

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 14 Felicia Ln Lot #18 (10 - 16)		Owner: Jandie Development		Phone: 776-1541 Truck Phone 797-9534		Permit No: 980704	
Owner Address: 2 Flintlock Ln Falmouth 04107		Lessee/Buyer's Name:		Phone:		Business Name:	
Contractor Name: Jandie Development		Address:		Phone:			
Past Use: Vacant Land		Proposed Use: 1-fam		COST OF WORK: \$ 55,000.00		PERMIT FEE: \$ 295.00	
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: AB Type 5B Signature: [Signature]	
Proposed Project Description: Construct (24 x 38) ranch w/attached 1 car garage super plans Supplemental Sheet Page 1A included				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____			
Permit Taken By: MG		Date Applied For: 09 June 1998					

PERMIT ISSUED
Permit Issued:
JUL - 2 1998
CITY OF PORTLAND

Zone: _____ CBL: 172-B-009

Zoning Approval: _____

Special Zone or Reviews:

Shoreland
 Wetland
 Flood Zone
 Subdivision
 Site Plan maj minor mm

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

F 25 - 26 LF (close con) 26'
R 25 - 45 25'
S 8 18/10 45 9' 9 1/2"
4/5 10'

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

29 June 1998 - Permit Routed
09 June 1998

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		PHONE:	

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

CEO DISTRICT 7

COMMENTS

7-10-98 11:10 Am
 Footers are Poured look Like they are less than 8" Thick
 will call and Stop From going any further until I am satisfied with the
 Earth compaction and Footer thickness, there are no Pins or Keyway in Footer
 meet mr derice at The End of the Subdivision Said thats the way it is
 it is on hedge they will Bestripping on monday. 7-13-98

7-13-98 I Returned with David caddell we decided that due to Being
 able to Prope under the Footer, ^{up to 4"} that was as thin as 2" that the Ledge
 was not clean when Poured over, a stop order was Generated and then
 was verified By a Field v:isit with, San H., David, and myself, we
 asked that mr De Rice cut the Footer Back to a point that was 6" thick
 then clean the Ledge, of the clay + Soil on a Return visit, with David
 caddell and myself we were Corect, the ledge had not Been cleaned. at this point
 Mr + Mrs De Rice were very abusive calling in to question my Intelligence
 and threatening personal Law Suit against me and the city. after the
 cement contractor and mr De Rice started thronging Planks and Shovles around
 Being verbley abusive as well as mrs De Rice From the top of the Banking I felt
 that it was well to leave the site. T. Reinsborough 7-13-98

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 14 Pelicula Ln (Lot #18) 172-B-000

Issued to Jandle Development

Date of Issue 28 September 1998

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 980704, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Dwelling
w/attached garage & rear deck

Limiting Conditions:

This certificate supersedes
certificate issued

Approved:

[Signature]

(Date) Inspector

[Signature]

Inspector of Buildings

[Handwritten initials]

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Minor/Minor Site Review, Building or Use Permit Pre-Application
Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: <i>FELICIA LANE (LOT # 18) 10-16</i>			
Total Square Footage of Proposed Structure: <i>1344'</i>		Square Footage of Lot: <i>7676</i>	
Tax Assessor's Chart, Block & Lot Number Chart# <i>172</i> Block# <i>H</i> Lot# <i>9</i>		Owner: <i>SANDIE DEVELOPMENT CORP.</i>	Telephone#: <i>797.9534</i>
Lessee/Buyer's Name (If Applicable): <i>2 FLINTLOCK LANE FALMOUTH</i>		Owner's/Purchaser/Lessee Address:	Cost Of Work: <i>\$55,000.</i> Fee: <i>\$295-</i>
Proposed Project Description:(Please be as specific as possible) <i>MM SITE PLAN CONSTRUCT 24X38' RANCH W/ ATTACHED 1 CAR GARAGE AS PER PLANS</i>			
Contractor's Name, Address & Telephone: <i>SANDIE DEVELOPMENT CORP.</i>			Rec'd By:

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

A "minor/minor" site plan review is required prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor (2 copies are required). A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as sheds, pools, garages and any other accessory structures.
- Scale and North arrow; Zoning District & Setbacks
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours

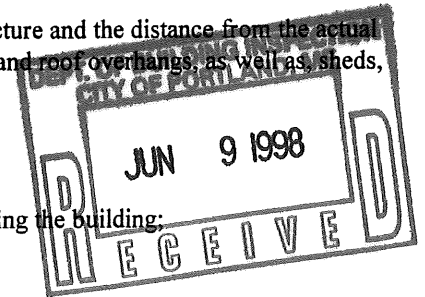
4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



*295
50
100
445-*

Signature of applicant: <i>[Signature]</i>	Date: <i>6-9-98</i>
--	---------------------

Site Review Fee: \$150.00/Building Permit Fee: \$25.00 for the 1st \$1000.cost plus \$5.00 per \$1,000.00 construction cost thereafter.

Applicant: Julie DeRice Date: 7/1/98
Address: 14 Felicia Lane (6118) C-B-L: 172-H-9

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing

Zone Location - R-3

Interior or corner lot -

Proposed Use/Work - construct 1 family dwelling 24'x38' ranch with attached 1 car garage with 8x10 deck on rear 18'x24'

Sewage Disposal - City

Lot Street Frontage - 50' req - 75' shown

Front Yard - 25' req - 26' shown

Rear Yard - 25' req - 45' shown

Side Yard - 8' req - 8' & 10' shown

Projections - rear deck

Width of Lot - 75' req - 75' shown

Height - 1 story

Lot Area - 6,500^{sq ft} 7676^{sq ft}

Lot Coverage/ Impervious Surface - 25% (1919^{sq ft} max)

Area per Family - 6,500^{sq ft}

Off-street Parking - 2 spaces req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - N/A Zone C Panel 7

18x24 = 432
24x38 = 912
8x10 = 80
1424^{sq ft}

BUILDING PERMIT REPORT

DATE: 1 July 98 ADDRESS: 14 Felicia Lane (Lot #18) 172-H-009
REASON FOR PERMIT: To Construct 24x38' ranch w/attached 1 car garage
BUILDING OWNER: Jandie Development
CONTRACTOR: ↑
PERMIT APPLICANT: ↑
USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: *1, *2, *2.5, *5, *6, *8, *9, *10, *11, *12, *16, *23, *24, *25, *26, *27, *29, *30, *31, *32, *33, *34, *35

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- *2.5. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material.
- 3. Precaution must be taken to protect concrete from freezing.
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- *6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
- 7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- *8. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42" , except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
- *9. Headroom in habitable space is a minimum of 7'6".
- *10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
- *11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6' 8")
- *12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension

shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.

- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's. (Over 3 stories in height requirements for fire rating is two (2) hours.)
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.

X 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.

X 23. Ventilation shall meet the requirements of Chapter 12 Sections 1210. Of the City's Building Code. (crawl spaces & attics)

X 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.

X 25. All requirements must be met before a final Certificate of Occupancy is issued.

X 26. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code. (The BOCA National Building Code/1996).

X 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).

28. Please read and implement the attached Land Use-Zoning report requirements.

X 29. Waterproofing and damp proofing shall be done in accordance with Section 1813.0 of the Bldg. Code.

X 30. Anchorage bolting into concrete shall meet the requirement of Section 2305.17.

X 31. Boring, Notching and cutting of Joist or Studs shall meet the requirement of Section 9, 2305.5.1 & 2305.3, 2305.4 & 2305.4.4

X 32. Glass & Glazing shall be done in accordance with Chapter 24 of the Bldg. Code.

X 33. All heating appliances shall be installed as per manufacturer's requirements

X 34. Chimneys shall be installed as per NFPA 211.



P. Samuel Hoffes, Building Inspector

cc: Lt. McDougall, PFD
Marge Schmuckal

Project Name: 24 x 38 Ranch house + 1 car Garage
 Project Address: 14 Felicia Lane (Lot 18)
 Permit # 980704 C.B.L. 172-H-9

Page 1A
 Supplemental Sheet

Inspection Date	Type of Inspection	Remarks - prints - page #
7-14-98	Foundation Set Back 1:18 PM	after Receiving notice from
	Sam Hoffstess in city hall that Mr DeRice wanted set back verified	
	Dave Caddell and Tom R. went to Felicia Ln. No one was at the site	
	So we were not able to determine the whereabouts of the property	
	lines, and none of the Building Plans submitted indicate set back	
	distance. made call to DeRice office to 11:39 A 7/15/98 Recording	
	Indicates they will be out of touch until July 23, 1998 (T)	
	Note Ask Mr DeRice for a plan that shows the house as built.	
7-30-98	I received a phone mail to inspect the Garage Footings and returned a call	
	to Julie that I would be by after 1 PM on her cancer machine.	
	on arrival at 1:20 P Hole is scraped out for Garage and Foundation is	
	all back filled without inspection (T)	
7/31/98	Checked Setbacks to owner. Starting	Right Side Front Cor 9'9 1/2"
		Right Side Rear Cor 10'
		Rear - over 30'
	also - observed Dampening at	Left Side Front Cor 9' + "
	left rear foundation & foundation	Left Side Rear Cor 9' + "
	Drain at same point (P)	Front Left Cor 26'
	one to front (P)	Front Right Cor 26' + (P)
8/26/98	Called for Rough Plumbing Insp - Plumbing & elec not ready (P)	Plumbing ok but
9/1/98	- Rough plumbing Insp - ok - ok to close (P)	
9/25/98	Call for final - Needs Handrail @ deck & Cellar Stairs - also	
	light switch for Cellar & Cellar Stair well (P)	
9/28/98	All above corrected -	
	Wendell letter Rec'd -	
	Issue COF - Permanent	
	Single family Dwelling w/ attached Garage & Rear Deck (P)	

**CITY OF PORTLAND, ME
BOCA 1996 Plan Review Record
One and Two Family Dwelling**

Valuation: \$55,000 Plan Review # _____
 Fee: 295.00 Date: 1 July 98

Building Location: 14 Felicia Ln CBL: 172-H-009

Building Description: 24'x38' ranch/attached 1 car garage

Reviewed by: S. Hoffner

Use or Occupancy: R-3 Type of Construction: 5B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All Site Plan Requirement must be met before a Certificate of occupancy can or will be issued.	111.4
2.	Foundation drains, water proofing & damp proofing	1813 1813.5.2
3.	Private garages	4107
4.	Guards & Handrails	1022 1021
5.	Egress bedroom windows	1010.4
6.	Chimneys	NFPA 211 BOCA mechanical
7.	Heating Appliances	
8.	Boring, cutting and notching	2305.4.4 2305.5.1 2305.3
9.	Fastening	TABLE 2305.2
10.	Ele. PLBG.	
11.	Anchor bolts	2305.17
12.	Glass & Glazing	chapter 24
13.	Smoke detectors.	920.3.2

Foundations (Chapter 18)

Wood Foundation (1808)

NA Design
NA Installation

Footings (1807.0)

OK Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.

NA Insulated footing provided

- Soil bearing value (table 1804.3)

16" Footing width

8"X16" Concrete footing (1810.0) .3.1, 3.2

Foundation Walls

OK Design (1812.1)

8" Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)

SA Water proofing and damp proofing Section 1813

2X6 Sill plate (2305.17)

SR Anchorage bolting in concrete (2305.17)

3 1/2" Columns (1912)

S.R. Crawl space (1210.2) Ventilation

S.R. Crawl opening size (1210.2.1)

Floors (Chapter 16-23)

_____ Joists - Non sleeping area LL40PSF (Table - 1606)

_____ Joists - Sleeping area LL30PSF (Table - 1606)

_____ Grade

16'6" Spacing

12' Span

3-2X10 Girder 4" bearing 2305

built-up.

Floors (contd.)

- ~~OK~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~OK~~ Bridging (2305.16)
- ~~SR~~ Boring and notching (2305.5.1)
- ~~SR~~ Cutting and notching (2305.3)
- ~~SR~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~NA~~ Draft stopping (721.7)
- ~~OK~~ Framing of openings (2305.11) (2305.12)
- ~~OK~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~4"~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- _____ Design (1609) wind loads
- _____ Load requirements
- _____ Grade
- ~~SR~~ Fastening schedule (Table 2305.2)
- ~~2x6~~ Wall framing (2305.4.1)
- ~~OK~~ Double top plate (2305.4.2)
- ~~OK~~ Bottom plates: (2305.4.3)
- ~~SR~~ Notching and boring: (2305.4.4) studs
- ~~SR~~ Non load bearing walls (2305.5)
- ~~SR~~ Notching and boring (2305.5.1)
- ~~OK~~ Wind bracing (2305.7)
- ~~OK~~ Wall bracing required (2305.8.1)
- ~~2x6~~ Stud walls (2305.8.3)
- ~~OK~~ Sheathing installation (2305.8.4)
- ~~1/2"~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~i~~ Exterior wall covering (Chapter 14)
- ~~N/A~~ Performance requirements (1403)
- ~~Wood~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~1/2"~~ Interior finishes (Chapter 8)
- ~~Gypsum~~
- _____
- _____

Roof-Ceiling Construction (Chapter 23)

- N/A Roof rafters - Design (2305.15) spans
- 1/2" Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- OK Roof trusses (2313.3.1)
- _____
- _____
- _____
- _____
- _____

Roof Coverings (Chapter 15)

- OK Approved materials (1404.1)
- N/A Performance requirement (1505)
- N/A Fire classification (1506)
- N/A Material and installation requirements (1507)
- N/A Roof structures (1510.0)
- Asphalt Type of covering (1507)

**Chimneys and Fireplaces
BOCA Mechanical/1993**

- ✓ Masonry (1206.0)
- ✓ Factory - built (1205.0)
- ✓ Masonry fireplaces (1404)
- ✓ Factory - built fireplace (1403)

**Mechanical
1993 BOCA Mechanical Code**

- SIX All heating appliances shall be done in accordance with the manufacturers requirements.
- SIX Chimney shall be installed as per NFPA 211.
- _____
- _____
- _____

State Plumbing Code

- Public Sewer - Chapter 13

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>
Floor live load non sleeping	<u>40 PSF</u>
Roof live load	<u>42 PSF</u>
Roof snow load	<u>46 PSF</u>
Seismic Zone	<u>2</u>
Weathering area	<u>S</u>
Frost line depth	<u>4' MIN</u>

OK
|
|
|
|
|
|
|

Glazing (Chapter 24)

- _____ Labeling (2402.1)
- _____ Louvered window or jalousies (2402.5)
- _____ Human impact loads (2405.0)
- _____ Specific hazardous locations (2405.2)
- _____ Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

- SR General (407)
- I Beneath rooms (407.3)
- SR Attached to rooms (407.4)
- | Door sills (407.5)
- | Means of egress (407.8)
- | Floor surface (407.9)

Egress (Chapter 10)

- OK One exit from dwelling unit (1010.2)
- SR Sleeping room window (1010.4)
- OK EXIT DOOR (1017.3) 32" W 80" H
- OK Landings (1014.3.2) stairway
- NO Ramp slope (1016.0)
- OK Stairways (1014.3) 36" W
- SR Treads (1014.6) 10" min.
- SR Riser (1014.6) 7 3/4" max.
- _____ Solid riser (1014.6.1)
- NA Winders (1014.6.3)
- NA Spiral and Circular (1014.6.4)
- SR Handrails (1022.2.2.) Ht.
- SR Handrail grip size (1022.2.4) 1 1/4" to 2"
- SR Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- SR Location and interconnection
- _____ Power source

Dwelling Unit Separation Table 602

N/A

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19980062

I. D. Number

Jandie Development

Applicant

2 Flintlock Ln, Falmouth, ME 04105

Applicant's Mailing Address

Julie DeRice

Consultant/Agent

797-9534

Applicant or Agent Daytime Telephone, Fax

6/9/98

Application Date

Felicia Ln 10-16 L#18

Project Name/Description

14 Felicia Ln

Address of Proposed Site

172-H-009

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):

- New Building
 Building Addition
 Change Of Use
 Residential
 Office
 Retail
 Manufacturing
 Warehouse/Distribution
 Parking Lot
 Other (specify) **with attached garage**

1344"

7676 Sq Ft

R-3

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- Site Plan (major/minor)
 Subdivision # of lots _____
 PAD Review
 14-403 Streets Review
 Flood Hazard
 Shoreland
 Historic Preservation
 DEP Local Certification
 Zoning Conditional Use (ZBA/PB)
 Zoning Variance
 Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$100.00 Date: 6/9/98

Inspections Approval Status:

Reviewer Marge Schmuckal

- Approved
 Approved w/Conditions see attached
 Denied

Approval Date 7/1/98 Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
 Inspection Fee Paid _____ date _____ amount _____
 Building Permit Issued _____ date _____
 Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
 Temporary Certificate of Occupancy _____ date Conditions (See Attached)
 Final Inspection _____ date _____ signature _____
 Certificate Of Occupancy _____ date _____
 Performance Guarantee Released _____ date _____ signature _____
 Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
 Defect Guarantee Released

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19980062

I. D. Number

Jandie Development

Applicant

2 Flintlock Ln, Falmouth, ME 04105

Applicant's Mailing Address

Julie DeRice

Consultant/Agent

797-9534

Applicant or Agent Daytime Telephone, Fax

6/9/98

Application Date

Felicia Ln 10-16 L#18

Project Name/Description

14 Felicia Ln

Address of Proposed Site

172-H-009

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Approved subject to Site Plan Review (Addendum) Conditions of Approval:

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now 14 Felicia Lane, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Eroded soil shall be contained on-site. A crushed stone construction entrance is required.

In order to conform to the approved subdivision grading concept for the lot, the elevation at the rear property line shall be higher than the back edge of the sidewalk based on a minimum 2.5% slope. The runoff will be directed along the side yards to the sidewalk in swales that are a minimum of 4" lower than the outside edge of the swale. Sideslopes from the top of the outside edge of the swale down to the property line shall be a maximum of 3:1. Care shall be exercised that no ponding will occur along the property line, due to the extensive required fill, within the lot or with the abutters. An alternative grading scheme to conform to the approved subdivision grading concept for the lot would be to install a 4' diameter catch basin with a Casco Trap in one of in one of the back corners of the lot connected into the foundation drain to the street with a minimum pipe size of 6". the catch basin rim elevation shall be low enough to permit a minimum 2.5% slope from the area of the back and side yards that drain to the catch basin.

The ground elevation at the front of the house shall be higher than the back edge of the sidewalk based on a minimum 2.5% slope. Runoff from the lot shall not leave the lot through abutter's property and the final grading shall not create ponding within the lot or on abutter's property.

Planning Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19980062

I. D. Number

Jandie Development

Applicant

2 Flintlock Ln, Falmouth, ME 04105

Applicant's Mailing Address

Julie DeRice

Consultant/Agent

797-9534

Applicant or Agent Daytime Telephone, Fax

6/9/98

Application Date

Felicia Ln 10-16 L#18

Project Name/Description

14 Felicia Ln

Address of Proposed Site

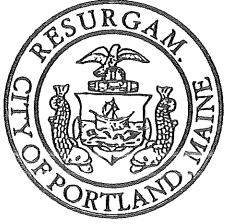
172-H-009

Assessor's Reference: Chart-Block-Lot

Inspection's Conditions of Approval

1. Separate permits shall be required for future decks, sheds, pools and/or garage.

Fire Conditions of Approval



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Code Enforcement

FROM: Jim Wendel, Development Review Coordinator

DATE: September 26, 1998

SUBJECT: Certificate of Occupancy
14 Felicia Lane (Lot 18)

A site visit on 9-24-98 was made to review the completion of the conditions of the site plan approval dated 6-26-98; my comments are:

It is my opinion that all of the conditions of site plan approval have been satisfactorily completed and a permanent Certificate of Occupancy could be issued assuming Code Enforcement has no outstanding issues.

*C.O. was issued on
9/28/98*