

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

BUILDING INSPECTION

## PERMIT

Permit Number: 090949

Please Read Application And Notes, If Any, Attached

This is to certify that BUTLER BRENDA A /PBN E ders / Pe

has permission to replacing existing stair (non co rming) new stair

AT LASHLAR CT

CL 173 A001A01

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work closed-in. 2 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_ Department Name

*Thomas M. Marilly* 9/02/09  
Director - Building & Inspection Services


PENALTY FOR REMOVING THIS CARD



**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0949	Issue Date:	CBL: 173 A001A01
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Location of Construction: 1 ASHLAR CT	Owner Name: BUTLER BRENDA A	Owner Address: 1 ASHLAR CT	Phone:
Business Name:	Contractor Name: PBN Builders / Paul Nash	Contractor Address: PO Box 1315 Naples	Phone: 2076503065
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-5
Past Use: Residential Condo	Proposed Use: Residential Condo - replacing existing stair (non conforming) w/ new stairs <i>interior</i>	Permit Fee:	Cost of Work: \$5,000.00
Proposed Project Description: replacing existing stair (non conforming) w/ new stairs - <i>interior</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	CEO District: 4
		INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	<i>PRW</i>
		Signature:	Signature: <i>Jm 9/02/09</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied			
Signature: _____ Date: _____			

Permit Taken By: Ldobson	Date Applied For: 08/28/2009	<b>Zoning Approval</b>		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..		<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
		Date: <i>9/1/09</i>	Date: _____	Date: _____

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 09-0949	<b>Date Applied For:</b> 08/28/2009	<b>CBL:</b> 173 A001A01
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<b>Location of Construction:</b> 1 ASHLAR CT	<b>Owner Name:</b> BUTLER BRENDA A	<b>Owner Address:</b> 1 ASHLAR CT	<b>Phone:</b>
<b>Business Name:</b>	<b>Contractor Name:</b> PBN Builders / Paul Nash	<b>Contractor Address:</b> PO Box 1315 Naples	<b>Phone</b> (207) 650-3065
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Alterations - Dwellings	

<b>Proposed Use:</b> Residential Condo - replacing existing interior stair (non conforming) w/ new stairs	<b>Proposed Project Description:</b> replacing interior existing stair (non conforming) w/ new stairs
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<b>Dept:</b> Zoning	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Marge Schmuckal	<b>Approval Date:</b> 09/01/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) This property unit shall remain a single family condo dwelling. Any change of use shall require a separate permit application for review and approval. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.			
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tom Markley	<b>Approval Date:</b> 09/02/2009
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			

**BUILDING PERMIT INSPECTION PROCEDURES**

**Please call 874-8703 or 874-8693 (ONLY )**

**to schedule your inspections as agreed upon**

**Permits expire in 6 months, if the project is not started or ceases for 6 months.**

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

**By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.**

**A Pre-construction Meeting will take place upon receipt of your building permit.**

  X   **Final inspection required at completion of work.**

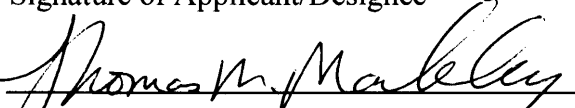
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

**CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.**

  
\_\_\_\_\_  
Signature of Applicant/Designee

  9/22/09    
Date

  
\_\_\_\_\_  
Signature of Inspections Official

  9/02/09    
Date



# General Building Permit Application

If you or the property owner own real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1 Ledgewood, 1 Ashlar Court, Portland, Me.</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>173</u> Block# <u>A</u> Lot# <u>1</u>	Applicant <u>must be owner, Lessee or Buyer</u> Name <u>Brenda A Butler</u> Address <u>1 Ashlar Court</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>207-733-4253</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>5000</u> C of O Fee: \$ <u>70.00</u> Total Fee: \$ _____
Current legal use (i.e. single family) _____ Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Replacing existing stairs (non-conforming to code) with new stairs and bringing them close to code as possible</u>		
Contractor's name: <u>ABN Builders, (PAUL NASH)</u> Address: <u>PO Box 1315 (343 Sebuse Rd)</u> City, State & Zip: <u>NAPLES, Maine 04055</u> Telephone: <u>207-650-3065</u> Who should we contact when the permit is ready: <u>PAUL NASH</u> Telephone: <u>207-650-3065</u> Mailing address: <u>PO Box 1315, NAPLES, Me. 04055</u>		

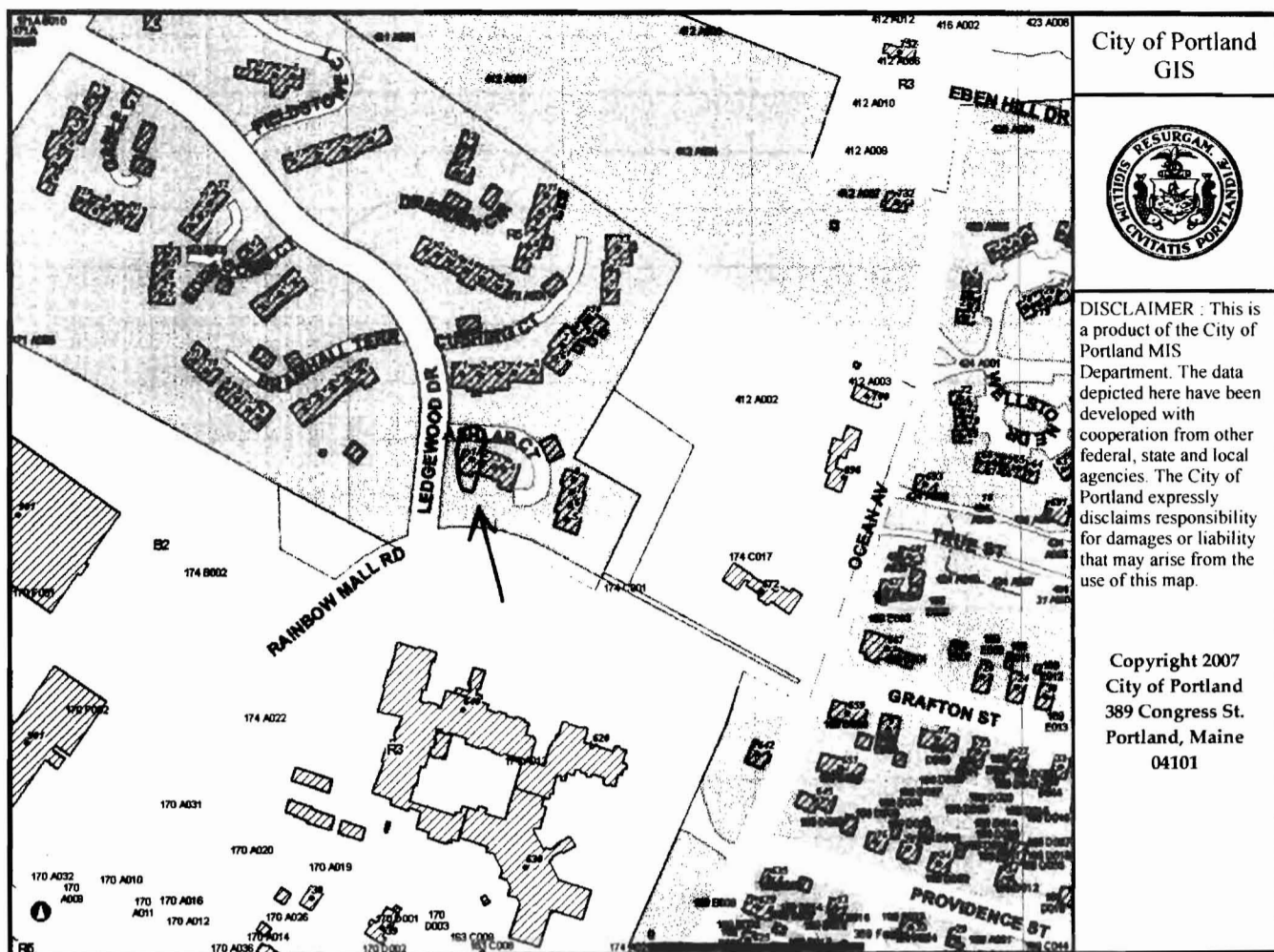
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

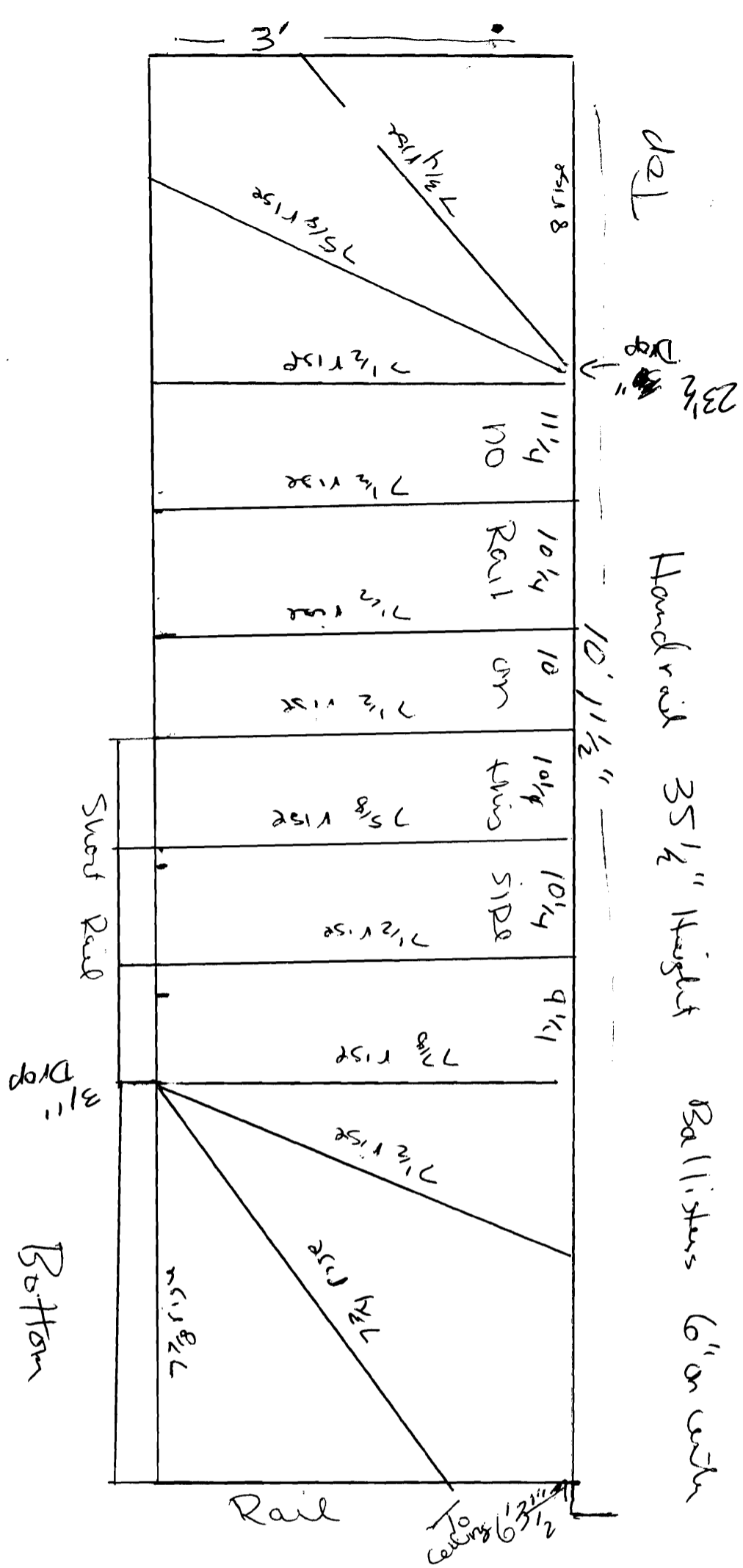
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Paul Nash Date: 8/28/09

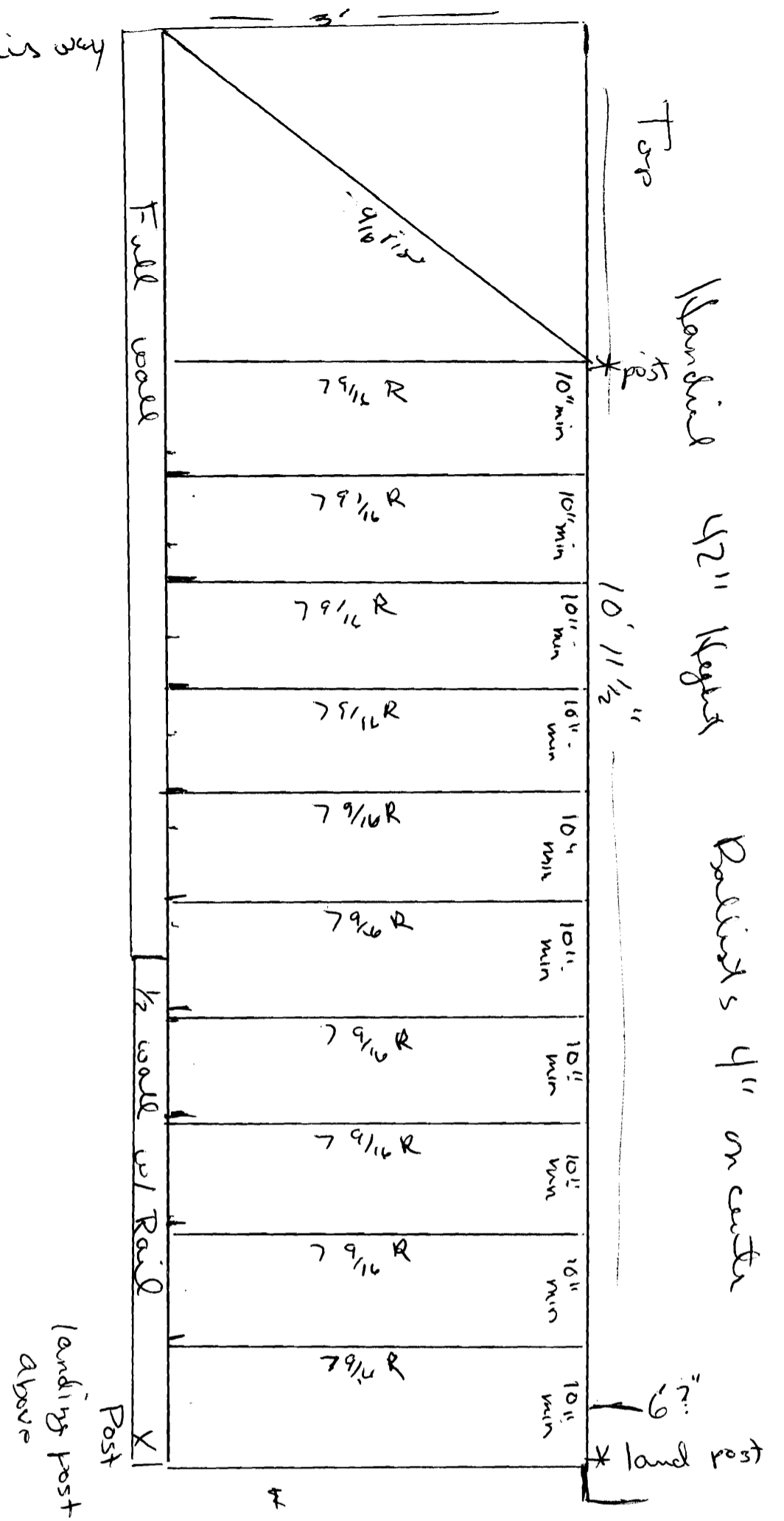
This is not a permit; you may not commence ANY work until the permit is issued



Existing Stair  
Brenda Butler Job

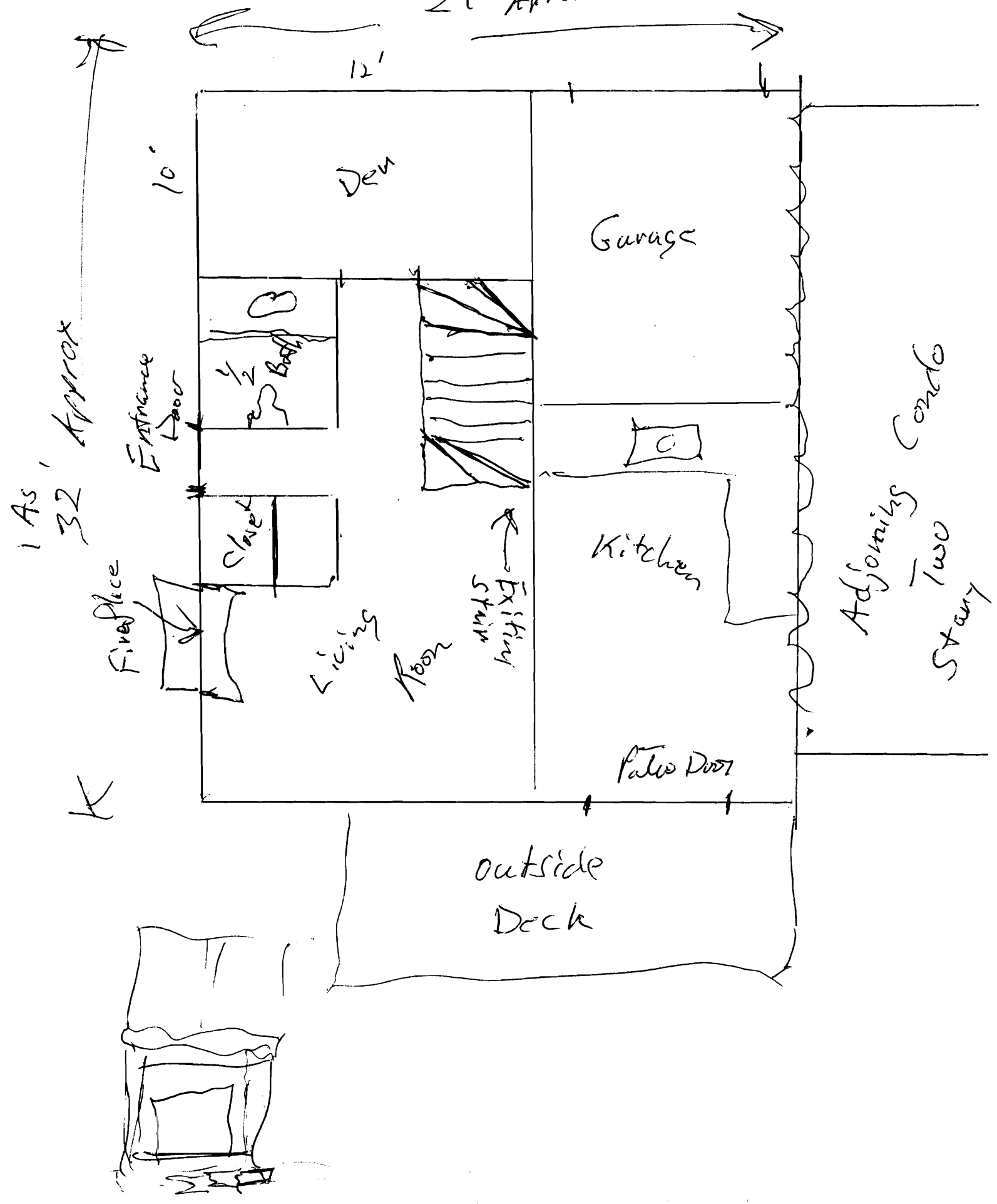


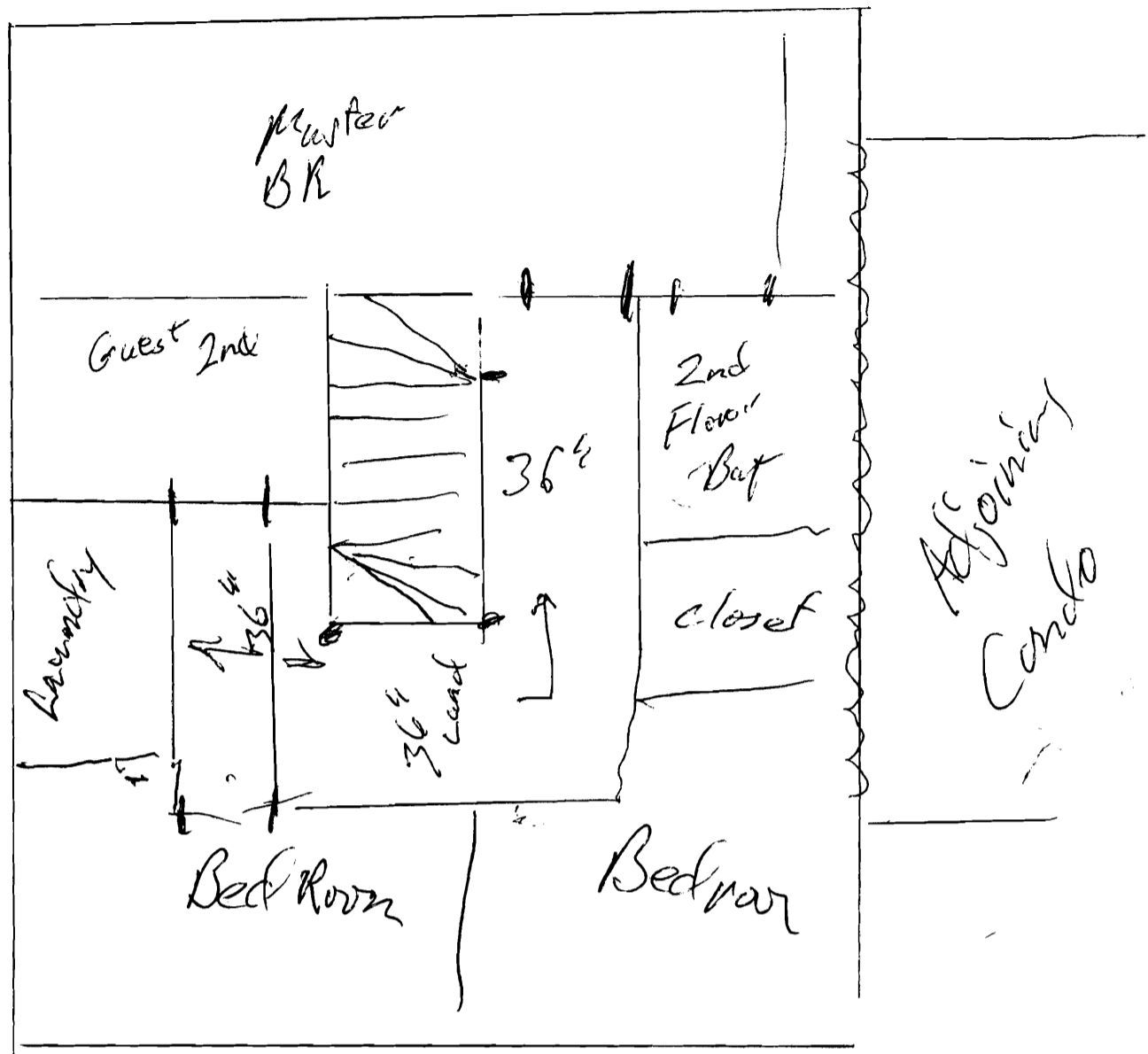
proposed stairs way  
 Brenda Butler Job





1st Floor 1 Ashlei Ct,  
24' Approx





2nd  
 Floor at  
 1 Ashlar Ct.

11" 2/16 1/16 10" 7/16 10" 11" 7/16 10" 7/16 10" 11" 7/16 10" 7/16 10" 11" 7/16

10" 7/16

10" 11" 7/16

10" 7/16

10" 11" 7/16

7" 9/16

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10" 11" 7/16

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10" 11" 7/16

7" 9/16

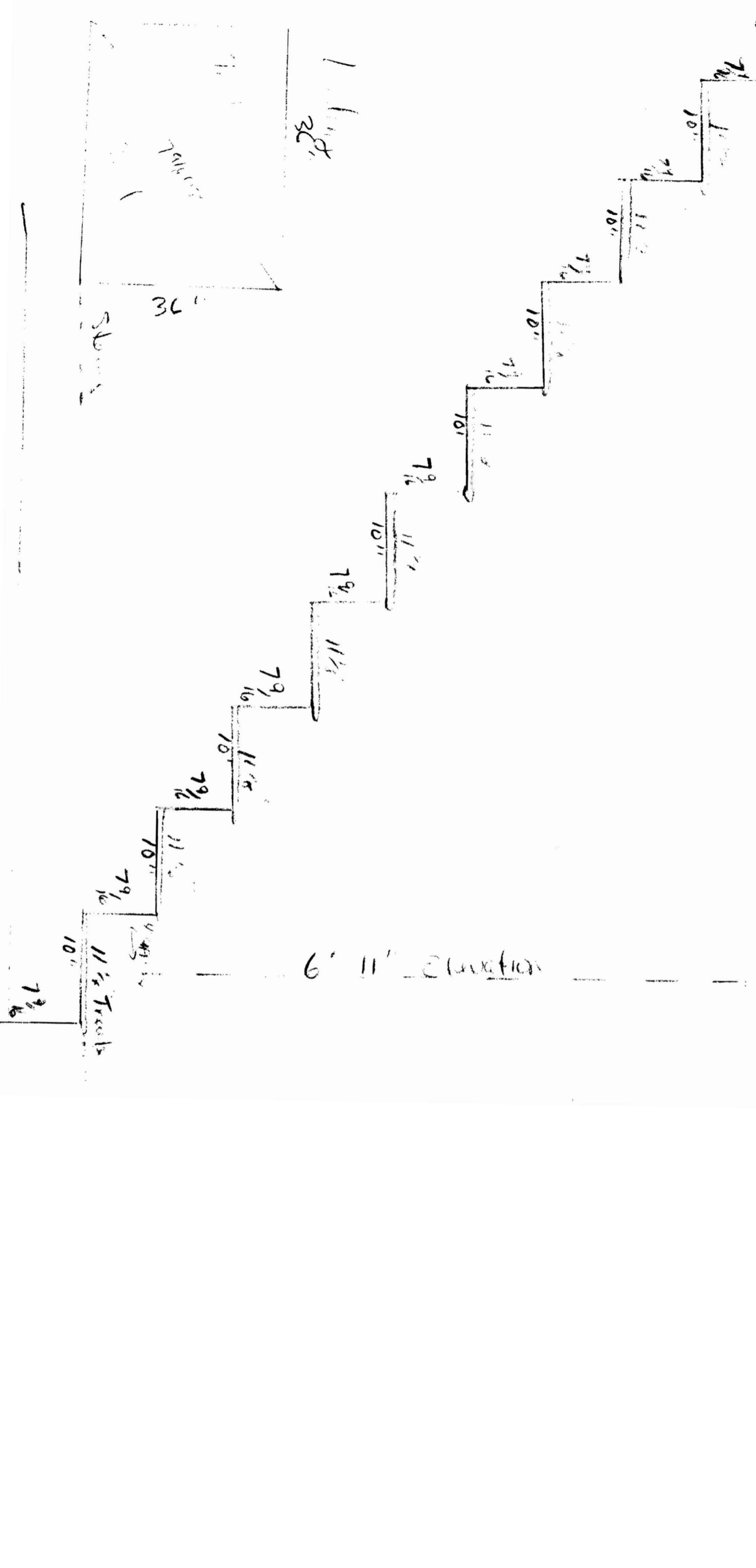
10" 11" 7/16

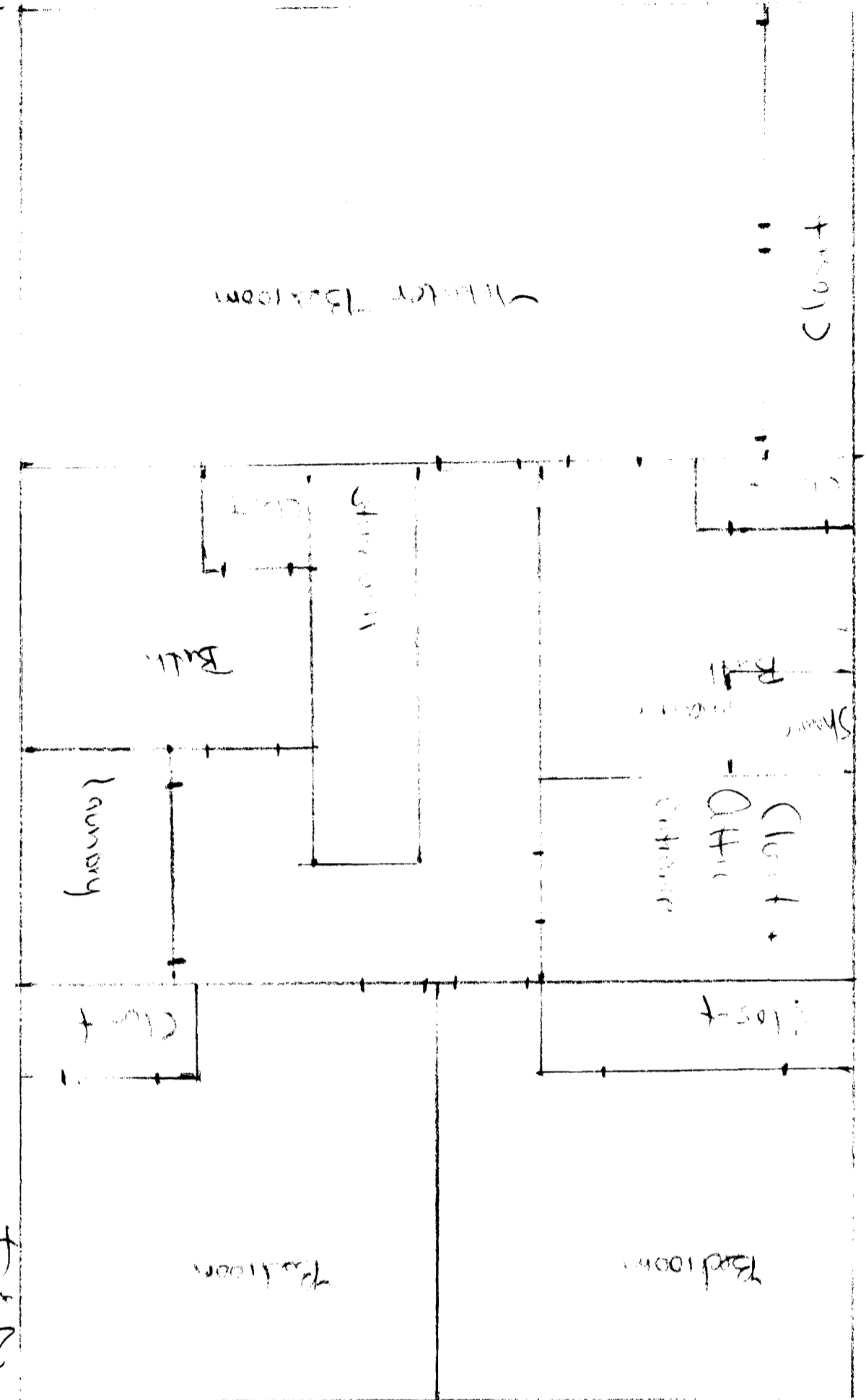
7" 9/16

10" 11" 7/16

7" 9/16

6' 11" Elevation





2nd floor  
existing  
floor plan

Scale 1/4" = 1'-0"

43'

