



CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 1093 Washington Avenue

Issued to Marie Ascanio

Date of Issue June 6, 1990

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 900164, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

APPROVED OCCUPANCY

Entire

Single family with Day Care

Limiting Conditions:

None

This certificate supersedes certificate issued

Approved:

6-6-90 *[Signature]*  
\_\_\_\_\_  
(Date) Inspector

*[Signature]*  
\_\_\_\_\_  
Inspector of Buildings

*[Handwritten notes]*  
E. J. [unclear]  
Frederic [unclear]

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.



CITY OF PORTLAND, MAINE

50 CONGRESS STREET  
PORTLAND, MAINE 04101  
(207) 877-1100

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF  
INSPECTION SERVICES DIVISION

1093 Washington Ave.

November 27, 1989

Mrs. Marie Ascanio  
1105 Washington Avenue  
Portland, Maine 04103

Dear Mrs. Ascanio:

This is in reference to your application for a building permit for a change of use from single family to single family with a day care center for up to 24 children at 1093 Washington Avenue in the R-3 Residence Zone.

Your conditional use appeal was granted by the Board of Appeals for a change of use from single family to single family with a day care center or up to 24 children at 1093 Washington Avenue. The conversion will involve an addition to the existing single family dwelling and this will require a minor site plan review for your proposed project.

Please send to this office seven copies of your site plan and some indication as to the proposed height of the addition to your building. There will be a fee of \$300.00 for this site plan review.

Sincerely,

William D. Giroux  
Zoning Enforcement Officer

cc: Joseph E. Gray, Jr., Director, Planning & Urban Development  
P. Samuel Hoffses, Chief, Inspection Services  
Burt MacIsaac, Code Enforcement Officer  
Warren J. Turner, Administrative Assistant

December 11, 2003

Mr. Michael Nugent  
City of Portland  
Planning and Zoning Office  
Portland, ME 04101

**Re: Pending All Purpose Building Permit Application  
1093 Washington Avenue  
172-C-004-R3 Zone**

Dear Mr. Nugent

On September 4, 2003, the Board of Appeals voted to approve our Conditional Use Appeal, to change the use of the property to a two-family dwelling unit.

At that time we also submitted a Building Permit Application. We are aware that the application is currently under review. The purpose of this letter is to respond to your inquiries regarding this application.

Our plans are to convert the dwelling that housed a daycare center to a 1,500 square foot one-bedroom apartment. The two story-dwelling measures approximately 25 x 30 feet. Each level is approximately 750 square feet. The dwelling was built in 1990. The lower level was left unfinished until approximately 1995. New exterior windows and an exterior exit door were added to the lower level at that time and are not pictured in the 1990 drawings.

The upper level will be used as the primary living area and includes:

- Two doorways that lead to the outside. Both doors are off of the open living space area. The first door leads directly into the front foyer. That door measures 33' x 78'. The second door opens into the office. From the office you can exit to the back exterior deck. That door measure 31" X 78".
- One bathroom measuring approximately 8' X 5'.
- One office measuring approximately 8' x 5'.
- One open living space for kitchen, dining and living room. This open space measures approximately 25' X 22 feet.

The lower level will be used as the bedroom suite and includes:

- Two doorways that lead to the outside. The first door opens to the stairwell and into the front foyer. That exit measures 33" x 78". The second exit doorway leads to a rear foyer that goes directly to the backyard. Both doors lead directly off the sleeping area.
- One open area for sleeping. This area measures approximately 18' x 12'.
- One bathroom measuring approximately 8' X 5.
- One utility room measuring approximately 8" x 4". This room houses the oil tank and the electrical box.
- One storage room measuring 15' X 9'

Because each level has two separate means of egresses via exterior doors, we do not believe it is necessary to use windows as a form of egress. However, we have included the window measurements in the attached drawings.

This dwelling is attached to the main house at the stairwell. The common wall measures approximately 6' x 8'. We are enclosing documents from the builder that state the materials used. The common wall was built to Code in 1990 and a Certificate of Occupancy was granted and the common wall was inspected for fire safety at that time. We have enclosed the day care occupancy permit.

We appreciate your time and concern. Please do not hesitate to call me if you have any further questions. I may be reached at 874-7700 or my cell 650-8232.

Sincerely,



Steve Kremer  
PO Box 172  
Portland, ME 04112

## **Building Permits**

**1093 Washington Avenue  
Portland, Maine 04103**

**Permits required for the following carpentry work at 1093 Washington Avenue:**

- 1. Closet measuring approximately 60" X 30" on upper level.**
- 2. Closet on lower level measuring approximately 30" x 30"**
- 3. Closet in front foyer measuring approximately 60 " x 36"**

**Steve Kremer  
PO Box 172  
Portland, Maine 04112**

Due

Close

10907

07/29/2003

12/08/2003

Print

io

v2003

# Proposal



**C. Richard Dolloff**

Builder

RR 1, Box 144C  
Raymond, ME 04071  
655-5140

PROPOSAL SUBMITTED TO: <i>Mr. &amp; Mrs. James Ascario</i>	PHONE <i>797-2337</i>	DATE <i>March 24, 1990</i>
STREET <i>1105 Washington Avenue</i>	JOB NAME <i>Just Kiddin Day Care</i>	
CITY, STATE AND ZIP CODE <i>Portland, Maine 04103</i>	JOB LOCATION <i>1093 Washington Ave. Portland</i>	

We hereby submit specifications and estimates for: *The Construction of a 25' x 30' Addition to existing home at 1093 Washington Avenue. Building will consist of 2" x 6" KD studs on all exterior walls. @ 24" on center. All inside walls will be of 2" x 4" KD studs 16" on center. Wall sheathing will be ~~1/2" plywood~~ covered with Tyvar covering. Clapboards will be 1/2" x 6" Clear Heart Redwood, with stainless steel nails. 30 Foot steel eye beam. 2 x 10 floor joist. Pre-engineered roof trusses will be used per plans. Roof sheathing will be 1/2" CDX plywood with felt paper and Asphalt shingles. Proper vent with 15" insulation will be used in roof. Eave vents and Coravent Cap will be used for proper ventilation. All outside trim will be #2 pine.*

*Sills will be 2" x 6" and 4" x 6" of pressure treated materials.*

*1st Floor materials will be a 5/8" CDX Subfloor and a 5/8" underlayment to accept Carpet or inlaid tile.*

**We Propose** hereby to furnish material and labor — complete in accordance with the above specifications, for the sum of: \_\_\_\_\_ dollars (\$ \_\_\_\_\_).

Payment to be made as follows: \_\_\_\_\_

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alterations or deviations from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, wind damage and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature *CRD*

Note: This proposal may be withdrawn by us if not accepted within *30* days.

**Acceptance of Proposal** — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature *Ma*

Date of Acceptance: \_\_\_\_\_

Signature \_\_\_\_\_

# Proposal



**C. Richard Dolloff**

Builder

RR 1, Box 144C  
Raymond, ME 04071  
655-5140

PROPOSAL SUBMITTED TO: <i>Mr. &amp; Mrs. James Ascario</i>	PHONE <i>797-2337</i>	DATE <i>March 24, 1990</i>
STREET <i>1105 Washington Avenue</i>	JOB NAME <i>Just Kiddie's Day Care</i>	
CITY, STATE AND ZIP CODE <i>Portland, Maine 04103</i>	JOB LOCATION <i>1093 Washington Ave. P41d.</i>	

We hereby submit specifications and estimates for:

*All outside walls will be 6" insulation.  
Windows will be Anderson Low E. Clad for maximum efficiency.  
Outside front porch all pressure treated materials.  
All outside doors will be of steel construction with an outswing.  
All interior doors are hollow core. Hich. All trim on interior to be clamsell (2 1/2").  
There will be a \$1500.00 allowance on cabinets as we discussed.  
On the carpets or inlaid tiles there is a \$1500.00 allowance, depending on what is used.  
Electrical price is included, except for light fixtures which will be by owner.  
Foundation concrete, floor site work and painting is to be furnished by owner.*

**We Propose**, hereby to furnish material and labor — complete in accordance with the above specifications, for the sum of:

\_\_\_\_\_ dollars (\$ \_\_\_\_\_).

Payment to be made as follows:

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alterations or deviations from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, wind damage and other necessary insurance. Our workers are fully covered by Workmen's Compensation Insurance.

Authorized Signature *CRD*

Note: This proposal may be withdrawn by us if not accepted within *30* days.

## Acceptance of Proposal

— The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature *Ma*

Signature \_\_\_\_\_

Date of Acceptance: \_\_\_\_\_



# Proposal



**C. Richard Dolloff**  
 Builder  
 RR 1, Box 144C  
 Raymond, ME 04071  
 655-5140

PROPOSAL SUBMITTED TO: <i>Mr. &amp; Mrs. James Ascario</i>	PHONE <i>797-2337</i>	DATE <i>March 24, 1990</i>
STREET <i>1105 Washington Avenue</i>	JOB NAME <i>Just Kiddin Day Care</i>	
CITY, STATE AND ZIP CODE <i>Portland, Maine 04103</i>	JOB LOCATION <i>1093 Washington Ave, Portland</i>	

We hereby submit specifications and estimates for:

*There will be a V-17 Velux Skylight installed in existing kitchen roof for more light.*  
*The new addition will meet existing rear deck unless otherwise discussed.*  
*Basement will be unfinished except for rear wall which we discussed. (2"x6" wood wall)*  
*A new furnace will be installed with fuel tank in area discussed. It will be a one zone heating system with forced hot water.*  
*Electrical includes all wiring with a quick disconnect at existing house. Fixtures by owner. Plumbing is also included in price.*  
*Any changes will be charged at time plus materials, authorized by owner only.*  
*Three basement windows have been eliminated. One window added in place of door.*

*\$7000.00* We ~~Propose~~ <sup>Balance</sup> hereby to furnish material and labor ~~complete~~ in accordance with the above specifications, for the sum of:  
~~down~~ <sup>at 50% point</sup>, ~~at completion~~ dollars (\$ ~~7000.00~~ *37,646.76*)  
 Payment to be made as follows:  
*Thirty seven thousand, six hundred, forty six and 76/100*

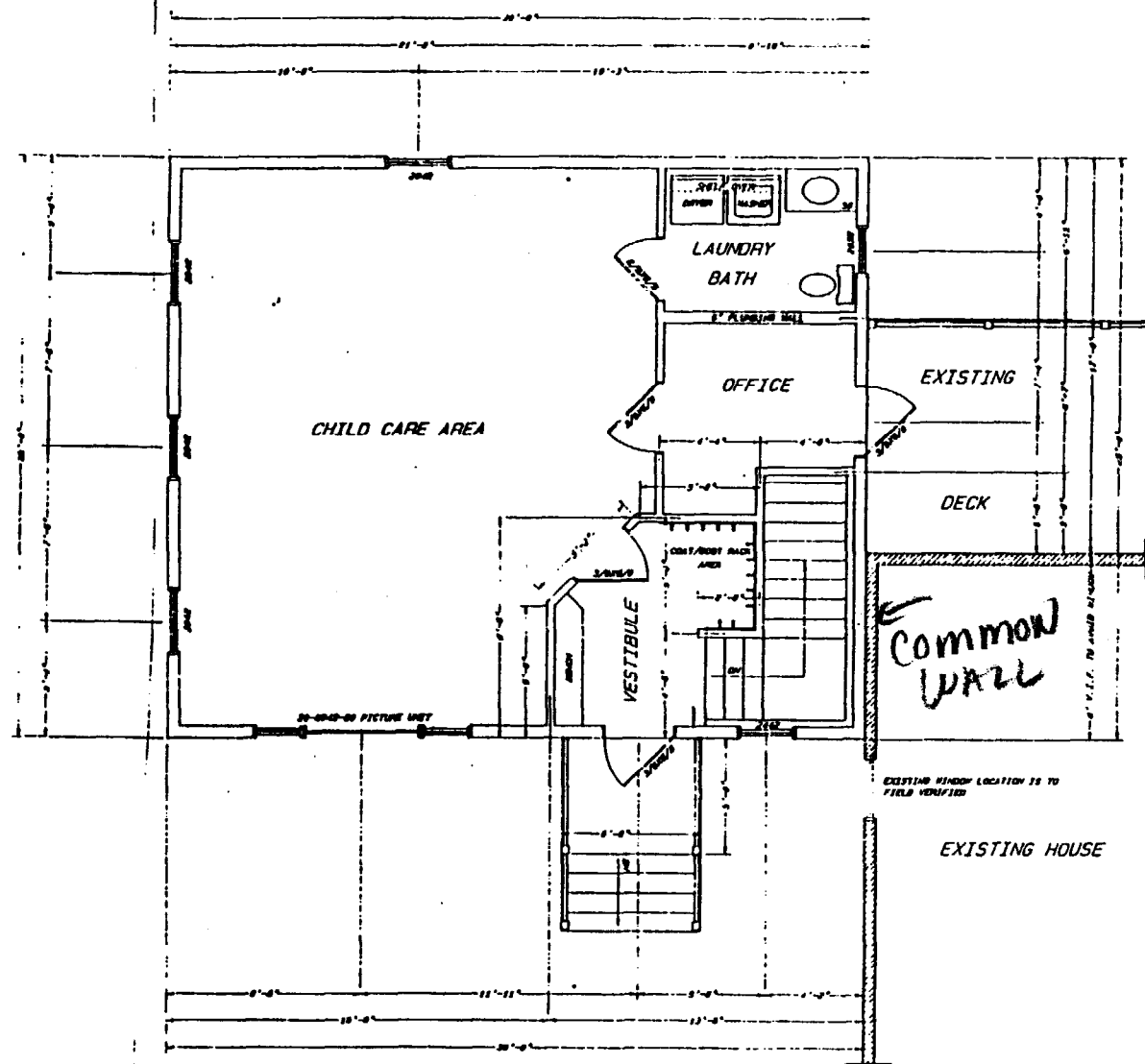
All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alterations or deviations from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, wind damage and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance.

Authorized Signature *C. Richard Dolloff*  
 Note: This proposal may be withdrawn by us if not accepted within *30* days.

**Acceptance of Proposal** — The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Date of Acceptance: \_\_\_\_\_

Signature *Charles...*  
*3/24/90 - CR# 1999 \$7,000.-*  
*4/18/90 - CR# 203 \$12,000.-*  
*5/8/90 - CR# 2070 10,000.-*



**NOTE:**  
 ALL DIMENSIONS, MEASURES, ROOF PITCH, DROPS, STUD HEIGHTS AND EXISTING STRUCTURAL INTEGRITY, ARE TO BE FIELD VERIFIED BY BUILDER/CONTRACTOR PRIOR TO PERFORMING CONSTRUCTION. ALL ADJUSTMENTS ARE TO BE PERFORMED AS REQUIRED.

**FIRST FLOOR PLAN**

SCALE 1/4"=1'-0"

**NOTICE:**

THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IF USED FOR CONSTRUCTION, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR STATE AND LOCAL CODE COMPLIANCE.

**MAINE DRAFTING DESIGN, INC.**  
 YARMOUTH, MAINE

**THE ASCANIO'S PROPOSED DAY CARE CENTER ADDITION**

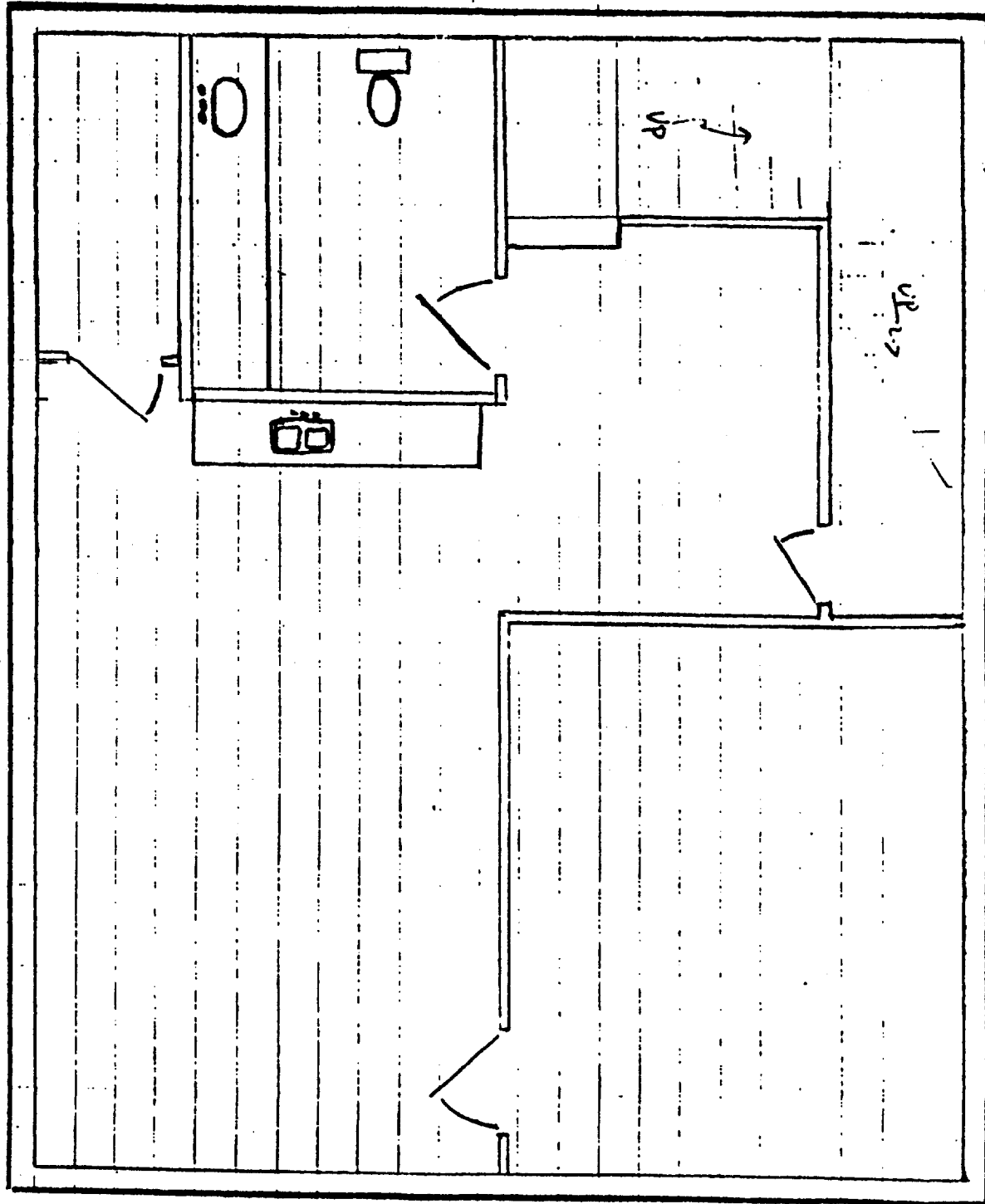
**FIRST FLOOR PLAN**

BY: W. T. W.	SCALE: 1/4"=1'-0"
DATE: 11-00	SHEET: 2 OF 7

# INSULATION

INSULATE all OF CEILING  
" Walls AS NOTED

OUTSIDE WALLS W/ VAPOR BARRIER  
INTERIOR WALLS - UNFACED



1093 Wash. Ave. Lower level

30'

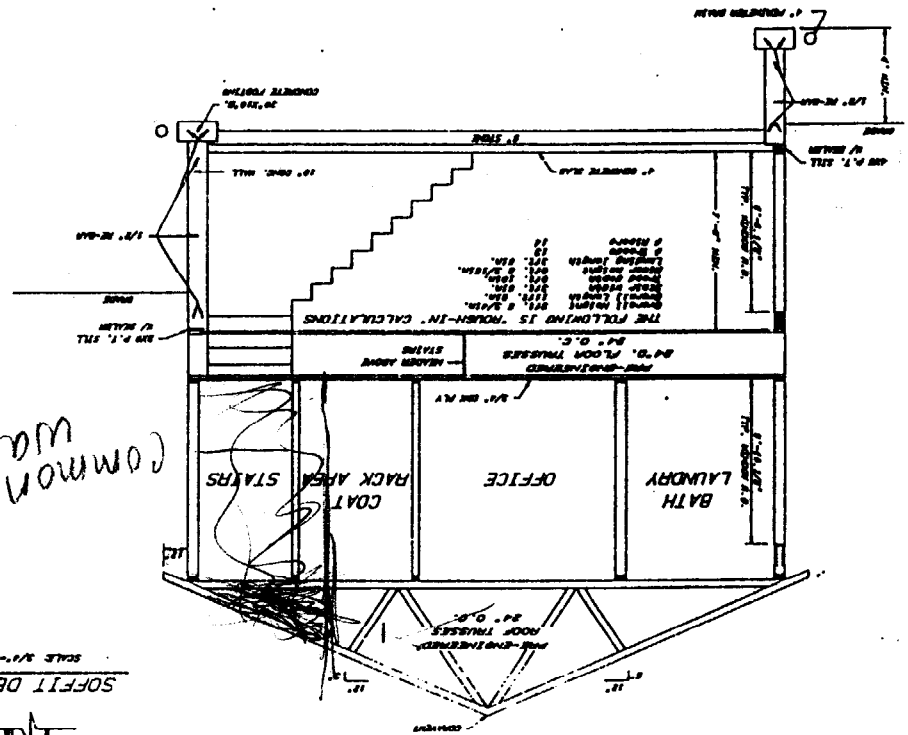
25'

THE ASCANIO'S PROPOS	DATE: 11-88	SCALE: 1/4" = 1'-0"
DAY CARE CENTER ADDIT	BY: M.S.W.	SCALE: 1/4" = 1'-0"
FRAMING SECTION	SECT: 7 OF 7	

NOTICE: THIS DRAWING IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR STATE AND LOCAL CODE COMPLIANCE.

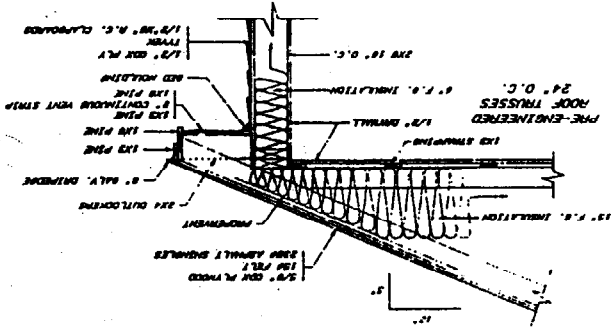
MAINE  
DRAFTING  
DESIGN, INC.  
YARMOUTH MAINE

FRAMING SECTION  
SCALE 1/4" = 1'-0"



1. EXTERIOR LUMBER IS 2 GRADE PINE PER ALL APPLICABLE CODES.  
 2. INTERIOR LUMBER IS 1 GRADE PINE PER ALL APPLICABLE CODES.  
 3. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.  
 4. ALL JOINTS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 5. ALL CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 6. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.  
 7. ALL JOINTS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 8. ALL CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 9. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.  
 10. ALL JOINTS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 11. ALL CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 12. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.  
 13. ALL JOINTS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 14. ALL CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 15. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.  
 16. ALL JOINTS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 17. ALL CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 18. ALL DIMENSIONS ARE UNLESS OTHERWISE NOTED.  
 19. ALL JOINTS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.  
 20. ALL CONNECTIONS ARE TO BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES.

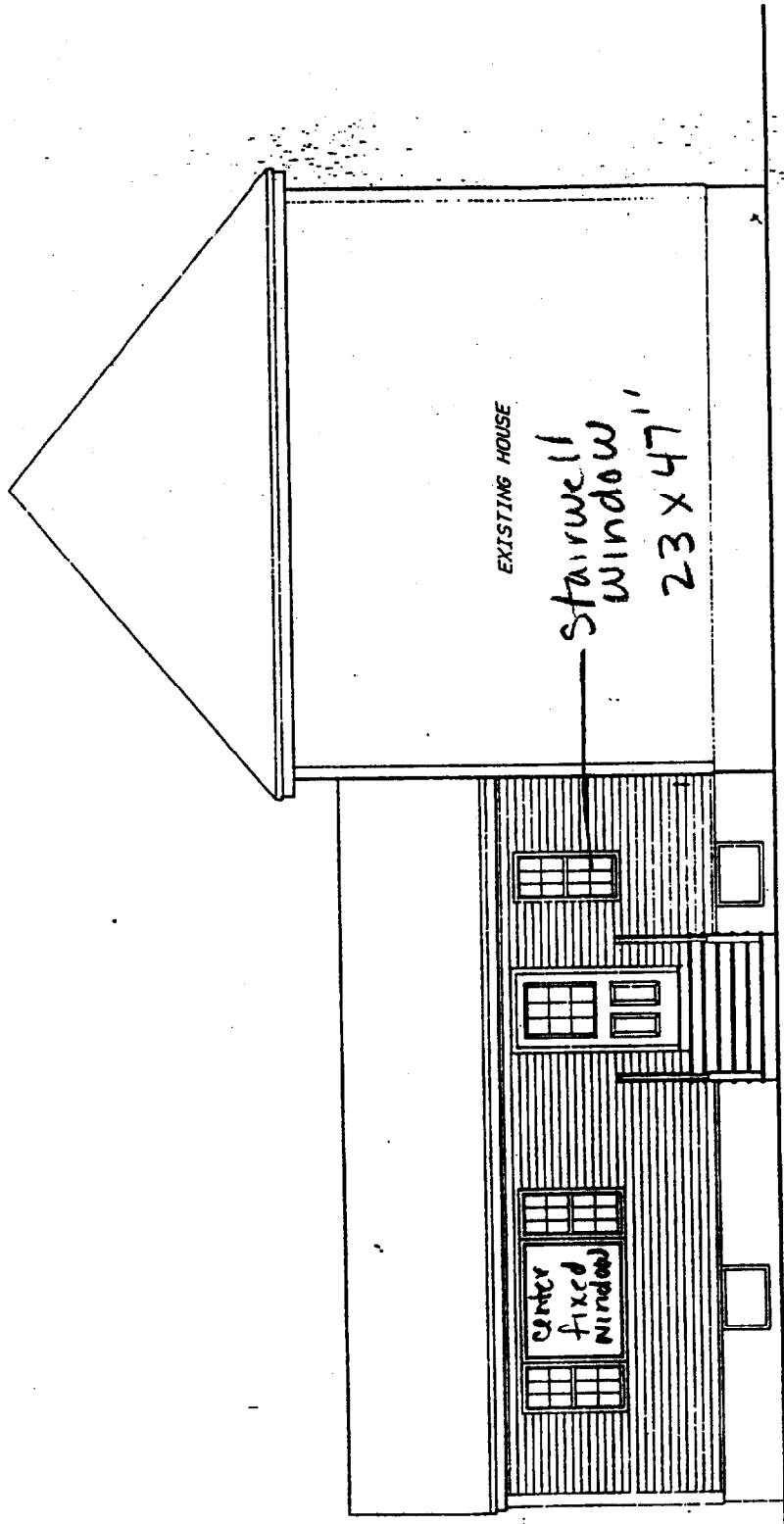
SOFFIT DETAIL  
SCALE 1/4" = 1'-0"



Exterior Walls

Window + EXTERIOR DOOR

front  
These upper level  
Windows measure  
23" x 47" →



EXISTING HOUSE

Stairwell  
window  
23 x 47"

center  
fixed  
window

FRONT ELEVATION

MAINE  
DRAFTING  
DESIGN, INC.  
YARMOUTH, MAINE

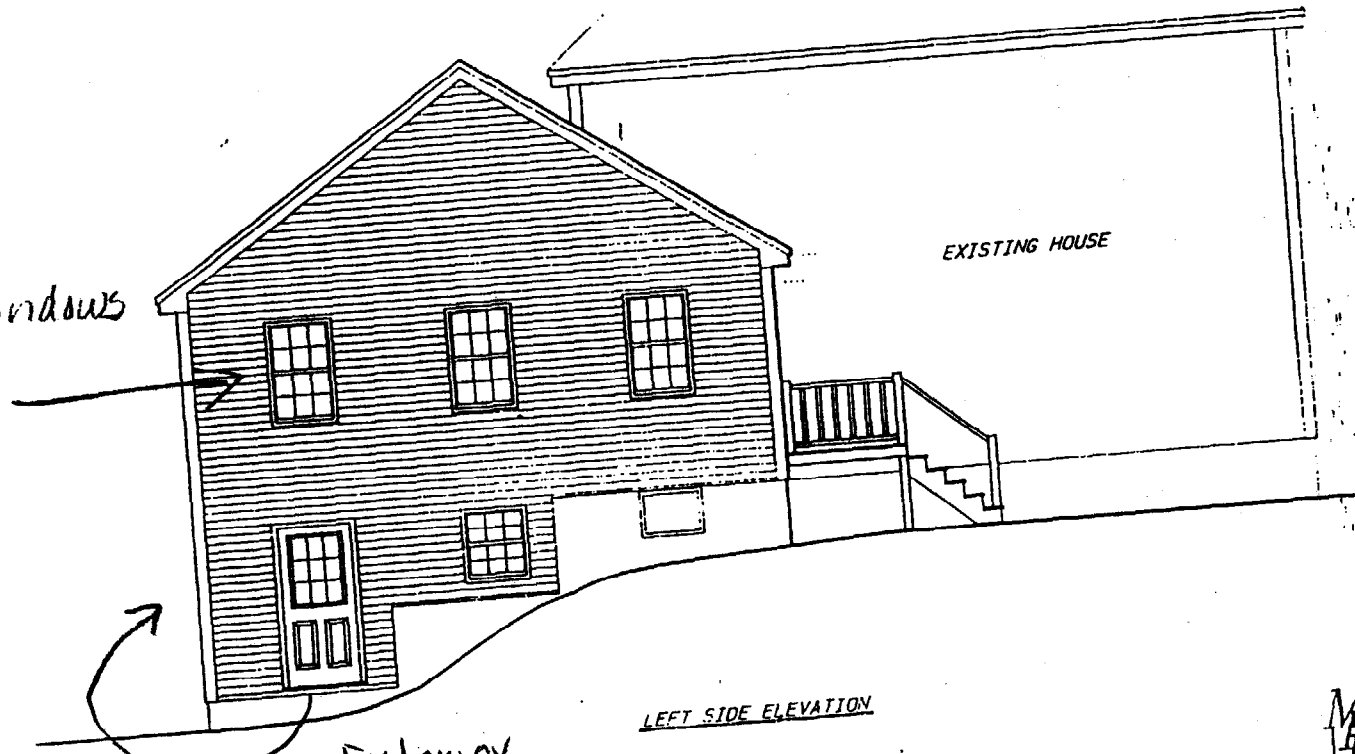
THE ASCANIO'S PROPOSAL	
DAY CARE CENTER ADDITION	
FRONT ELEVATION	
BY: W.S.W.	SCALE: 1/4"
DATE: 11-88	SHEET: 1 OF

NOTICE:  
THIS DRAWING IS PROVIDED FOR  
INFORMATIONAL PURPOSES ONLY. IT  
IS NOT TO BE USED FOR CONSTRUCTION. THE CONTRACTOR  
ASSUMES ALL RESPONSIBILITY FOR STATE  
AND LOCAL CODE COMPLIANCE.

Heavine Blatt - W 766-2854 H 766-2615

# Upper level SIDE windows off living area \_\_\_\_\_

3  
these upper level windows  
are 23" x 47"



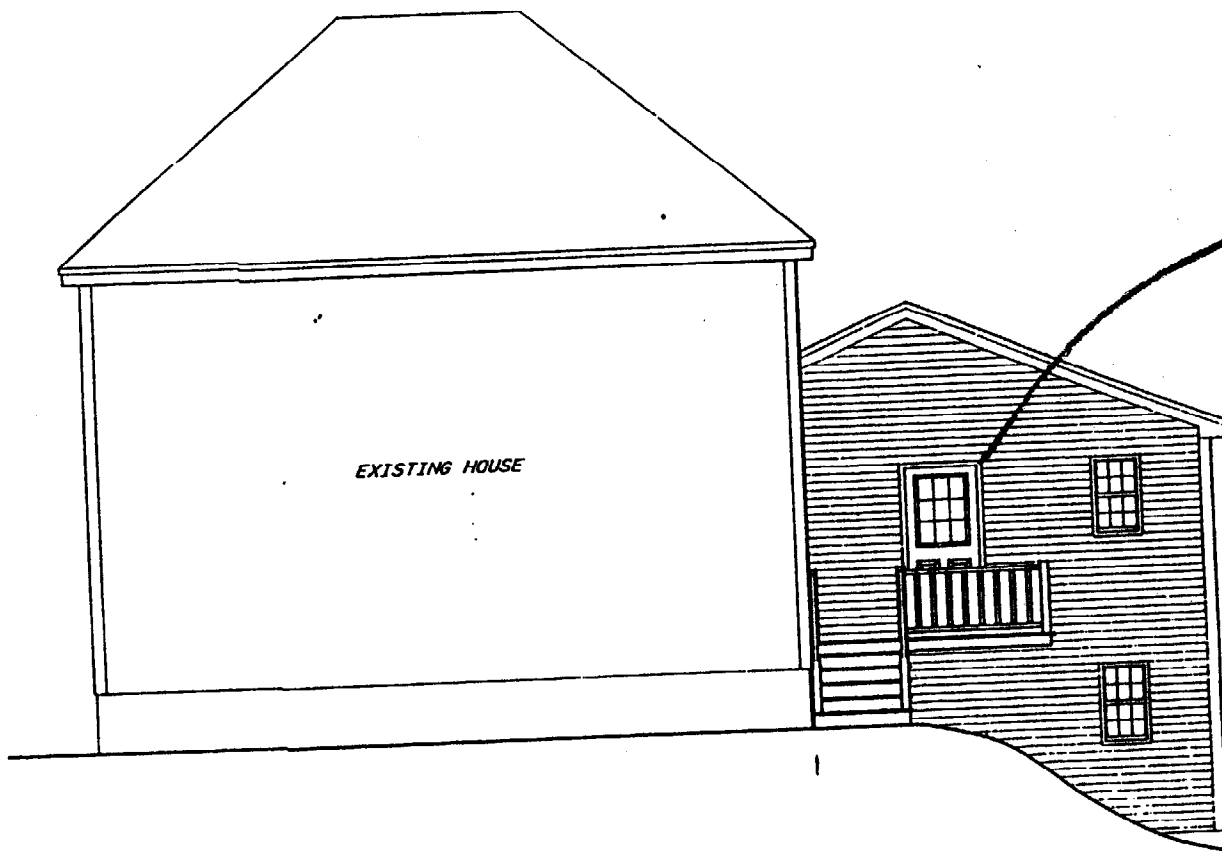
This exterior  
door  
was moved to  
the back of  
the lower level  
23 1/2" x 78"

LEFT SIDE ELEVATION

**MAINE**  
**DRAFTING**  
**DESIGN, INC.**  
YARMOUTH, MAINE

**NOTICE:**  
THIS DRAWING IS PROVIDED FOR  
INFORMATIONAL PURPOSES ONLY. IF  
USED FOR CONSTRUCTION, THE CONTRACTOR  
ASSUMES ALL RESPONSIBILITY FOR STATE  
AND LOCAL CODE COMPLIANCE.

THE ASCANTIO'S PROPOS	
DAY CARE CENTER ADDIT	
LEFT SIDE ELEVATIO.	
BY: W. T. W.	SCALE: 1/4"
DATE: 11-88	SHEET: 5



Exterior Door  
 Upper level  
 Office  
 36" x 78"  
 (2nd Egress)

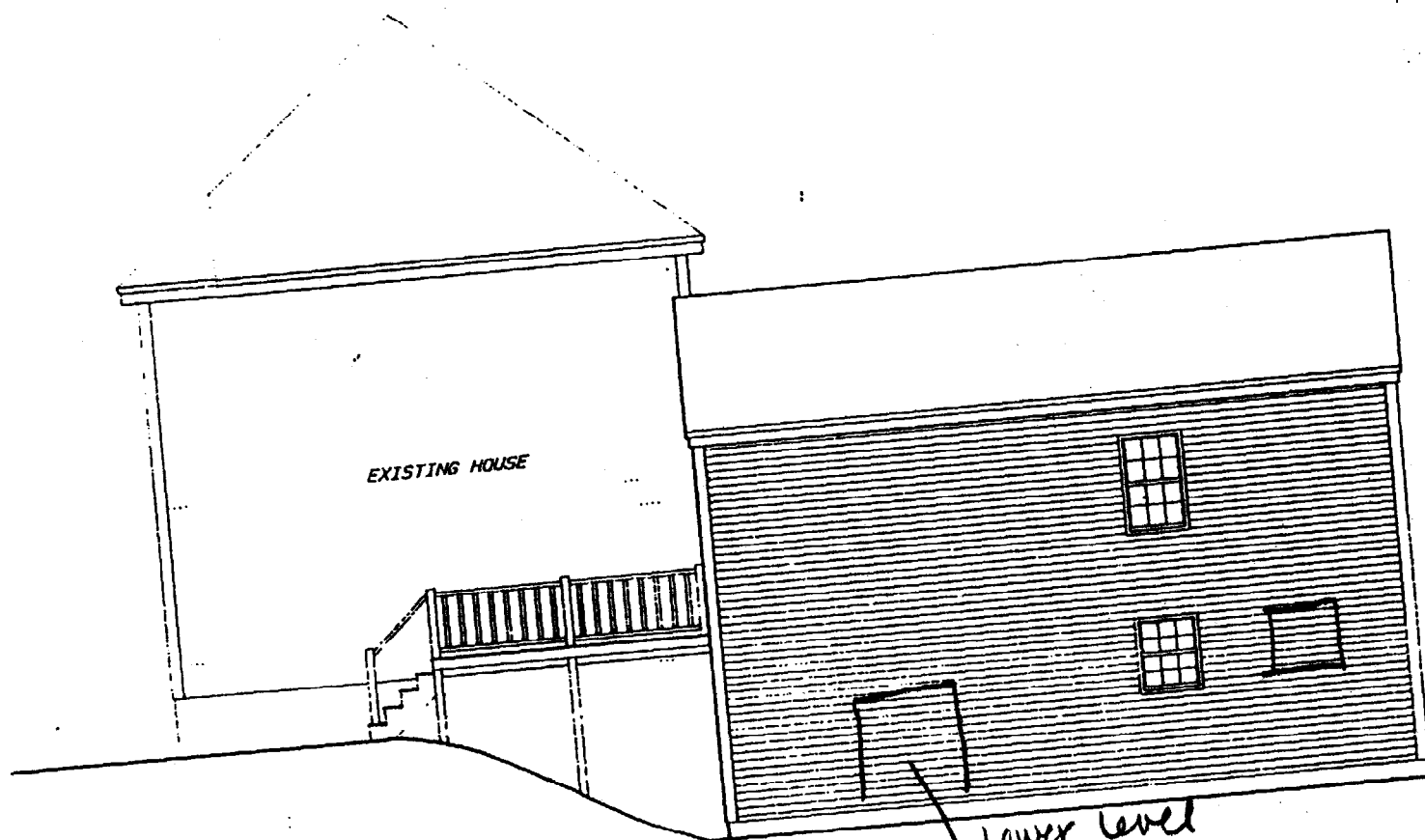
EXISTING HOUSE

RIGHT SIDE ELEVATION

**M** MAINE  
**D** DRAFTING  
**D** DESIGN, INC.  
 YARMOUTH, MAINE

**NOTICE:**  
 THIS DRAWING IS PROVIDED FOR  
 INFORMATIONAL PURPOSES ONLY. IF  
 USED FOR CONSTRUCTION, THE CONTRACTOR  
 ASSUMES ALL RESPONSIBILITY FOR STATE  
 AND LOCAL CODE COMPLIANCE.

THE ASCANIO'S PROPOSE	
DAY CARE CENTER ADDITI	
RIGHT SIDE ELEVATION	
BY: W.T.W.	SCALE: 1/4" =
DATE: 11-88	SHEET: 6 OF



EXISTING HOUSE

REAR ELEVATION

Lower level  
Exterior  
Door  
32" x 78"  
(2nd lower  
level egress)

Two lower  
level  
windows  
19" x 48"

MAINE  
DRAFTING  
DESIGN, INC  
YARMOUTH, MAINE

NOTICE:  
THIS DRAWING IS PROVIDED FOR  
INFORMATIONAL PURPOSES ONLY. IF  
USED FOR CONSTRUCTION, THE CONTRACTOR  
ASSUMES ALL RESPONSIBILITY FOR STATE  
AND LOCAL CODE COMPLIANCE.

THE ASCANIO'S PROPO.	
DAY CARE CENTER ADDI	
REAR ELEVATION	
BY: W.T.V.	SCALE: 1/4"
DATE: 11-89	SHEET: 4



