

MCMP60
Mohawk Commercial Molded 60-Minute Mineral Core B-Label Door

MCMP45 Negative & Positive Pressure Approved
MCMP60 Negative Pressure Only

QUALITY ASSURANCES: All Mohawk Molded 45- and 60-Minute fire-rated doors meet or exceed the latest edition of W.D.M.A. I.S. 1A-97 and AWI 1300 Quality Standards and are labeled under Warnock Hersey International.

APPLICATIONS: Used in commercial and architectural openings when a 45- or 60-minute label is required by building codes. This product lends flexibility to interior design options, and gives you 6-panel stile and rail design at a fraction of the actual cost.



SIZES ARE LIMITED TO THE FOLLOWING:

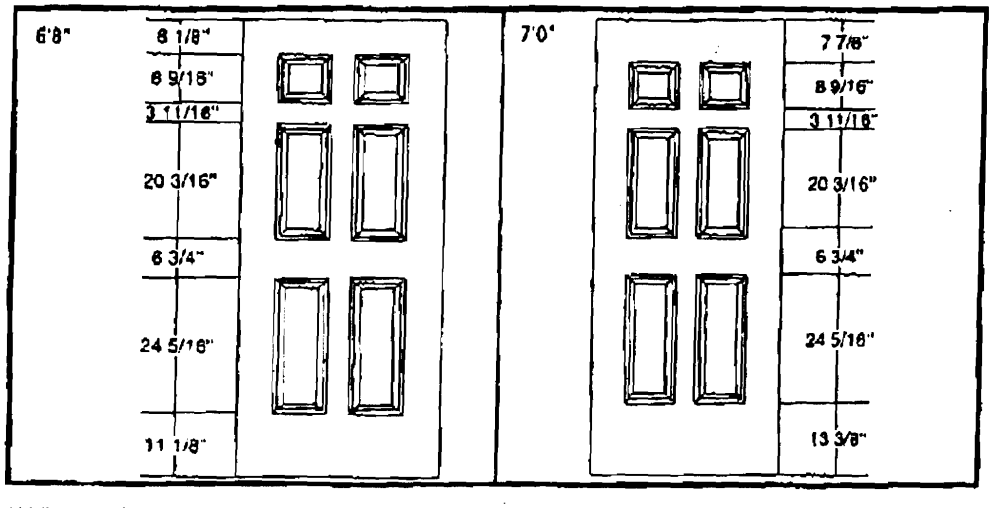
OPENING WIDTH	2'6"	2'8"	3'0"	3'6"
6'8"	Yes	Yes	Yes	Yes
7'0"	Yes	Yes	Yes	Yes

THICKNESS: 1-3/4".

MAXIMUM SIZE PAIRS: 7/0 x 7/0

DOOR FACING DIMENSIONS:

Door Size	Panel Width	Center Stile	Outer Style
2'6"	7.563"	3.875"	5.25"
2'8"	7.563"	3.875"	6.25"
3'0"	9.563	3.875	6.25"
3'6"	12.963"	3.875	6.25"



*All dimensions prior to factory trimming.
*Finished dimensions of the outer stiles and rails may vary due to factory trimming process.

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CONSTRUCTION: Typical 3-ply commercial-grade construction. State-of-the-art PVA technology is utilized.

FACES: Colonist Commercial Smooth—smooth surface. Imitates the charm and appeal of 6-panel wood doors. These doors give the look of an expensive solid wood panel door at a significant savings without panel cracking or joint separation, which ensures further savings by virtue of its durability. Molded door facing is die-formed from a single sheet of hardboard with careful control during the manufacturing process, which ensures consistent quality. Modules of rupture 5,000 lbs. per square inch. Not available with embossed surface.

CORE: Incombustible non-asbestos mineral core engineered to meet label requirements. Stiles and rails bonded to core using a hot-melt glue process and then sanded to ensure even thickness and minimal telegraphing of core and stile parts through skins.

STILES: Douglas Fir or denser species standard. Hardwood or matching stiles by special request. 2-ply stile construction 9/16" untreated wood edge strip bonded to a 1" inner banding of gypsum and wood fibers. Maximum wood thickness after trimming is 3/16". Results of test data: Screw-holding capacity TM-10, 1130.4 load lbs. at failure, Split Resistance, TM-5, 847.9 load lbs. at failure, Cleavage ASTM D143-83, 931.5 load lbs. at failure, slam test 350,000 cycles no failure. All dimensions prior to factory trimming and prefitting

RAILS: Top and Bottom Rails are 2" composition material. All components bonded to core. 5" Fire Composition top and/or bottom rail by special request. All dimensions prior to factory trimming and prefitting.

ADHESIVE: Polyvinyl Acetate (PVA) Type II is standard. Type II is a water-resistant interior glue which must withstand the bond test described in W.D.M.A. I.S 1A-97 T.M. (6) specifications. Polyvinyl Acetate (PVA) Type I by special request. Type I adhesive is a waterproof glue and must withstand the bond test described in W.D.M.A. I.S. 1A-97 (6) specifications.

FACTORY PREFINISH: These doors are prefinished in an in-plant environment by skilled personnel, eliminating all field finishing problems. 2 standard polyurethane paint finishes: (OP-6) White 2071 and LA000. We can custom color-match your choice of paint.

PRIMING: All doors are primed white standard. Custom colors by special request. An equal application is applied to stiles. Top and bottom rails are clear-coated. Priming is not a sealer. Doors must receive paint manufacturer's recommended sealer coats applied equally to all 6 sides of doors.

MACHINING: All fire door assemblies must be prepared in accordance with NFPA 80 Par 1-9.5 which states that all machining must be done under a labeling service, except machining for surface-applied hardware with cut-outs less than 1" in diameter, function holes for mortise locks, holes for labeled viewers. Machining for Positive Pressure applications, all hardware must be Positive Pressure-approved. A maximum 1/2" undercutting from bottom of door only, and installation of protection plates, which may be performed in the field

MOPAK: Mopak is a tough, transparent polyethylene film protecting the door from scratches, dust, and handling marks, standard on all prefinished doors. Available by special request on unfinished doors.

LIMITED WARRANTY: Five year standard. Lifetime Warranty available by special request.

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FLUSH DOORS, INC.
PRECOR

ATTACHMENT E - GLAZING
TRAP 4-11-07

FireLite®NT

FIRE-RATED, SAFETY-RATED GLASS CERAMIC MADE WITH 3M™ SCOTCHSHIELD™ ULTRA FILM

Fire-Rated

Hose Stream Tested

Impact-Rated

CLASSIFIED c UL us R-13377

FireLite®NT is a 3/16" (5 mm) thick fire-rated and impact safety-rated glazing material, composed of FireLite and surface-applied 3M™ Scotchshield™ Ultra Film. It is listed for use in doors, sidelites, transoms and borrowed lites with fire rating requirements ranging from 20 minutes to 3 hours.

FEATURES

- Fire-rated for up to 3 hours **with hose stream test**
- Impact safety-rated – meets ANSI Z97.1 and CPSC 16 CFR1201 (Cat. I and II)
- Glass ceramic with high performance surface-applied 3M™ Scotchshield™ Ultra Film
- Clear and wireless
- Fits in Designer Series Fireframes® from TGP, or standard fire-rated frames
- Withstands thermal shock
- Fire and impact ratings unaffected by which way film faces in interior applications
- FireLite side may be lightly sandblasted or etched without affecting the fire rating
- Passes positive pressure test standards UL 10C, UBC 7-2 and UBC 7-4
- 3-year limited warranty

Note: This product is not a barrier to radiant heat. This product does not meet test standards ASTM E-119 or UL 263. If your jurisdiction requires a "barrier to heat" product, please contact Technical Glass Products regarding Pilkington Pyrostop™.

LISTINGS

Listed and labeled by Underwriters Laboratories, Inc.® and Underwriters' Laboratories of Canada. Test report number for labeled fire-rated assemblies is: UL File No. R13377. Tested in accordance with UL 9, UL 10B, UL 10C, ASTM E2074, ASTM E2010, CSFM 43.7, NFPA 252, NFPA, 257, UBC 43.2, UBC 43.4, UBC 7-2, UBC 7-4, CAN4 S-104 and CAN4 S-106.

Rating	Assembly	Max. Exposed Area (Sq. In./Sq. Ft.)	Max. Width or Max. Height Of Exposed Glazing (In.)		Stop Height
20 to 60 min.	**Doors** (non-temp rise)				
	HMS or wood*	3,204/22.25	36	89	5/8"
	Fireframes D.S.	3,204/22.25	36	89	3/4"
	Doors (temp rise)	100/0.69	12	33	5/8"
	Other than doors				
	HMS or wood	3,325/23.09	95	95	5/8"
	Fireframes D.S.	3,325/23.09	95	95	3/4"
90 min.	**Doors** (non-temp rise)				
	HMS or wood	2,034/14.13	36	56-1/2	5/8"
	Fireframes D.S.	2,034/14.13	36	56-1/2	3/4"
	Doors (temp rise)	100/0.69	12	33	1/2"
	Other than doors				
	HMS	2,627/18.24	56-1/2	56-1/2	5/8"
	Fireframes D.S.	2,627/18.24	56-1/2	56-1/2	3/4"
3 hour	**Doors**	100/0.69	12	33	1/2"

** HMS indicates hollow metal steel framing. Fireframes D.S. indicates **Designer Series** narrow profile framing available from TGP. For wood frames, check with manufacturer for maximum tested glass sizes.*

Note: Individual lite sizes cannot exceed "Max. Exposed Area" shown above.

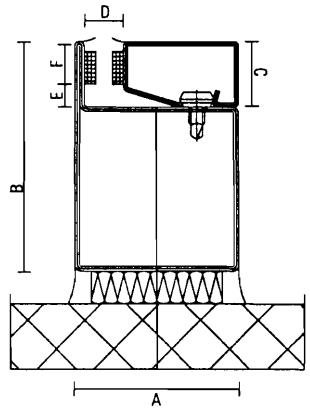
Surface Finish	Premium	Standard	Obscure
Max. Sheet Size	48" x 96"	48" x 96"	36" x 96"

This information is intended for general reference only. For current listing details, please call Technical Glass Products.

TGP
Technical Glass Products™
ONE SOURCE. MANY SOLUTIONS.®

1-800-426-0279
Fax: 1-800-451-9857
Email: sales@fireglass.com
www.fireglass.com

FireLite® NT



Detail based on use of Fireframes Designer Series narrow profile framing

Glazing Thickness: 3/16" - 1"

a. Frame width: 2"
b. Frame height: 2-3/4"
c. Stop height: 3/4"
d. Pocket width: 1/2" - 1-1/4"
e. Edge clearance: 1/4"
f. Bite: 1/2"

SPECIFICATIONS

All glass designated on the drawings as fire-rated and impact safety-rated shall be 3/16" (5 mm) thick FireLite® NT supplied by Technical Glass Products. The surface condition shall be either: Premium (polished surfaces); Standard (unpolished surfaces); or Obscure (patterned surface).

Complete 3-part CSI format specifications are available online at www.fireglass.com, or by calling 1-800-426-0279. Please contact Technical Glass Products for more information.

GENERAL CHARACTERISTICS

Thickness:	3/16" (5 mm) overall
Weight:	2.4 lbs./sq. ft.
Approx. Visible Transmission:	88%
Approx. Visible Reflection:	9%
Hardness (Vicker's Scale):	700
Fire Rating:	20 minutes to 3 hours
Impact Safety Rating:	Meets ANSI Z97.1 and CPSC 16CFR1201 (Cat. I and II)

Figures are for Premium (polished) FireLite NT and are approximate. Figures will differ slightly for Standard (unpolished) and Obscure (patterned) surface finishes.

LABELING

Each piece of FireLite NT shall be permanently labeled with the FireLite NT logo, UL logo and fire rating.

INSTALLATION

FireLite NT shall be glazed into the appropriate fire-rated framing with an approved glazing compound (pure silicone, closed cell PVC tape or DAP 33 putty) as supplied by the installer. For 90 min. ratings that exceed 1,393 sq. in., FireLite NT shall be glazed with fire-rated glazing tape as supplied by TGP.

Inspect each piece of FireLite NT immediately before installation and eliminate any with observable edge damage or face imperfections. As with any glass produced by the "roll out" method, individual pieces of FireLite NT may contain minimal variations in thickness. Occasionally, process marks and small occlusions or seeds (bubbles, knots or crystals) may be apparent. However, since they do not generally impair the transparency or affect the technical performance of the glass, they do not represent cause for rejection.

STORAGE & HANDLING

FireLite NT must be handled with care during transportation, storage, inspection and installation. Store in a dry place.

TGP offers a complete family of products for all your fire-rated glazing needs, ranging from 20 minute to 3 hour applications.

Fireglass®20	Fire-rated, impact safety-rated toughened glass
FireLite®	Fire-rated glass ceramic
FireLite® NT	Fire-rated, impact safety-rated glass ceramic with surface-applied film
FireLite Plus®	Fire-rated, impact safety-rated glass ceramic
FireLite® IGU	Fire-rated or fire/impact safety-rated insulated glass units
Pilkington Pyrodur™	Fire-rated, impact safety-rated glass
Pilkington Pyrostop™	Fire-rated, impact safety-rated transparent wall panels
Pilkington Pyroshield™ Plus	Fire-rated, impact safety-rated wired glass
Fireframes®	Fire-rated framing & doors for use with all TGP glass products

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1-800-426-0279
Fax: 1-800-451-9857
Email: sales@fireglass.com
www.fireglass.com

Pilkington Pyroshield™ Plus

FIRE-RATED, SAFETY-RATED WIRED GLASS

Pilkington Pyroshield™ Plus is a 7/16" (10.5 mm) thick laminated fire-rated and impact safety-rated glazing material. It is listed for use in doors, sidelites, transoms and borrowed lites with fire rating requirements for 20, 45, 60 and 90 minutes.

Fire-Rated

Hose Stream Tested

Impact-Rated

FEATURES

- Fire-rated for 20, 45, 60 and 90 minutes **with hose stream test**
- Impact safety-rated — meets ANSI Z97.1 and CPSC 16CFR1201 (Cat. I)
- Laminated, polished wired glass available in Diamond Clear (3/4" pattern) and Georgian Clear (1/2" pattern)
- Withstands thermal shock
- Passes positive pressure test standards UL 10C, UBC 7-2 and UBC 7-4
- No surface film
- Fits in Designer Series Fireframes• from TGP, or standard fire-rated frames
- 5-year limited warranty

Note: This product is not a barrier to radiant heat. This product does not meet test standards ASTM E-119 or UL 263. If your jurisdiction requires a "barrier to heat" product, please contact Technical Glass Products regarding Pilkington Pyrostop™.

LISTINGS

Listed and labeled by Underwriters Laboratories, Inc.® and Underwriters' Laboratories of Canada. The test report number for labeled fire-rated assemblies is: UL File No. R14454. Testing performed in accordance with UL 9, UL 10C, ASTM E2074, ASTM E2010, NFPA 252, UBC 7-2 and UBC 7-4.

Rating	Assembly	Max. Exposed Area (Sq. In./Sq. Ft.)	Max. Width or Max. Height Of Exposed Glazing (In.)	Max. Height Of Exposed Glazing (In.)	Stop Height
20 to 45 min.	**Doors** *(non-temp rise)*	1,296	24	54	5/8"
	Other than doors*	1,296	36	36	5/8"
60 min.	**Doors** *(temp rise)*	100	20	20	5/8"
90 min.	**Doors** *(temp rise)*	100	20	20	5/8"

**Diamond Clear only*

Note: Individual lite sizes cannot exceed "Max. Exposed Area" shown above.

SPECIFICATIONS

All glass designated on the drawings as fire-rated and impact safety-rated shall be 7/16" (10.5 mm) thick Pilkington Pyroshield™ Plus supplied by Technical Glass Products.

Complete 3-part CSI format specifications are available online at www.fireglass.com, or by calling 1-800-426-0279. Please contact Technical Glass Products for more information.

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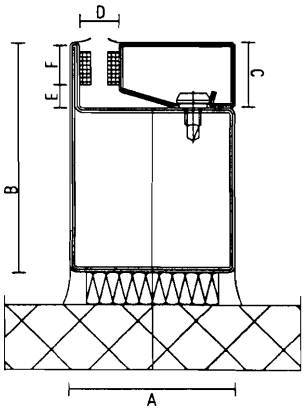
Pilkington
Pyroshield™ Plus



Detail based on use of Firefrrames Designer Series narrow profile framing

Glazing Thickness: 7/16"

a. Frame width: 2"
b. Frame height: 2-3/4"
c. Stop height: 5/8"
d. Pocket width: 9/16"
e: Edge clearance: 1/4"
f. Bite: 1/2"

GENERAL CHARACTERISTICS

Thickness:	7/16" (10.5 mm) overall
Weight:	5.6 lbs./sq. ft.
Approx. Visible Transmission:	77%
Fire Rating:	20, 45, 60 and 90 minutes
Impact Safety Rating:	Meets ANSI Z97.1 and CPSC 16CFR1201 (Cat. I)

LABELING

Each piece of Pilkington Pyroshield™ Plus shall be permanently labeled with the Pilkington Pyroshield™ Plus logo, UL logo and fire rating.

INSTALLATION

Pilkington Pyroshield™ Plus shall be glazed into the appropriate fire-rated framing with PEMKO FGL 3000 glazing tape supplied by TGP.

Inspect each piece of Pilkington Pyroshield™ Plus immediately before installation and eliminate any with observable edge damage or face imperfections.

STORAGE & HANDLING

Pilkington Pyroshield™ Plus must be handled with care during transportation, storage, inspection and installation. Store in a dry place.

TGP offers a complete family of products for all your fire-rated glazing needs, ranging from 20 minute to 3 hour applications.

Fireglass®20	Fire-rated, impact safety-rated toughened glass
FireLite®	Fire-rated glass ceramic
FireLite® NT	Fire-rated, impact safety-rated glass ceramic with surface-applied film
FireLite Plus®	Fire-rated, impact safety-rated glass ceramic
FireLite® IGU	Fire-rated or fire/impact safety-rated insulated glass units
Pilkington Pyrodur™	Fire-rated, impact safety-rated glass
Pilkington Pyrostop™	Fire-rated, impact safety-rated transparent wall panels
Pilkington Pyroshield™ Plus	Fire-rated, impact safety-rated wired glass
Fireframes®	Fire-rated framing & doors for use with all TGP glass products

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ZADE

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Consulting Engineers
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Email: ZadeCo@AOL.com

Mohammed Zade Ph.D., P.E.
Mevlut S. Koymen P.E.
Muzaffer Muctehitzade M.Sc., P.E.

Tsomides Associates Inc.
Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464

May 8, 2007

Attention: Mr. Tom McBride

RE: Cedars ALF

Subject: Smoke Dampers

Dear Tom,

In response to your E-mal please note as follows:

The only duct that is connecting the corridors with the rooms is the make up air duct providing ventilation to the rooms. This duct is under positive pressure during normal operations. Therefore, smoke cannot get into the duct. Only, if the unit shuts down, then the smoke can get into the duct.

We suggest using back draft dampers for the ducts supplying air to the fan/coil units. The probability of the smoke entering into the fan coil unit and going backwards through the unit and the back draft damper is very low.

Please let us know if this will be acceptable. Otherwise the wired smoke dampers will burden the project very much.

If you have any questions or require further information, please contact our office.

Sincerely,
ZADE COMPANY, INC.

Mohammed Zade, Ph.D., P.E.
Principal
Smoke dampers

C:\Documents and Settings\Tom McBride\Local Settings\Temporary Internet Files\OLK1E\Cedarssmokedampers.docSmoke Dampers

State of Maine
Department of Public Safety
Construction Permit

Reviewed for Barrier Free

 # 16762

Sprinkled
Sprinkler Supervised

CANOPY @ SEASIDE NURSING & REHABILITATION FACILITY

Located at: 850 BAXTER BOULEVARD

PORTLAND

Occupancy/Use: NURSING HOME

Permission is hereby given to:

FIRST ATLANTIC CORP.

222 ST. JOHN'S STREET
PORTLAND, ME 04101

to construct or alter the afore referenced building according to the plans hitherto filed with the Commisioner and now approved.

No departure from application form/plans shall be made without prior approval in writing. This permit is issued under the provision of Title 25, Chapter 317, Section 2448 and the provisions of Title 5, Section 4594 - F.

Nothing herein shall excuse the holder of this permit for failure to comply with local ordinances, zoning laws, or other pertinent legal restrictions. Each permit issued shall be displayed/available at the site of construction.

This permit will expire at midnight on the *23 rd of November 2007*

Dated the 24 th day of May A.D. 2007

Commissioner

Copy-3 Code Enforcement Officer

Comments:

Code Enforcement Officer
PORTLAND, ME

COMcheck Software Version 3.4.1
Envelope Compliance Certificate

Post-it® Fax Note 7671	Date 5/30	# of pages ▶ 1
To Tom McBride	From Mohammed Zade	
Co./Dept.	Co.	
Phone #	Phone #	
Fax #	Fax #	

2003 IECC

Report Date: 05/30/07
Data filename: M:\CEDARS~1\CEDARS~1.CCK

Section 1: Project Information

Project Title: THE INN AT CEDARS

Construction Site:
640 OCEAN AVE
PORTLAND, ME 04112

Owner/Agent:
J.H.A SERVICES INC
640 OCEAN AVE
PORTLAND, ME 04112

Designer/Contractor:
MOHAMMED ZADE
ZADE COMPANY INC.
140 BEACH STREET
BOSTON, MA 02111
617-338-4406
ZADECO@AOL.COMON

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME
MAY 31 2007
RECEIVED

Section 2: General Information

Building Location (for weather data):	Portland, Maine
Climate Zone:	15
Heating Degree Days (base 65 degrees F):	7378
Cooling Degree Days (base 65 degrees F):	288
Project Type:	New Construction
Vertical Glazing / Wall Area Pct.:	18%

Building Type	Floor Area
Other	26000

Section 3: Requirements Checklist

Envelope PASSES Design 8% better than code

Climate-Specific Requirements:

Component Name/Description	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Proposed U-Factor	Budget U-Factor
Roof 1: All-Wood Joist/Rafter/Truss	12000	0.0	32.0	0.030	0.053
Exterior Wall 1: Wood Frame, Any Spacing	13483	19.0	0.5	0.065	0.075
Window 1: Vinyl Frame:Double Pane, Clear, SHGC 1.00	2478	—	—	0.500	0.528
Door 1: Solid	42	—	—	0.200	0.122
Basement Wall 1: Solid Concrete or Masonry > 8", Furring: None, Wall Ht 8.0, Depth B.G. 8.0	1600	—	0.0	0.588	0.100
Floor 1: Slab-On-Grade:Unheated, Vertical 4 ft.	950	—	0.0	—	—

(a) Budget U-factors are used for software baseline calculations ONLY, and are not code requirements.

Air Leakage, Component Certification, and Vapor Retarder Requirements:

- ☐ 1. All joints and penetrations are caulked, gasketed or covered with a moisture vapor-permeable wrapping material installed in accordance with the manufacturer's installation instructions.
- ☐ 2. Windows, doors, and skylights certified as meeting leakage requirements.
- ☐ 3. Component R-values & U-factors labeled as certified.
- ☐ 4. Insulation installed according to manufacturer's instructions, in substantial contact with the surface being insulated, and in a manner that achieves the rated R-value without compressing the insulation.
- ☐ 5. Stair, elevator shaft vents, and other dampers integral to the building envelope are equipped with motorized dampers.

- ☐ 6. Cargo doors and loading dock doors are weather sealed.
- ☐ 7. Recessed lighting fixtures are: (i) Type IC rated and sealed or gasketed; or (ii) installed inside an appropriate air-tight assembly with a 0.5 inch clearance from combustible materials and with 3 inches clearance from insulation material.
- ☐ 8. Building entrance doors have a vestibule and equipped with closing devices.
  Exceptions:

  Building entrances with revolving doors.

  Doors that open directly from a space less than 3000 sq. ft. in area.
- ☐ 9. Vapor retarder installed.

Section 4: Compliance Statement

Compliance Statement: The proposed envelope design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed envelope system has been designed to meet the 2003 IECC requirements in COMcheck Version 3.4.1 and to comply with the mandatory requirements in the Requirements Checklist.

MOHAMMED ZADE, PRESIDENT — 5/30/07

Name - Title — Signature — Date

COMcheck Software Version 3.4.1
Mechanical Compliance Certificate

2003 IECC

Report Date: 05/30/07
Data filename: M:\CEDARS-1\CEDARS~1.CCK

Section 1: Project Information

Project Title: THE INN AT CEDARS

Construction Site:
640 OCEAN AVE
PORTLAND, ME 04112

Owner/Agent:
J.H.A SERVICES INC.
640 OCEAN AVE
PORTLAND, ME 04112

Designer/Contractor:
MOHAMMED ZADE
ZADE COMPANY INC.
140 BEACH STREET
BOSTON, MA 02111
617-338-4406
ZADECO@AOL.COM

Section 2: General Information

Building Location (for weather data):	Portland, Maine
Climate Zone:	15
Heating Degree Days (base 65 degrees F):	7378
Cooling Degree Days (base 65 degrees F):	258
Project Type:	New Construction

Section 3: Mechanical Systems List

Quantity	System Type & Description
1	HVAC System 1, Heating: Hydronic or Steam Coil, Hot Water / Cooling: Hydronic Coil, Capacity >=240 - <760 kBtu/h, Air-Cooled Condenser / Multiple-Zone

Section 4: Requirements Checklist

Requirements Specific To: HVAC System 1 :

☐ 1. Minimum one temperature control device per zone
☐ 2. Balancing and pressure test connections on all hydronic terminal devices
☐ 3. Integrated air economizer required
- Exception: Air/evap condenser serving space with open-case refrigeration

☐ 4. Systems serving more than one zone must be VAV systems
- Exception: Where pressure relationships must be maintained
- Exception: 75% of reheating/recooling energy achieved through site recovered or site solar
- Exception: Zones with humidity requirements for special processes
- Exception: Zone cfm <300 and flow rate <10% of total design flow rate
- Exception: Outside air needed to meet IMC Chapter 4

☐ 5. Controls capable of resetting supply air temp (SAT) by 25% of SAT-room temp difference
☐ 6. Separate hot and cold water supply and returns
☐ 7. Multiple boilers must have automatic controls that sequence operation with load
☐ 8. Single boiler >500 kBtu/h input capacity must have a multistaged or modulating burner
☐ 9. Two-pipe changeover heating/cooling controls must have: a) 15 degrees F deadband where boiler and chiller can not operate, b) allow operation in either heating or cooling for at least 4 hrs. and c) prevent difference between heating and cooling set points greater than 30 degrees F

Generic Requirements: Must be met by all systems to which the requirement is applicable:

- ☐ 1. Load calculations per 2001 ASHRAE Fundamentals
- ☐ 2. Plant equipment and system capacity no greater than needed to meet loads
  - Exception; Standby equipment automatically off when primary system is operating
  - Exception: Multiple units controlled to sequence operation as a function of load
- ☐ 3. Minimum one temperature control device per system
- ☐ 4. Minimum one humidity control device per installed humidification/dehumidification system
- ☐ 5. Thermostatic controls has 5 degrees F deadband
  - Exception: Thermostats requiring manual changeover between heating and cooling
- ☐ 6. Automatic Controls: Setback to 55 degrees F (heat) and 85 degrees F (cool); 7-day clock, 2-hour occupant override, 10-hour backup
  - Exception: Continuously operating zones
  - Exception; 2 kW demand or less, submit calculations
- ☐ 7. Automatic shut-off dampers on exhaust systems and supply systems with airflow >3,000 cfm
- ☐ 8. Outside-air source for ventilation; system capable of reducing OSA to required minimum
- ☐ 9. R-5 supply and return air duct insulation in unconditioned spaces R-8 supply and return air duct insulation outside the building R-8 insulation between ducts and the building exterior when ducts are part of a building assembly
  - Exception: Ducts located within equipment
  - Exception: Ducts with interior and exterior temperature difference not exceeding 15 degrees F.
- ☐ 10. Ducts sealed - longitudinal seams on rigid ducts; transverse seams on all ducts; UL 181A or 181B tapes and mastics
  - Exception: Continuously welded and locking-type longitudinal joints and seams on ducts operating at static pressures less than 2 inches w.g. pressure classification
- ☐ 11. Mechanical fasteners and sealants used to connect ducts and air distribution equipment
- ☐ 12. Hot water pipe insulation: 1 in. for pipes <=1.5 in. and 2 in. for pipes >1.5 in. Chilled water/refrigerant/brine pipe insulation: 1 in. for pipes <=1.5 in. and 1.5 in. for pipes >1.5 in. Steam pipe insulation: 1.5 in. for pipes <=1.5 in. and 3 in. for pipes >1.5 in.
  - Exception: Piping within HVAC equipment
  - Exception: Fluid temperatures between 55 and 105 degrees F
  - Exception: Fluid not heated or cooled
  - Exception: Runouts <4 ft in length
- ☐ 13. Operation and maintenance manual provided to building owner
- ☐ 14. Balancing devices provided in accordance with IMC 603.15
- ☐ 15. Stair and elevator shaft vents are equipped with motorized dampers
- ☐ 16. Three-pipe systems not used

Section 5: Compliance Statement

Compliance Statement: The proposed mechanical design represented in this document is consistent with the building plans, specifications and other calculations submitted with this permit application. The proposed mechanical systems have been designed to meet the 2003 IECC requirements in COMcheck Version 3.4.1 and to comply with the mandatory requirements in the Requirements Checklist.

MOHAMMED ZADE, PRESIDENT — 5/30/07

Name - Title — Signature — Date

COMcheck Software Version 3.4.1
Mechanical Requirements Description

2003 IECC

Report Date:

Data filename: M:\Cedars ALF, The Inn at\CEDARSALF.cck

The following list provides more detailed descriptions of the requirements in Section 4 of the Mechanical Compliance Certificate.

Requirements Specific To: HVAC System 1 :

1. Each zone of a multiple-zone system must have its own temperature control device.
2. Hydronic heating and cooling coils must be equipped with a way to pressure test connections and measure and balance water flow and pressure.
3. An integrated air economizer is required for individual cooling systems over 65 kBtu/h in the selected climate. An integrated economizer allows simultaneous operation of outdoor-air and mechanical cooling.
   - Exception: An economizer is not required for systems having air or evaporatively cooled condensers that serve spaces with open-case refrigeration.
4. Systems serving multiple thermostatic control zones must be variable-flow systems. Zone terminal controls must reduce the flow of primary supply air before reheating, recooling, or mixing air streams.
   - Exception: VAV controls are not required for zones with special pressurization or cross-contamination requirements. These zones must be called out in the construction documents for easy identification during field inspection.
   - Exception: VAV controls are not required for zones where at least 75% of the reheating and recooling energy is made available through the use of site-recovered or site solar energy. These zones must be called out in the construction documents for easy identification during field inspection.
   - Exception: VAV controls are not required for zones with special humidity control requirements for specialized processes. These zones must be called out in the construction documents for easy identification during field inspection.
   - Exception: VAV controls are not required for zones that require less than 300 cfm of supply air provided the total airflow to these zones does not exceed 10% of the total design flow rate for the system.
   - Exception: VAV controls are not required where constant volume supply air is necessary to meet the minimum outside air requirements of Chapter 4 of the International Mechanical Code. These zones must be called out in the construction documents for easy identification during field inspection.
5. Multiple-zone systems must include controls capable of resetting the supply air temperature by at least 25% of the difference between the design supply air temperature and the design room temperature.
6. Fan system terminal units must have separate hot and cold water supply and return piping.
7. Multiple packaged boilers must have automatic controls capable of sequencing the operation of the boilers.
8. A single boiler with >500 kBtu/h input capacity must have a multistaged or modulating burner.
9. Two-pipe changeover heating/cooling controls must:a) allow a deadband between changeover from one mode (heating/cooling) to the other of at least 15 degrees F outside temperaturesb) allow operation in one mode (heating/cooling) for at least 4 hours before changing over to the other modec) allow heating and cooling supply temperatures at the changeover point to be no more than 30 degrees F apart.

Generic Requirements: Must be met by all systems to which the requirement is applicable:

1. Design heating and cooling loads for the building must be determined using procedures in the ASHRAE Handbook of Fundamentals or an approved equivalent calculation procedure.
2. All equipment and systems must be sized to be no greater than needed to meet calculated loads. A single piece of equipment providing both heating and cooling must satisfy this provision for one function with the capacity for the other function as small as possible, within available equipment options.
   - Exception: The equipment and/or system capacity may be greater than calculated loads for standby purposes. Standby equipment must be automatically controlled to be off when the primary equipment and/or system is operating
   - Exception: Multiple units of the same equipment type whose combined capacities exceed the calculated load are allowed if they are provided with controls to sequence operation of the units as the load increases or decreases.
3. Each heating or cooling system serving a single zone must have its own temperature control device.
4. Each humidification system must have its own humidity control device.
5. Thermostats controlling both heating and cooling must be capable of maintaining a 5 degrees F deadband (a range of temperature where no heating or cooling is provided).

- Exception: Deadband capability is not required if the thermostat does not have automatic changeover capability between heating and cooling.

6. The system or zone control must be a programmable thermostat or other automatic control meeting the following criteria:a) capable of setting back temperature to 55 degrees F during heating and setting up to 85 degrees F during coolingb) capable of automatically setting back or shutting down systems during unoccupied hours using 7 different day schedulesc) have an accessible 2-hour occupant overridde) have a battery back-up capable of maintaining programmed settings for at least 10 hours without power.
   - Exception: A setback or shutoff control is not required on thermostats that control systems serving areas that operate continuously
   - Exception: A setback or shutoff control is not required on systems with total energy demand of 2 kW (6,826 Btu/h) or less.
7. Outdoor-air supply systems with design airflow rates >3,000 cfm of outdoor air and all exhaust systems must have dampers that are automatically closed while the equipment is not operating.
8. The system must supply outside ventilation air as required by Chapter 4 of the International Mechanical Code. If the ventilation system is designed to supply outdoor-air quantities exceeding minimum required levels, the system must be capable of reducing outdoor-air flow to the minimum required levels.
9. Air ducts must be insulated to the following levels:a) Supply and return air ducts for conditioned air located in unconditioned spaces (spaces neither heated nor cooled) must be insulated with a minimum of R-5. Unconditioned spaces include attics, crawl spaces, unheated basements, and unheated garages.b) Supply and return air ducts and plenums must be insulated to a minimum of R-8 when located outside the building.c) When ducts are located within exterior components (e.g., floors or roofs), minimum R-8 insulation is required only between the duct and the building exterior.
   - Exception: Duct insulation is not required on ducts located within equipment.
   - Exception: Duct insulation is not required when the design temperature difference between the interior and exterior of the duct or plenum does not exceed 15 degrees F.
10. All joints, longitudinal and transverse seams, and connections in ductwork must be securely sealed using weldments; mechanical fasteners with seals, gaskets, or mastics; mesh and mastic sealing systems; or tapes. Tapes and mastics must be listed and labeled in accordance with UL 181A or UL 181B.
    - Exception: Continuously welded and locking-type longitudinal joints and seams on ducts operating at static pressures less than 2 inches w.g. pressure classification.
11. Mechanical fasteners and seals, mastics, or gaskets must be used when connecting ducts to fans and other air distribution equipment, including multiple-zone terminal units.
12. All pipes serving space-conditioning systems must be insulated as follows: Hot water piping for heating systems: 1 in. for pipes <=1 1/2-in. nominal diameter 2 in. for pipes >1 1/2-in. nominal diameter. Chilled water, refrigerant, and brine piping systems: 1 in. insulation for pipes <=1 1/2-in. nominal diameter 1 1/2 in. insulation for pipes >1 1/2-in. nominal diameter. Steam piping: 1 1/2 in. insulation for pipes <=1 1/2-in. nominal diameter 3 in. insulation for pipes >1 1/2-in. nominal diameter.
    - Exception: Pipe insulation is not required for factory-installed piping within HVAC equipment.
    - Exception: Pipe insulation is not required for piping that conveys fluids having a design operating temperature range between 55 degrees F and 105 degrees F.
    - Exception: Pipe insulation is not required for piping that conveys fluids that have not been heated or cooled through the use of fossil fuels or electric power.
    - Exception: Pipe insulation is not required for runout piping not exceeding 4 ft in length and 1 in. in diameter between the control valve and HVAC coil.
13. Operation and maintenance documentation must be provided to the owner that includes at least the following information:a) equipment capacity (input and output) and required maintenance actionsb) equipment operation and maintenance manualsc) HVAC system control maintenance and calibration information, including wiring diagrams, schematics, and control sequence descriptions; desired or field-determined set points must be permanently recorded on control drawings, at control devices, or, for digital control systems, in programming commentsd) complete narrative of how each system is intended to operate.
14. Each supply air outlet or diffuser and each zone terminal device (such as VAV or mixing box) must have its own balancing device. Acceptable balancing devices include adjustable dampers located within the ductwork, terminal devices, and supply air diffusers.
15. Stair and elevator shaft vents must be equipped with motorized dampers capable of being automatically closed during normal building operation and interlocked to open as required by fire and smoke detection systems. All gravity outdoor air supply and exhaust hoods, vents, and ventilators must be equipped with motorized dampers that will automatically shut when the spaces served are not in use. Exceptions: - Gravity (non-motorized) dampers are acceptable in buildings less than three stories in height above grade. - Ventilation systems serving unconditioned spaces.
16. Hydronic systems that use a common return system for both hot water and chilled water must not be used.

Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464
617.969.4774
617.969.4793 Fax
www.tsomides.com

Tsomides
Associates
Architects
Planners

FACSIMILE TRANSMISSION COVER SHEET

DATE: May 30, 2007

TO: Mr. Michael Nugent

COMPANY: City of Portland

FAX NO. 207.874.8716

FROM: Tom McBride

REFERENCE: The Inn at Cedars

MESSAGE:

Hi Mike:

Attached are responses to your May 23, 2007 emailed questions, comments.

Please call with any questions, comments or concerns.

Thanks,
Tom

12 PAGES TO FOLLOW, in two transmissions

Please call (617) 969-4774 with questions or problems.

cc See Memo Second Page

MEMORANDUM

DATE: May 30, 2007

TO: **Mr. Michael Nugent**
City of Portland
Plan Reviewer

FROM: Tom McBride

RE: The Inn at Cedars Assisted Living Facility

Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464
617.969.4774
617.969.4793 Fax
www.tsomides.com

Tsomides
Associates
Architects
Planners

Dear Mr. Nugent:

This is in response to your May 23, 2007 email questions and comments, using your numbering.

a. Demonstrate protection of fire rated Floor / Ceiling and Roof / Ceiling assembly penetrations:

For protection of HVAC penetrations, please see general notes on drawings H1 and H1A, requiring ceiling radiation dampers and fire dampers for penetrations, registers, diffusers and grilles.

For protection of fire protection penetrations, see Fire Protection specification Section 15300.2.02A, Firestopping Section 07270, and Joint Sealants Sections 07900.2.01.C and 3.03C

For protection of plumbing penetrations, please see Plumbing specification Section 15400.1.24.A, Firestopping Section 07270, and Joint Sealants Sections 07900.2.01.C and 3.03C

For protection of electrical penetrations, please see Electrical specification Section 16000.3.03G, Firestopping Section 07270, and Joint Sealants Sections 07900.2.01.C and 3.03C

For protection of recessed lights, please see notes on typical wall section 1/A-500: 5/8" g.wb. protection boards...per U.L. Design listed.

For protection of shafts, enclosures provided, see partition types and details, drawing A-205.

b. Demonstrate compliance with fire and draft stopping requirements:
Please see attached sketches for plan locations and detail of draftstopping.

Fireblocking is provided in the form of 2x plates at tops and bottoms of walls, as well as 2x blocking at partitions 4' o.c. or mid-height per specification Section 06100.3.02.D.1.g, and in the form of single rows of vertical studs at 16" or 24" o.c. Walls with resilient channels have batts of insulation in each stud bay. At connections between walls and floor or roof structure, g.wb. is continued up to the deck, closing off this connection.

c. Demonstrate door and frame compliance with smoke and draft standard UL1784.
Please see attached product literature indicating compliance.

d. Please provide a "COMCheck" report that establishes compliance with the 2003 International Energy Conservation Code:
Please see attached COMcheck Software "Envelope Compliance Certificate"

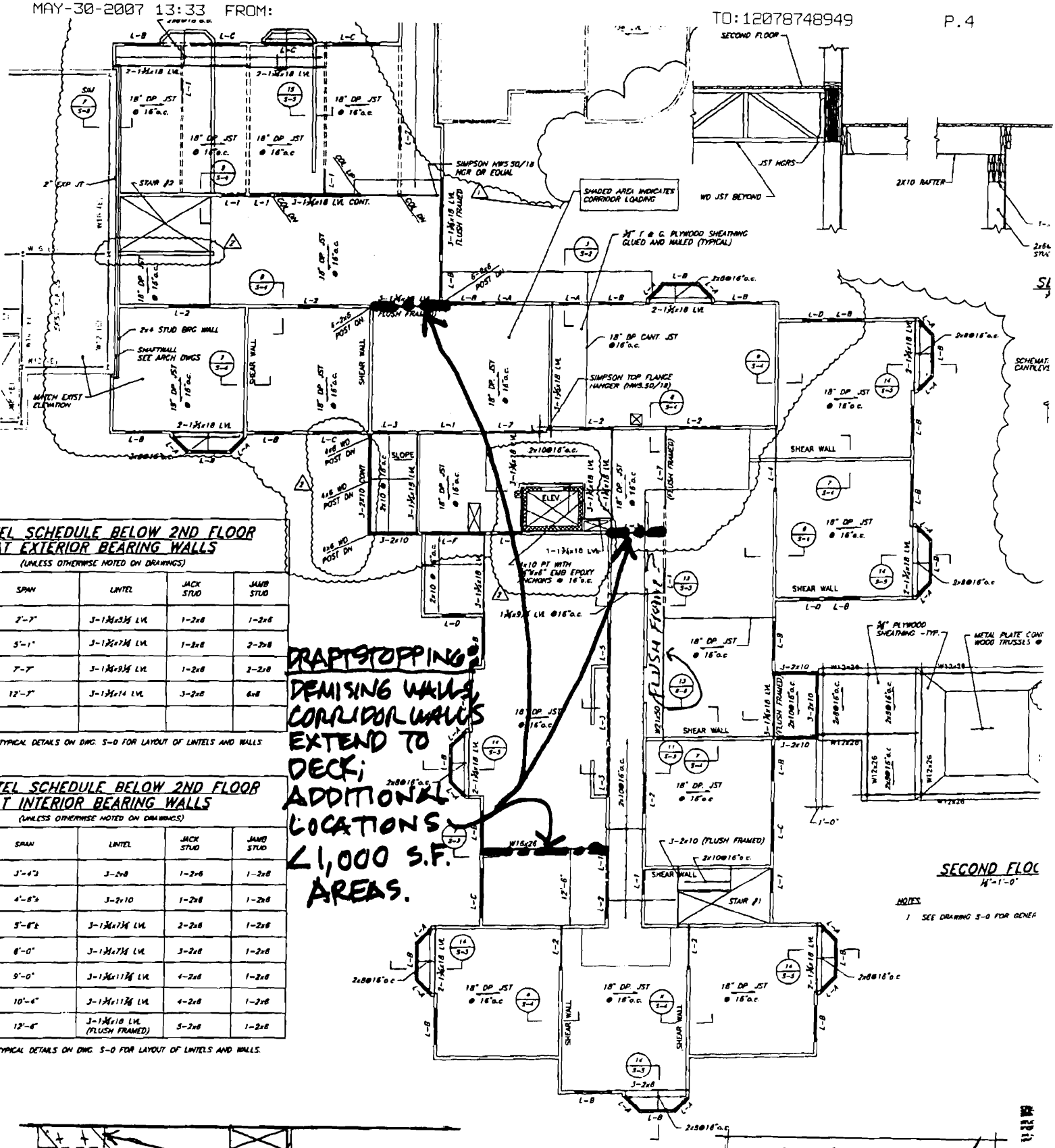
e. From previous correspondence regarding smoke dampers required at ducts penetrating corridor enclosures, and per your indication that our suggested backdraft dampers could not be used as a substitute, we will require that the Contractor install smoke dampers at these locations.

Thank you for your attention to this project. Please do not hesitate to call with questions, comments or concerns.

---

cc: with enclosures:
J. Watson, J.H.A. Services, Inc.
T. Yoder, Yoder Inc.
M. Cimino, C.M. Cimino, Inc.
M. Zade, Zade Company
File

Encl: Draftstopping Sketches, 2 pages, 5-24-07
Door Smoke and Draft Control Gasketing Product Literature, 2 pages
COMcheck Software "Envelope Compliance Certificate, 6 pages, 5-30-07



EL SCHEDULE BELOW 2ND FLOOR AT EXTERIOR BEARING WALLS

(UNLESS OTHERWISE NOTED ON DRAWINGS)

SPAN	LINTEL	JACK STUD	JAMB STUD
2'-7"	3-1 3/4x3 1/4 LVL	1-2x6	1-2x6
5'-1"	3-1 3/4x7 1/4 LVL	1-2x6	2-2x6
7'-7"	3-1 3/4x9 1/4 LVL	1-2x6	2-2x6
12'-7"	3-1 3/4x14 LVL	3-2x6	6x6

TYPICAL DETAILS ON DWG. S-0 FOR LAYOUT OF LINTELS AND WALLS.

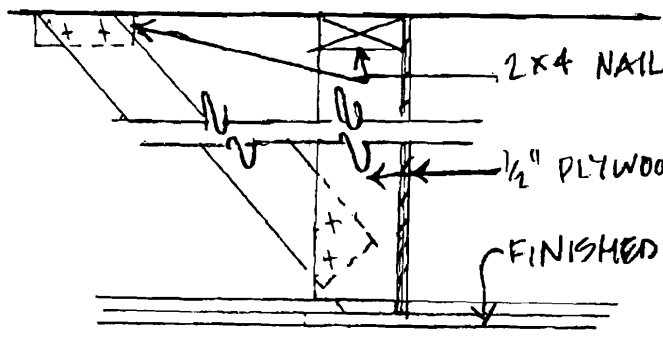
ITEL SCHEDULE BELOW 2ND FLOOR AT INTERIOR BEARING WALLS

(UNLESS OTHERWISE NOTED ON DRAWINGS)

SPAN	LINTEL	JACK STUD	JAMB STUD
3'-4"	3-2x8	1-2x6	1-2x6
4'-8"±	3-2x10	1-2x6	1-2x6
5'-8"±	3-1 3/4x7 1/4 LVL	2-2x6	1-2x6
8'-0"	3-1 3/4x7 1/4 LVL	3-2x6	1-2x6
9'-0"	3-1 3/4x11 7/8 LVL	4-2x6	1-2x6
10'-6"	3-1 3/4x11 7/8 LVL	4-2x6	1-2x6
12'-6"	3-1 3/4x18 LVL (FLUSH FRAMED)	5-2x6	1-2x6

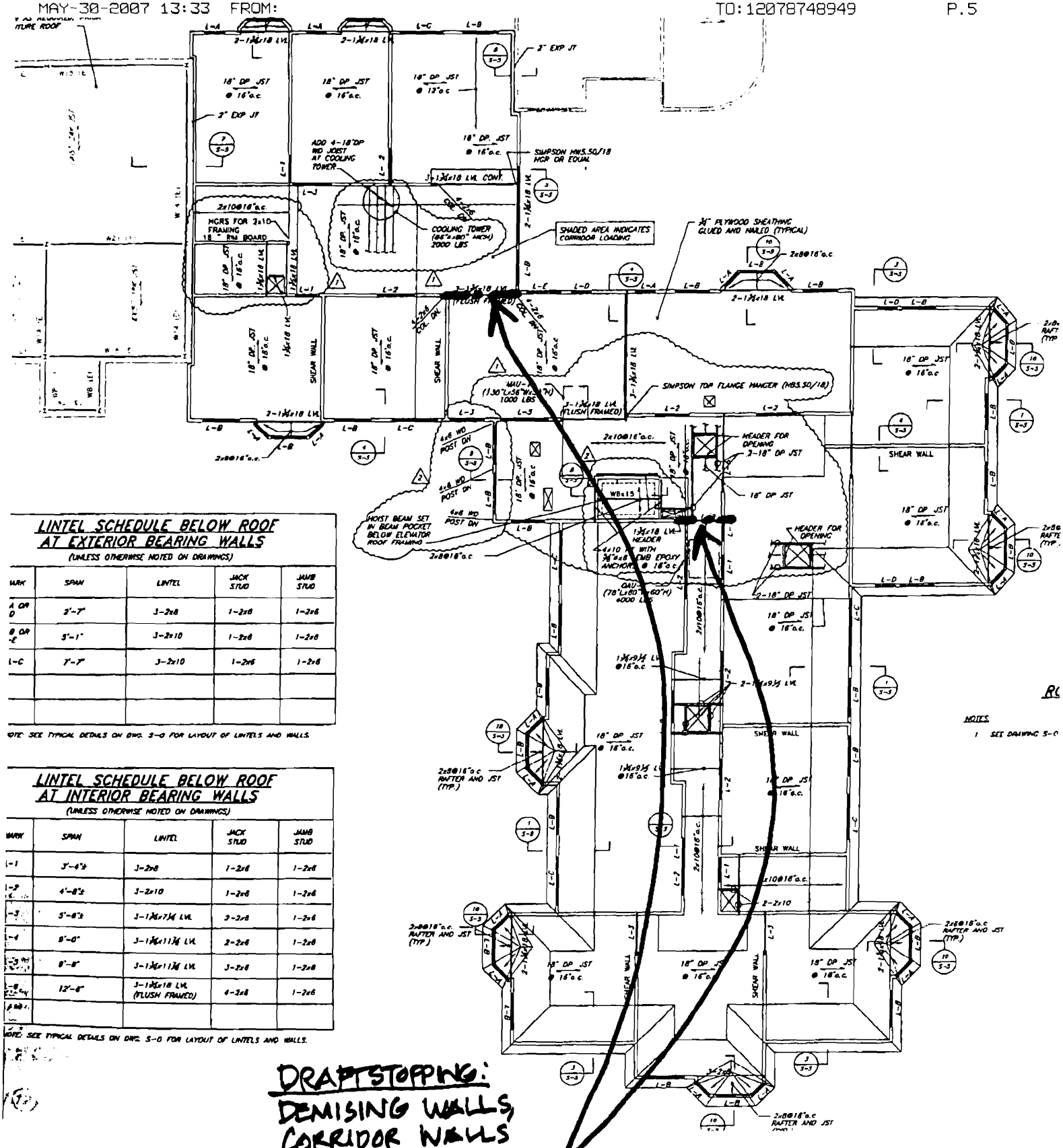
SE TYPICAL DETAILS ON DWG. S-0 FOR LAYOUT OF LINTELS AND WALLS.

DRAFTSTOPPING DEMISING WALLS CORRIDOR WALLS EXTEND TO DECK; ADDITIONAL LOCATIONS ≤ 1,000 S.F. AREAS.



DRAFTSTOPPING DETAIL

INN AT CEDARS
5-24-07
TAAP P.1
DETAIL 1 1/2" = 1'-0"
PLAN 1/32" = 1'-0"



LINTEL SCHEDULE BELOW ROOF AT EXTERIOR BEARING WALLS

(UNLESS OTHERWISE NOTED ON DRAWINGS)

MARK	SPAN	LINTEL	JACK STUD	JAMB STUD
A OR D	3'-7"	3-2x8	1-2x6	1-2x6
B OR E	5'-1"	3-2x10	1-2x6	1-2x6
L-C	7'-7"	3-2x10	1-2x6	1-2x6

NOTE: SEE TYPICAL DETAILS ON DWG. S-0 FOR LAYOUT OF LINTELS AND WALLS.

LINTEL SCHEDULE BELOW ROOF AT INTERIOR BEARING WALLS

(UNLESS OTHERWISE NOTED ON DRAWINGS)

MARK	SPAN	LINTEL	JACK STUD	JAMB STUD
L-1	3'-4"±	3-2x8	1-2x6	1-2x6
L-2	4'-8"±	3-2x10	1-2x6	1-2x6
L-3	5'-6"±	3-1¾"x7¼" LVL	2-2x6	1-2x6
L-4	9'-0"	3-1¾"x11¾" LVL	2-2x6	1-2x6
L-5	8'-8"	3-1¾"x11¾" LVL	3-2x6	1-2x6
L-6	12'-6"	3-1¾"x18 LVL (FLUSH FRAMED)	4-2x6	1-2x6

NOTE: SEE TYPICAL DETAILS ON DWG. S-0 FOR LAYOUT OF LINTELS AND WALLS.

NOTES

1 SEE DRAWING S-0

DRAFTSTOPPING: DEMISING WALLS, CORRIDOR WALLS EXTEND TO DECK; ADDITIONAL LOCATIONS

NOTE: ATTIC SPACE UNDER MANSARD < 3,000 S.F.

CEILING - < 1,000 S.F. AREAS.

DRAFTSTOPPING
INN AT CEDARS / TAAF
5-24-07 P. 2
1/32" = 1'-0"

National Guard Products, Inc.
PROTECTION, INSIDE OUT
Toll Free Phone 1-800-647-7874
Toll Free Fax 1-800-255-7874

Finish Information

Base Metal	Finishes Available: All finishes are not available on all products. Refer to part numbers for availability.				
Aluminum (Alloy - 6063, Hardness - T5)	Mill (AE) ANSI/BHMA 710 (No Suffix)	Clear Anodized ANSI/BHMA 628 NGP Suffix 'A'	Gold Anodized ANSI/BHMA 688 NGP Suffix 'B'	Dark Bronze ANSI/BHMA 710 NGP Suffix 'DKB'	Bright Polished ANSI/BHMA 712 NGP Suffix 'POL'
Architectural Bronze (Alloy = CDA 385)	Satin Brass ANSI/BHMA 720 NGP Suffix 'BR'	Polished Brass ANSI/BHMA 721 NGP Suffix 'BR-POL'	Dark Bronze ANSI/BHMA 722 NGP Suffix 'BR-DKB'	All rolled bronze weatherstrip is furnished of alloys 85-15 or 90-10 commercial bronze, hardness H-4.	
Stainless Steel (Type 304)	Mill Finish #28 NGP Suffix 'SS'	Polished Stainless ANSI/BHMA 629 NGP Suffix 'SS-POL'	Brushed Stainless finish #4 ANSI/BHMA 630 NGP Suffix 'SS-Brushed'		
POWDER COAT FINISHES AVAILABLE - SEE PAGE L2 FOR DETAILS					

Symbols/Legend

UL10B CLASSIFIED, complies with NFPA 252 (2003) for application to Steel fire doors rated up to 3 Hrs., and Wood type fire doors rated up to 1 1/2 hrs. (Rating on some items vary and are noted.)

POSITIVE PRESSURE UL10C CLASSIFIED, Category 'J' listed. Complies with IBC, UBC7-2 (1997) for application to Positive Pressure Steel fire doors rated up to 3 Hrs., and Wood type Fire doors rated up to 1-1/2 Hrs. (Ratings on some items vary and are noted.)

NGP-EDGE® SEALING SYSTEM, Category 'G' listed. REQUIRED for Category B listed wood type fire doors to meet positive pressure requirements complying with IBC, UBC7-2 (1997) Part 1. See individual products for maximum door size and ratings.

SMOKE & DRAFT CONTROL GASKETING. Category 'H' listed, complies with IBC, UBC7-2 (1997) Part 2, UL1784 (2004), NFPA 105 (2003) for use on all 'S' labeled Positive Pressure doors.

ACOUSTICAL TESTED to ASTM E90 and ASTM E413, by Riverbank Acoustical Laboratories in Geneva, IL. Refer to chart on page G5 for test result data.

AIR INFILTRATION TESTED to ASTM E283.

ANSI/BHMA CERTIFIED. Certified gasketing complies with A156.22-2005, and is listed in the BHMA Directory of Certified Products.

View our product listings online at www.ul.com/database/ and www.ngp.com

E-mail: ngpinfo@ngpinc.com www.ngp.com

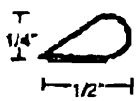
National Guard Products, Inc.
PROTECTION, INSIDE OUT
Toll Free Phone 1-800-647-7874
Toll Free Fax 1-800-255-7874

Positive Pressure Solutions

Combination NGP-Edge® Sealing System/Smoke and Draft Control Gasketing - Category 'G' and 'H' Listed:

Required for Category B wood fire doors to meet positive pressure and 'S' label requirements

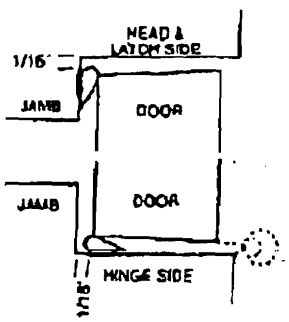
5050
Self-Adhesive Silicone Bulb
Fire and Smoke Seal



silicone

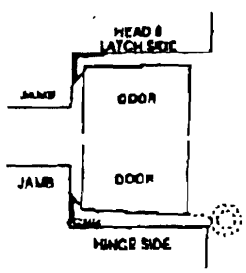
5050B Brown
5050C Charcoal
5050W White
5050T Tan
5050CL Clear

Available in 17', 20', 21', 25', and 300' rolls



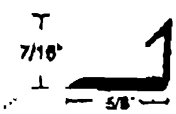
20 minute rated wood doors
with steel or wood fire rated
door frames up to:
single swing 4'0 x 8'0, perimeter
standard or double egress pairs 8'0 x 8'0, perimeter
use 9550 at the meeting edge of pairs

9450
Intumescent Single Batwing Self-Adhesive
Fire and Smoke Seal



20, 45, 60, 90 Minute rated wood
doors with steel or wood
fire-rated door frames up to:
single swing 4'0 x 9'0 perimeter
standard pair 8'0 x 9'0 perimeter
use 9550 at the meeting edge of pairs

Self-Adhesive



20 Minute rated wood door with aluminum fire
rated frame up to:
single swing 4'0" x 7'0" or 3'0" x 8'0" perimeter

9450B Brown
9450C Charcoal
9450W White

1/8" clearance required between door and frame.
Available in 36", 48", 84", 96" and 108" lengths

E-mail: ngpinfo@ngpinc.com www.ngp.com

CITY OF PORTLAND, MAINE
PLANNING BOARD

October 25, 2006

Mr. David Kamila
Land Use Consultants
966 Riverside Street
Portland, ME 04103

RE: Cedars Assisted Living Facility Expansion; 630 Ocean Avenue;

CBL: CBL # 174-A-013; 174-A-014; 170-A-002; #2006-0200.

Dear Mr. Kamila,

On October 24, 2006, the Portland Planning Board voted on the following motions for the Cedars Assisted Living Facility expansion in the vicinity of 630 Ocean Avenue:

1. The Planning Board voted 7-0 that the plan was in conformance with the Conditional Use Standards of the Land Use Code.

2. The Planning Board voted 7-0 that the plan was in conformance with the Site Plan Ordinance Standards of the Land Use Code with the following condition of approval:

    i. That the site plan shall be revised to incorporate the comments of Jim Seymour (Development Review Engineer) memo dated October 24, 2006 and shall comply with these comments.

The approved plan includes 30 assisted living units.

The approval is based on the submitted site plan and the findings related to site plan and conditional use review standards as contained in Planning Report #61-06, which is attached.

Please note the following provisions and requirements for all site plan approvals:

1. Where submission drawings are available in electronic form, the applicant shall submit any available electronic AutoCAD files (*.dwg), release 14 or greater, with seven (7) sets of the final plans.

2. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and 7 final sets of plans must be submitted to and approved by the Planning Division and Public Works prior to the release of the building permit. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

3. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.

4. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.

5. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Work's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.

6. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Rick Knowland, Senior Planner at 874-8725.

Sincerely,

Kevin Beal, Chair
Portland Planning Board

cc: Lee D. Urban, Planning and Development Department Director
Alexander Jaegerman, Planning Division Director
Sarah Hopkins, Development Review Services Manager
Rick Knowland, Senior Planner
Jay Reynolds, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Inspections Division

O:\PLAN\DEVREVW\OCEAN630\10-25-06approvalletter.doc

Michael Bobinsky, Public Works Director
Eric Labelle, City Engineer
Bill Clark, Public works
Jim Carmody, Transportation Manager
Jeff Tarling, City Arborist
Penny Littell, Associate Corporation Counsel
Captain Greg Cass, Fire Prevention
Assessor's Office
Approval Letter File
Kathryn Callnan, President, The Cedars, 630 Ocean Avenue, Portland, ME 04103
Eric Stauffer, Preti Flaherty, P.O. Box 9546, Portland, ME 04112

City of Portland Site Plan Application

If you or the property owner owes real estate taxes, personal property taxes or user charges on any property within the City, payment arrangements must be made before permit applications can be received by the Inspections Division.

Address of Proposed Development:		**Zone:** R3	
Existing Building Size:	sq. ft.	**Proposed Building Size:** 11,900	sq. ft.
Existing Acreage of Site:	sq. ft.	**Proposed Acreage of Site:** 460,350	sq. ft.
Tax Assessor's Chart, Block & Lot: Chart# Block# Lot# 174-A-013, 174-A-014, 170-A-020	**Property owner's mailing address:** 630 Ocean Avenue Portland, ME 04101	**Telephone #:** 207-772-5456	
Consultant/Agent, mailing address, phone # & contact person: Eric P. Stauffer, Esq. Preti, Flaherty P.O. Box 9546 Portland, ME 04112 207-791-3205	**Applicant's name, mailing address, telephone #/Fax#/Pager#:** JHA Services, Inc. 630 Ocean Ave. see Footnote 1 Portland, ME 04101 207-772-5456	**Project name:** CEDARS ASSISTED LIVING FACILITY	

Fee For Service Deposit (all applications) X ($200.00)

Proposed Development (check all that apply)

X New Building ___ Building Addition ___ Change of Use ___ Residential ___ Office ___ Retail
___ Manufacturing ___ Warehouse/Distribution ___ Parking lot
___ Subdivision ($500.00) + amount of lots____ ($25.00 per lot) $_____ + major site plan fee if applicable
___ Site Location of Development ($3,000.00)
(except for residential projects which shall be $200.00 per lot_____)
___ Traffic Movement ($1,000.00) ___ Storm water Quality ($250.00)
___ Section 14-403 Review ($400.00 + $25.00 per lot)
___ Other_____

Major Development (more than 10,000 sq. ft.)

X Under 50,000 sq. ft. ($500.00)
___ 50,000 - 100,000 sq. ft. ($1,000.00)
___ Parking Lots over 100 spaces ($1,000.00)
___ 100,000 - 200,000 sq. ft. ($2,000.00)
___ 200,000 - 300,000 sq. ft. ($3,000.00)
___ Over 300,000 sq. ft. ($5,000.00)
___ After-the-fact Review ($1,000.00 + applicable application fee)

Minor Site Plan Review

___ Less than 10,000 sq. ft. ($400.00)
___ After-the-fact Review ($1,000.00 + applicable application fee)

Plan Amendments

___ Planning Staff Review ($250.00)
___ Planning Board Review ($500.00)

~ Please see next page ~

Who billing will be sent to: (Company, Contact Person, Address, Phone #)

Preti, Flaherty
Attn: Eric P. Stauffer, Esq.
P.O. Box 9546
Portland, ME 04112-9546

Submittals shall include (9) separate **folded** packets of the following:

a. copy of application
b. cover letter stating the nature of the project
c. site plan containing the information found in the attached sample plans checklist
d. 1 set of 11 x 17 plans

Amendment to Plans: **Amendment applications should include 9 separate packets of the above (a, b, & c)**

ALL PLANS MUST BE FOLDED NEATLY AND IN PACKET FORM

Section 14-522 of the Zoning Ordinance outlines the process which is available on our web site: **portlandmaine.gov**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Signature Page Follows	**Date:**

This application is for site review ONLY; a building Permit application and associated fees will be required prior to construction.

City of Portland, Maine Site Plan Checklist

Cedars Assisted Living Facility
630 Ocean Avenue, Portland, ME 04101

Project Name, Address of Project Number | **Application**

Submitted () & Date (b,c)	Item	Required Information	Section 14-525
9/8/06, rev.4 6/30/06	(1)	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	1
x	(2)	Name and address of applicant and name of proposed development	a
x	(3)	Scale and north points	b
x	(4)	Boundaries of the site	c
x	(5)	Total land area of site	d
x	(6)	Topography - existing and proposed (2 feet intervals or less)	e
5/17/06	(7)	Plans based on the boundary survey including:	2
n/a	(8)	Existing soil conditions	a
x	(9)	Location of water courses, marshes, rock outcroppings and wooded areas	b
x	(10)	Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
x	(11)	Approx location of buildings or other structures on parcels abutting the site	d
x	(12)	Location of on-site waste receptacles	e
x	(13)	Public utilities	e
x	(14)	Water and sewer mains	e
x	(15)	Culverts, drains, existing and proposed, showing size and directions of flows	e
x	(16)	Location and dimensions, and ownership of easements, public or private rights-of-way, both existing and proposed	f
x	(17)	Location and dimensions of on-site pedestrian and vehicular access ways	g
x	(18)	Parking areas	g
x	(19)	Loading facilities	g
x	(20)	Design of ingress and egress of vehicles to and from the site onto public streets	g
x	(21)	Curb and sidewalks	g
5/17/06	(22)	Landscape plan showing:	h
x	(23)	Location of existing proposed vegetation	h
x	(24)	Type of vegetation	h
x	(25)	Quantity of plantings	h
x	(26)	Size of proposed landscaping	h
x	(27)	Existing areas to be preserved	h
x	(28)	Preservation measures to be employed	h
x	(29)	Details of planting and preservation specifications	h
x	(30)	Location and dimensions of all fencing and screening	i
x	(31)	Location and intensity of outdoor lighting system	j
x	(32)	Location of fire hydrants, existing and proposed	k
5/17/06	(33)	Written statement	c
x	(34)	Description of proposed uses to be located on site	l
n/a	(35)	Quantity and type of residential, if any	l
x	(36)	Total land area of the site	b2
x	(37)	Total floor area and ground coverage of each proposed building and structure	b2
x	(38)	General summery of existing and proposed easements or other burdens	c3
x	(39)	Method of handling solid waste disposal	4
x	(40)	Applicant's evaluation of availability of off-site public facilities, including sewer, water and streets	5
x	(41)	Description of any problems of drainage or topography, or a representation that there are none	6
x	(42)	An estimate of the time period required for completion of the development	7
x	(43)	A list of all state and federal regulatory approvals to which the development may be subject to. **	8

x	(44)	The status of any pending applications	8
x	(45)	Anticipated timeframe for obtaining such permits	h8
x	(46)	A letter of non jurisdiction	h8
x	(47)	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that is has reviewed the planned development and would seriously consider financing it when approved.	

**** If project consists of soil disturbance of over one acre, a Maine Construction General Permit is required from the Maine Department of Environmental Protection.**

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities;
- erosion and sedimentation controls to be used during construction;
- a parking and/or traffic study;
- emissions; and
- a wind impact analysis.
- an environmental impact study;
- a sun shadow study;
- a study of particulates and any other noxious
- a noise study;

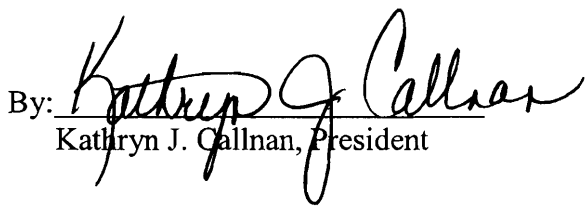
Other comments:

This is a reapplication for site plan approval and conditional use approval previously approved on September 13, 2005.

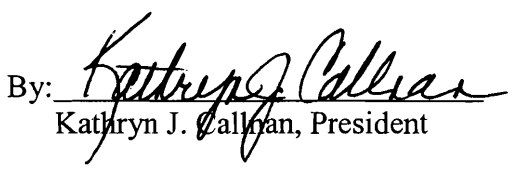
Footnote 1: Additional co-applicants are JHA Assisted Living, Inc. and Cedars Condominiums Homeowners Association

Site Plan Application Signature Page

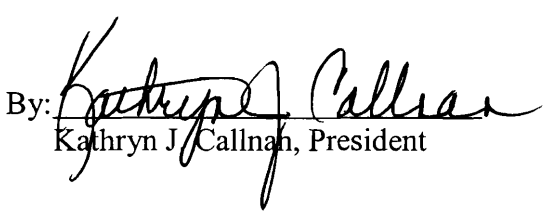
JHA SERVICES, INC.

By: 
Kathryn J. Callnan, President

JHA ASSISTED LIVING, INC.

By: 
Kathryn J. Callnan, President

CEDARS CONDOMINIUMS
HOMEOWNERS ASSOCIATION

By: 
Kathryn J. Callnan, President

Conditional Use Application

Department of Planning and Development
Portland Planning Board

1. **Applicant Information:**

JHA Services, Inc and JHA Assisted Living, Inc.
Name

630 Ocean Avenue
Address

Portland, ME 04101

207-772-5456
Phone Fax

2. **Subject Property:**

630 Ocean Avenue, Unit 2
Address

Portland, ME 04101

174-A-013, 174-A-014, 170-A-020
Assessor's Reference (Chart-Block-Lot)

3. **Property Owner:** ____ Applicant ____ Other

JHA Assisted Living, Inc. (Unit 2)
Name

630 Ocean Avenue
Address

Portland, ME 04101

207-772-5456
Phone Fax

4. **Current Zoning Designation(s):**

R3

5. **Right, Title, or Interest:** Please identify the status of the applicant's right, title, or interest in the subject property:

JHA Assisted Living, Inc.

Provide documentary evidence, attached to this application, of applicant's right, title, or interest in the subject property. (For example, a deed, option or contract to purchase or lease the subject property.)

6. **Vicinity Map:** Attach a map showing the subject parcel and abutting parcels, labeled as to ownership and/or current use. (Applicant may utilize the City Zoning Map or Parcel Map as a source.)

7. **Existing Use:**

Describe the existing use of the subject property: Institutional - long term & extended care facility and intermediate care facility

8. **Type of Conditional Use Proposed:**

Institutional - intermediate care facility

9. **Sketch Plan:** On a separate sheet please provide a sketch plan of the property, showing existing and proposed improvements, including such features as buildings, parking, driveways, walkways, landscape and property boundaries. This may be a professionally drawn plan, or a carefully drawn plan, to scale, by the applicant. (Scale to suit, range from 1"=10' to 1"=100'.)

10. **Conditional Use Authorized by: Section 14-** _____

11. **Standards - Criteria for Conditional Use Appeal**

Upon a showing that a proposed use is a conditional use under this article, a conditional use permit shall be granted unless the Board determines that:

a. There are unique or distinctive characteristics or effects associated with the proposed conditional use;

b. There will be an adverse impact upon the health, safety, or welfare of the public or the surrounding area;

c. Such impact differs substantially from the impact which would normally occur from such a use in that zone.

12. **Application Fee:** A fee for must be submitted by check payable to the City of Portland in accordance with Section 14-54 of the Municipal Code (see below). The applicant also agrees to pay all costs of publication (or advertising) of the Workshop and Public Hearing notices as required for this application. Such amount will be billed to the applicant following the appearance of the advertisement.

X Fee for Service Deposit ($200.00)
(Required for all applications in addition to the applicable application fee listed below)

X	Conditional Use	$100.00
	Legal Advertisements	percent of total bill
	Notices (workshop and public hearing)	.55 cents each

NOTE: Legal notices placed in the newspaper for the public hearing meeting are required by State Statue and local ordinance. The cost of any and all Newspaper advertisements, legal advertisements and Planning Board notices will be billed directly to the applicant.

13. **Signature:** The above information is true and accurate to the best of my knowledge.

Signature Page Follows

Date of Filing _____ Signature of Applicant _____

Further Information: Please contact the Planning Division for further information regarding the conditional use process. Applicants are encouraged to make an appointment to discuss their conditional use before filing the application.

Applicants are encouraged to include a letter or narrative to accompany the conditional use application which can provide additional background or contextual information, and describe the proposed conditional use and reasons for the request in a manner that best suits the situation.

Portland Planning Board, Portland, Maine- Effective: July 6, 1998

Conditional Use Application Signature Page

JHA SERVICES, INC.

By: Kathryn J. Callnan President
Kathryn J. Callnan, President

JHA ASSISTED LIVING, INC.

By: Kathryn J. Callnan
Kathryn J. Callnan, President

Bldg Permit # 07-0242

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

10/11/06

2006-0200
Application I. D. Number

10/10/2006
Application Date

Jewish Home For The Aged The
Applicant

630 Ocean Ave, Portland, ME 04101
Applicant's Mailing Address

Cedars Assisted Living Facility
Project Name/Description

Consultant/Agent

630 - 630 Ocean Ave, Portland, Maine
Address of Proposed Site

Applicant Ph: (207) 772-5456 **Agent Fax:**
Applicant or Agent Daytime Telephone, Fax

174 A013001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☑ New Building ☐ Building Addition ☐ Change Of Use ☐ Residential ☐ Office ☐ Retail
☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Apt **0** ☐ Condo **0** ☐ Other (specify)

Proposed Building square Feet or # of Units	Acreage of Site	Zoning
	460350	**R3**

Check Review Required:

☑ Site Plan (major/minor) ☐ Zoning Conditional - PB ☐ Subdivision # of lots
☐ Amendment to Plan - Board Review ☐ Zoning Conditional - ZBA ☐ Shoreland ☐ Historic Preservation ☐ DEP Local Certification
☐ Amendment to Plan - Staff Review ☐ Zoning Variance ☐ Flood Hazard ☐ Site Location
☐ After the Fact - Major ☐ Stormwater ☐ Traffic Movement ☐ Other
☐ After the Fact - Minor ☐ PAD Review ☐ 14-403 Streets Review

Fees Paid: Site Plan **$500.00** Subdivision Engineer Review Date **10/11/2006**

Zoning Approval Status:

Reviewer Marge S.

☐ **Approved** ☐ **Approved w/Conditions** See Attached ☐ **Denied**

Approval Date Approval Expiration Extension to ☐ Additional Sheets Attached

☐ Condition Compliance signature date

Performance Guarantee ☐ **Required*** ☐ **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted	date	amount	expiration date
☐ Inspection Fee Paid	date	amount	
☐ Building Permit Issue	date		
☐ Performance Guarantee Reduced	date	remaining balance	signature
☐ Temporary Certificate of Occupancy	date	☐ Conditions (See Attached)	expiration date
☐ Final Inspection	date	signature	
☐ Certificate Of Occupancy	date		
☐ Performance Guarantee Released	date	signature	
☐ Defect Guarantee Submitted	submitted date	amount	expiration date
☐ Defect Guarantee Released	date	signature	

DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME

DEPT. OF BUILDING INSPECTION CITY OF PORTLAND, ME
OCT 11 2006
RECEIVED

PD 11/1/06

#2006 0200

630 Ocean Ave

174 A013

MEMORANDUM

Echo Bridge Office Park
389 Elliot Street
Newton Upper Falls, MA 02464
617.969.4774
617.969.4793 Fax
www.tsomides.com

Tsomides
Associates
Architects
Planners

DATE: October 31, 2006

TO: **Mr. Rick Knowland**
Senior Planner
Planning and Development Dept.
City of Portland

FROM: Tom McBride

RE: The Cedars Rehabilitation Addition
Portland, ME

Dear Rick:

Following is most of the information we discussed yesterday about this project. We are in the process of verifying the question of whether this addition is expected to increase the number of people coming on to the site, and will forward this information as soon as we have it.

The Cedars Rehabilitation Center Addition

1. Addition size = 1,400 square feet

2. Activities = The Rehabilitation Center / Physical Therapy Room is utilized by a team of health and physical therapy experts to treat and rehabilitate patients with physical disabilities and/or medical complications limiting their physical capabilities. Toward this end, the facility will include an exercise area, offices, meeting and storage space.

3. Please see attached .pdf files of The Cedars Site Plan and Floor Plan. The floor plan indicates the line of the existing physical therapy area that is being expanded. Relative to the site, we expect that the addition may result in the loss of one parking space, however, other site impacts should be minimal.

We are interested in your feedback as to the requirements we need to fulfill in order to obtain approval for this project.

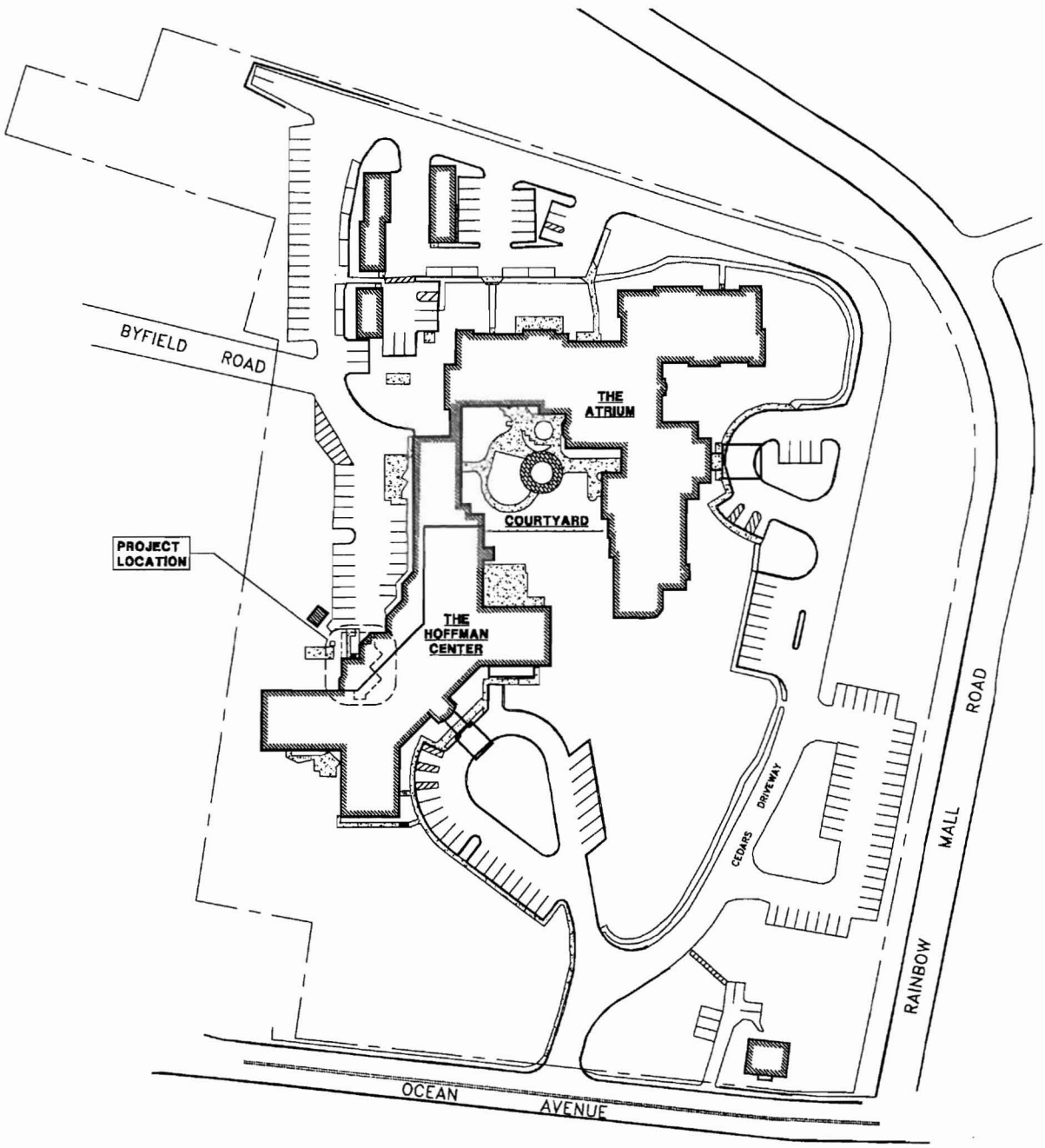
Thank you for your attention to this.

Sincerely,

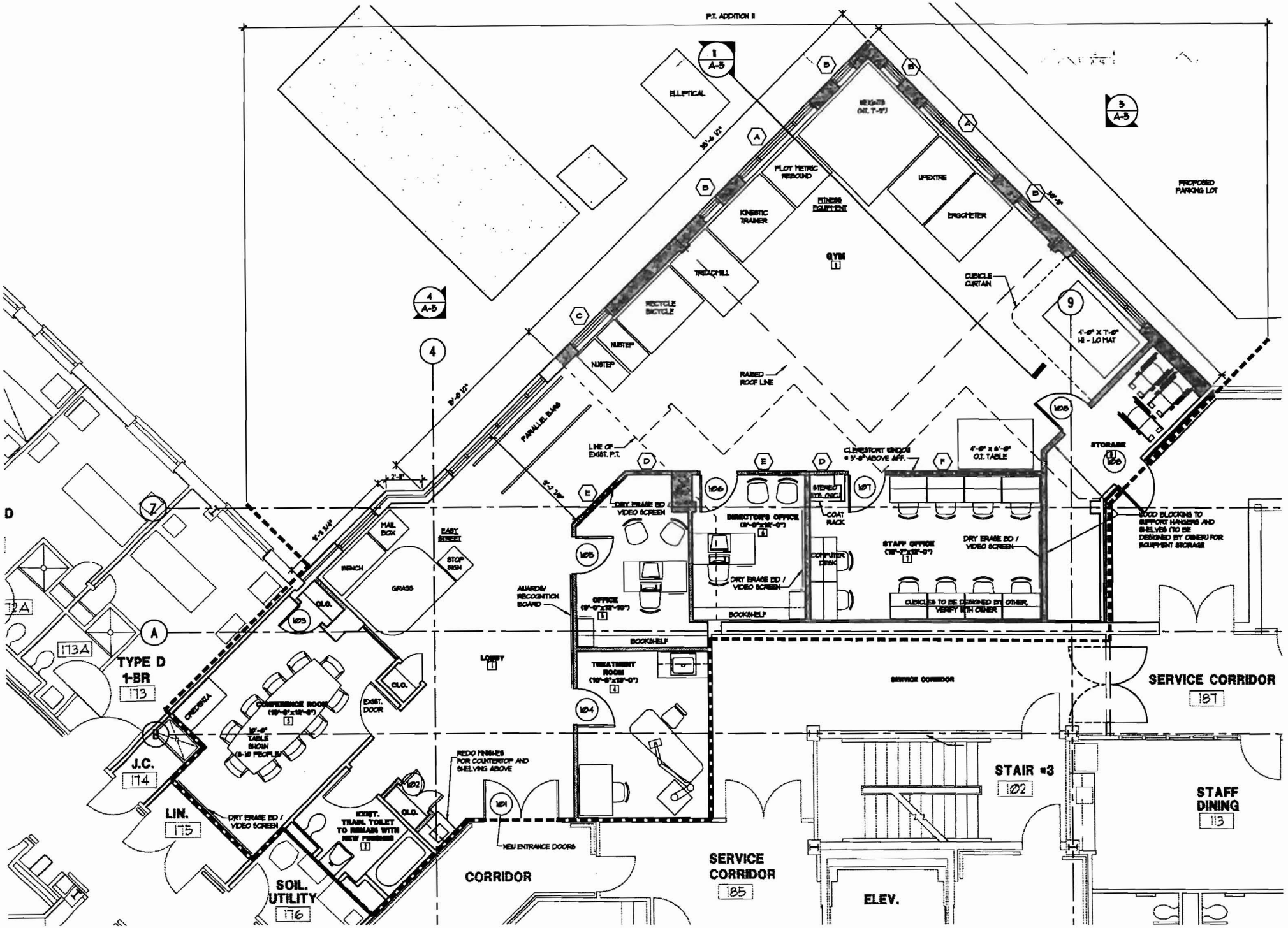
Tom McBride
Associate

cc: K. Callnan, J. Watson, The Cedars, T. Yoder, Yoder, Inc., File

encl. Floor Plan and Site Plan



1 THE CEDARS CAMPUS SITE PLAN


P.T. ADDITION II
ELLIPTICAL
WEIGHTS (WT. T-9")
FLOY METRIC REBOUND
KINESTIC TRAINER
FITNESS EQUIPMENT
UPEXTRE
ERGOMETER
PROPOSED PARKING LOT
GYM 1
TREADMILL
RECYCLE BICYCLE
NUSTEP
NUSTEP
CUBICLE CURTAIN
4'-6" X T-6" HI - LO MAT
RAISED ROOF LINE
PARALLEL BARS
LINE OF EXIST. P.T.
CLERESTORY WINDOW @ 9'-9" ABOVE AFF.
4'-6" x 6'-6" O.T. TABLE
STORAGE
106
DRY ERASE BD / VIDEO SCREEN
DIRECTOR'S OFFICE
STEREO VIL ONIC
COAT RACK
STAFF OFFICE
DRY ERASE BD / VIDEO SCREEN
WOOD BLOCKING TO SUPPORT HANGERS AND SHELVES (TO BE DESIGNED BY OWNER) FOR EQUIPMENT STORAGE
AWARDS/ RECOGNITION BOARD
OFFICE
COMPUTER DESK
DRY ERASE BD / VIDEO SCREEN
CUBICLES TO BE DESIGNED BY OTHER, VERIFY WITH OWNER
BOOKSHELF
BOOKSHELF
LOBBY
TREATMENT ROOMS
SERVICE CORRIDOR
SERVICE CORRIDOR
187
MAIL BOX
BENCH
GRASS
STOP SIGN
EASY STREET
CLG.
103
TYPE D
1-BR
173
173A
172A
CREDENZA
CONFERENCE ROOM
EXIST. DOOR
CLG.
J.C.
174
LIN.
175
DRY ERASE BD / VIDEO SCREEN
EXIST. TRAIN. TOILET TO REMAIN WITH NEW FINISHES
REDO FINISHES FOR COUNTERTOP AND SHELVING ABOVE
102
101
NEW ENTRANCE DOORS
CORRIDOR
SOIL. UTILITY
176
SERVICE CORRIDOR
185
ELEV.
STAIR #3
102
STAFF DINING
113
1
A-5
5
A-5
4
A-5
9
4
Z
A
B
C
D
E
F

Sec. 14-351. Minimum loading bays or loading berth.

In those zones where off-street loading is required, the following minimum off-street loading bays or loading berths shall be provided and maintained in the case of new construction, alterations and change of use:

(1) Office buildings and hotels with a gross floor area of more than one hundred thousand (100,000) square feet: One (1) bay.

(2) Retail, wholesale and industrial operations with a gross floor area of more than five thousand (5,000) square feet:

a. 5,000 to 40,000: 1 bay;

b. 40,001 to 100,000: 2 bays;

c. 100,001 to 160,000: 3 bays;

d. 160,001 to 240,000: 4 bays;

e. 240,001 to 320,000: 5 bays;

f. 320,001 to 400,000: 6 bays;

g. Each 90,000 over 460,000 square feet: 1 additional bay.

(3) Hospitals and nursing and convalescent homes: Two (2) off-street loading areas shall be provided whereby one (1) service area for ambulance and other emergency vehicles shall be separate from one (1) service area accommodating supply vehicles, and whereby both off-street loading areas shall be separate from parking and entrance locations.

(Code 1968, § 602.15.A; Ord. No. 49-74, 1-7-74)

Sec. 14-352. Dimensions. 14 X 50

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy

2004-0078
Application I. D. Number

12/23/04
Application Date

JHA Services, Inc.
Applicant

630 Ocean Avenue, Portland, ME 04101
Applicant's Mailing Address

Cedars Assisted Living Facility
Project Name/Description

Consultant/Agent

630 - 630 Ocean Ave, Portland, Maine
Address of Proposed Site

Applicant Ph: (207) 772-5456 **Agent Fax:**
Applicant or Agent Daytime Telephone, Fax

174 A013001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): ☐ New Building ☐ Building Addition ☐ Change Of Use ☐ Residential ☐ Office ☐ Retail ☐ Manufacturing ☐ Warehouse/Distribution ☐ Parking Lot ☐ Other (specify)

11,900 s.f.		**R3**
Proposed Building square Feet or # of Units	Acreage of Site	Zoning

Check Review Required:

☑ Site Plan (major/minor)	☐ Subdivision # of lots	☐ PAD Review	☐ 14-403 Streets Review
☐ Flood Hazard	☐ Shoreland	☐ HistoricPreservation	☐ DEP Local Certification
☐ Zoning Conditional Use (ZBA/PB)	☐ Zoning Variance		☑ Other **Conditional Use**

Fees Paid: Site Plan **$500.00** Subdivision _____ Engineer Review **$1,646.25** Date: **7/25/05**

Zoning Approval Status:

Reviewer _____

☐ **Approved** ☐ **Approved w/Conditions** See Attached ☐ **Denied**

Approval Date _____ Approval Expiration _____ Extension to _____ ☐ Additional Sheets Attached

☐ Condition Compliance _____ signature _____ date

Performance Guarantee ☐ **Required*** ☐ **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

☐ Performance Guarantee Accepted	date	amount	expiration date
☐ Inspection Fee Paid	date	amount	
☐ Building Permit Issued	date		
☐ Performance Guarantee Reduced	date	remaining balance	signature
☐ Temporary Certificate of Occupancy	date	☐ Conditions (See Attached)	expiration date
☐ Final Inspection	date	signature	
☐ Certificate Of Occupancy	date		
☐ Performance Guarantee Released	date	signature	
☐ Defect Guarantee Submitted	submitted date	amount	expiration date

From: Rick Knowland
To: Marge Schmuckal
Date: Mon, Sep 12, 2005 12:34 PM
Subject: Re: 630 Ocean Ave - Cedars

Marge, It is on the rear side of the building. As you enter the site take a left, on the right hand side you'll see a patio and a walkway into the building. I believe that is the place. That leads to where the ambulances will pick us up sometime in the future.

>>> Marge Schmuckal 09/12/2005 12:23:02 PM >>>
Rick,
Where is the emergency entrance? Where do ambulances pull up to?
Thanks
Marge

From: Marge Schmuckal
To: RICK KNOWLAND
Date: Mon, Sep 12, 2005 2:32 PM
Subject: 630 Ocean Ave - Cedars

Rick,
I have reveiwed this project for zoning code compliance. The majority of this lot is located within an R-3 zone with a 100 foot deep strip of R-5 zone along Ocean Avenue. The R-3 standards are applied to this property.

If the condominium documents show this land (all ten plus acres) to be one lot with three separate condominiums, then all the R-3 zone requirements, pending the conditional use Planning Board approval, have been met. All the dimensional requirements, including setback height, and lot coverage have been met. Based on the information provided in their application, all the parking requirements have been met.149 parking spaces are required. I counted only 171 parking spaces on the map provided. The application states that 188 spaces are shown. I could not confirm that number on the given plat.

Marge Schmuckal
Zoning Administrator