

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 081458

Please Read
Application And
Notes, If Any,
Attached

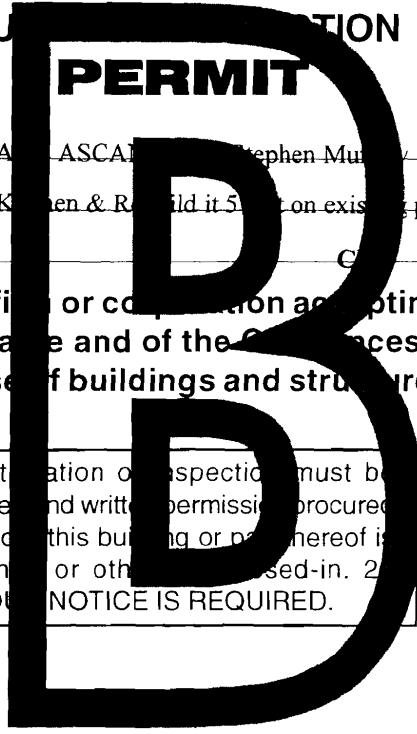
This is to certify that ASCANIO JAMES & RICHARD ASCANIO Stephen M...
has permission to remove a 12' wall on side of Kitchen & Rebuild it 5' on existing porch deck
AT 1105 WASHINGTON AVE C... 172 C003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other work is used-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.



OTHER REQUIRED APPROVALS

Fire Dept.	<i>[Signature]</i>
Health Dept.	
Appeal Board	
Other	
Department Name	

DEC 4 2008
CITY OF PORTLAND

12/3/08 *[Signature]*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call **874-8703** or **874-8693 (ONLY)**

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

 X Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

 X Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

 12-4-08
Date



Signature of Inspections Official

 12-4-08
Date

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1458	Issue Date: 12/3/08	CBL: 172 C003001
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Location of Construction: 1105 WASHINGTON AVE	Owner Name: ASCANIO JAMES & RICHARD A	Owner Address: 1105 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Stephen Murphy	Contractor Address: 133 Lexington Ave Portland	Phone: 2076716291
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	Zone: R-3

Past Use: Multi- Family	Proposed Use: Multi-Family - remove a 12' wall on side of Kitchen & Rebuild it 5' out on existing porch deck <i>legal use - 4 d.u. per ordinance</i>	Permit Fee: \$90.00	Cost of Work: \$7,000.00	CEO District: 4
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>see conditions</i>	INSPECTION: Use Group: R-2 Type: 5B <i>IBC-2003</i>	

Proposed Project Description: remove a 12' wall on side of Kitchen & Rebuild it 5' out on existing porch deck	Signature: <i>[Signature]</i>	Signature: 12/3/08 <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

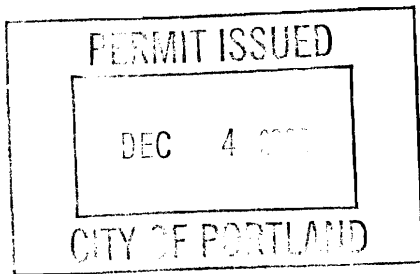
Permit Taken By: ldobson	Date Applied For: 11/14/2008	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews
<input checked="" type="checkbox"/> Shoreland <i>stream protection - building well beyond 75'</i> <input type="checkbox"/> Wetland <i>stream protection</i> <input type="checkbox"/> Flood Zone <i>is within 100' of the lot.</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 11/25/08 <i>ABN</i>

Zoning Appeal
<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____

Historic Preservation
<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASB</i>



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1458	Date Applied For: 11/14/2008	CBL: 172 C003001
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Location of Construction: 1105 WASHINGTON AVE	Owner Name: ASCANIO JAMES & RICHARD A	Owner Address: 1105 WASHINGTON AVE	Phone:
Business Name:	Contractor Name: Stephen Murphy	Contractor Address: 133 Lexington Ave Portland	Phone (207) 671-6291
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Multi Family	

Proposed Use: Multi-Family - four family - remove a 12' wall on side of Kitchen & Rebuild it 5' out on existing porch deck	Proposed Project Description: remove a 12' wall on side of Kitchen & Rebuild it 5' out on existing porch deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 11/25/2008**Note:** **Ok to Issue:**

- 1) This property shall remain a four family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 12/03/2008**Note:** **Ok to Issue:**

- 1) The existing deck shall be inspected for adequate fasteners and bearing for spans, and modifications may be required
- 2) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.
- 3) The design load spec sheets for any engineered beam(s) / Trusses must be submitted to this office.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) Frost protection must be installed per the enclosed detail as discussed w/owner/contractor.
- 6) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Greg Cass **Approval Date:** 11/25/2008**Note:** **Ok to Issue:**

- 1) This project shall not have any impact on the required means of egress.

Comments:

11/24/2008-amachado: Received plot plan.

11/17/2008-amachado: Spoke to Marie Ascanio. Need a plot plan that highlights the existing porch & where it is located on the building and what the setbacks are.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>1105 WASHINGTON AVE, PORTLAND, ME</u>		
Total Square Footage of Proposed Structure/Area <u>60 SF</u>		Square Footage of Lot <u>19530 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>172 - C - 003 - 001</u>	Applicant * must be owner, Lessee or Buyer * Name <u>JAMES ASCANIO</u> Address <u>1105 Washington Ave</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>797-2337</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>JAMES & RICHARD ASCANIO</u> Address <u>1105 Washington Ave.</u> City, State & Zip <u>Portland, ME 04103</u>	Cost Of Work: \$ <u>7000.-</u> C of O Fee: \$ _____ Total Fee: \$ <u>90</u>
Current legal use (i.e. single family) <u>OWNER-OCCUPIED UNIT - 4 units</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>KITCHEN EXPANSION</u> Is property part of a subdivision? <u>No</u> If yes, please name _____ Project description: <u>Remove a 12' wall on side of kitchen & rebuild it 5' out on existing porch deck.</u>		
Contractor's name: <u>STEPHEN K. MURPHY</u> Address: <u>133 LEXINGTON AVE</u> City, State & Zip <u>PORTLAND, ME 04103</u> Telephone: _____ Who should we contact when the permit is ready: <u>MARIE ASCANIO</u> Telephone: <u>797-2337</u> Mailing address: <u>1105 WASHINGTON AVE, PORTLAND, ME 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Marie Ascanio Date: _____

This is not a permit; you may not commence ANY work until the permit is issue

NOV 14 2008



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.**

November 13, 2008

To Whom It May Concern:

I JAMES ASCANIO
owner of property at 1105
Washington Ave., Portland, Me.
hereby give permission to
Marie Ascanio to act as my
agent to procure a building
permit for a 5' x 12' extension
to the kitchen in her apart-
ment at the above address.

SIGNED James Ascario
DATED 11/13/08

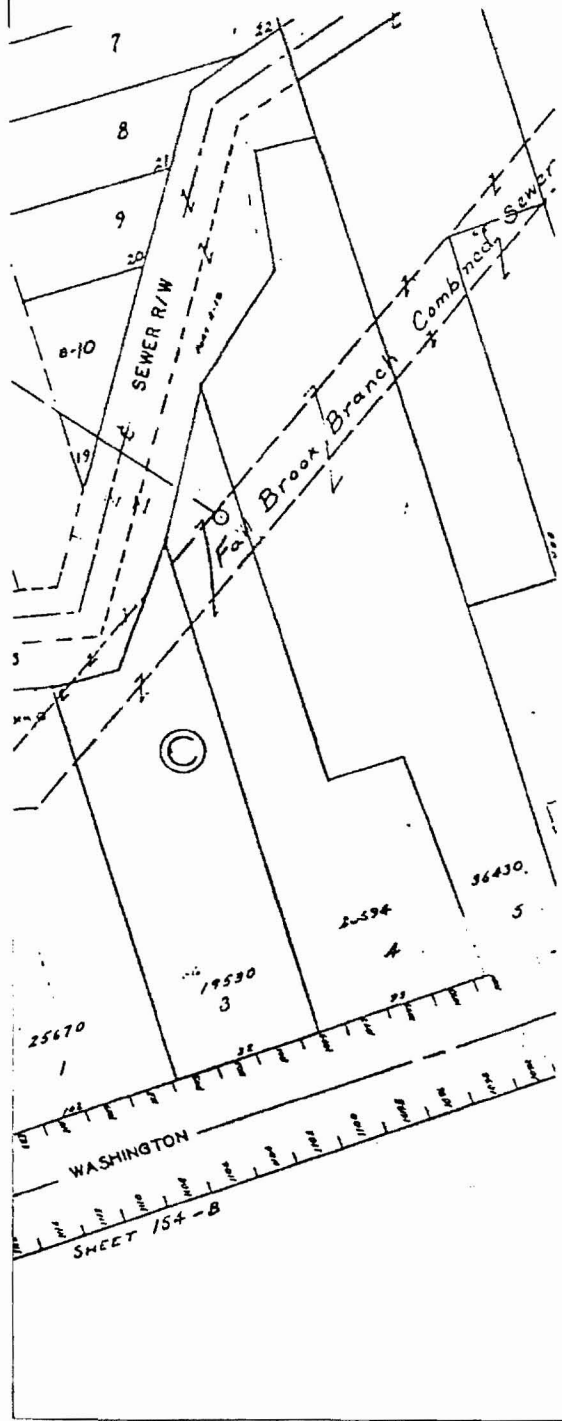
LOT ASCANIO PERMIT

PHOTOGRAPH(S)

FM 17900-10004C

OVER FOR CERTIFICATION AND LIMITING CONDITIONS

Form # 115050



ASCANIO PERMIT

HOUSE
WITH
SetBACKS

R3

lotsize . 19530

front - 25' min - N/A

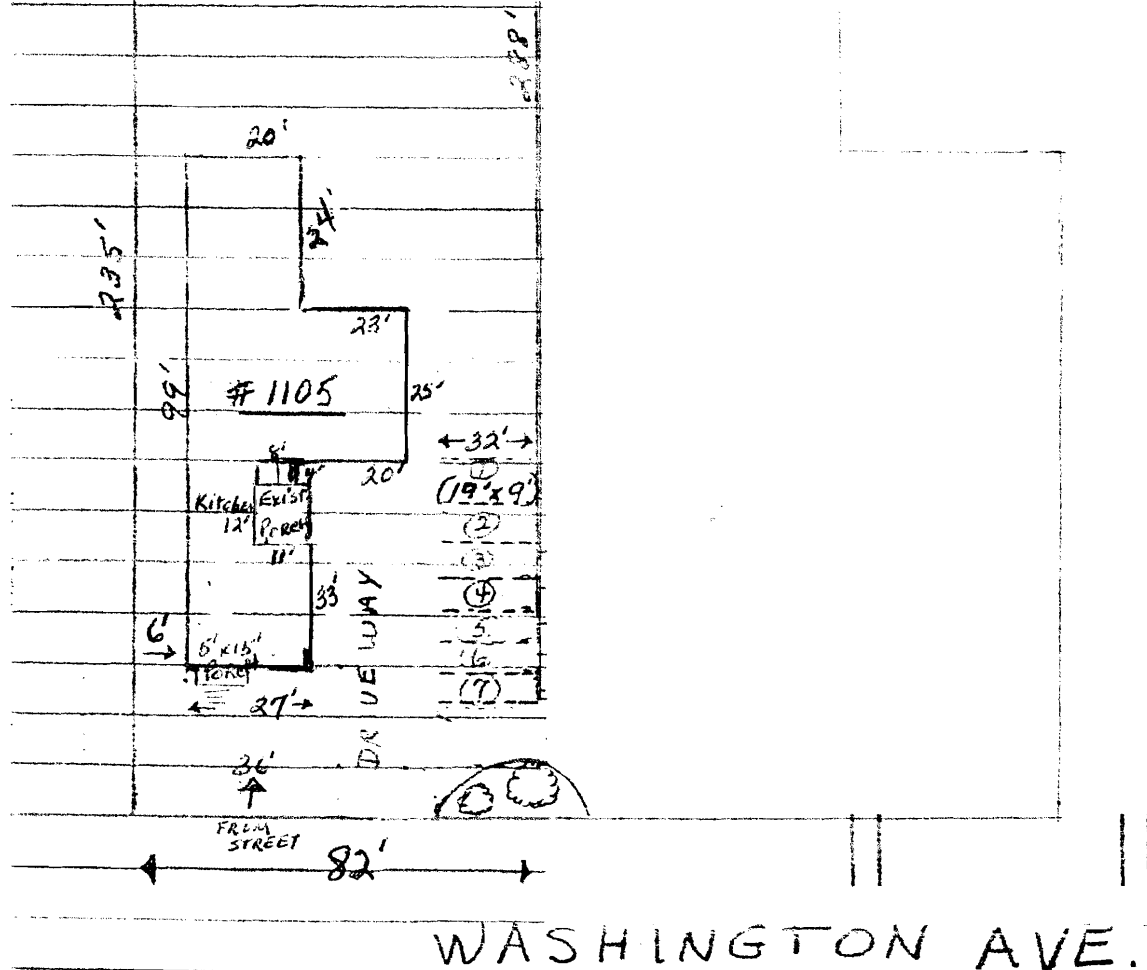
rear - 25' min - N/A

side - 15' by 8'

20' by 14' - ~~30~~ 46' _{OK}

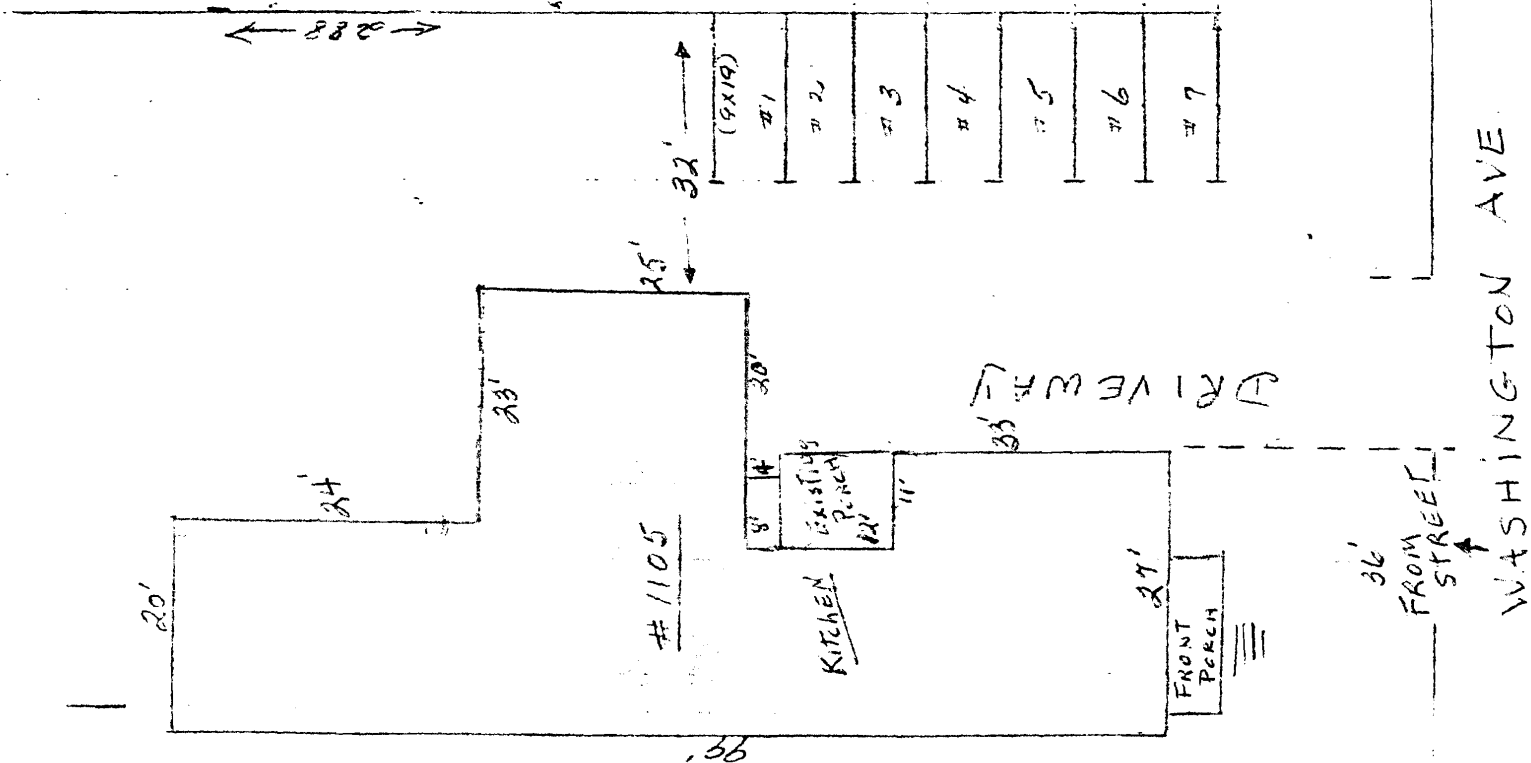
lot coverage - 35% = 6835.5

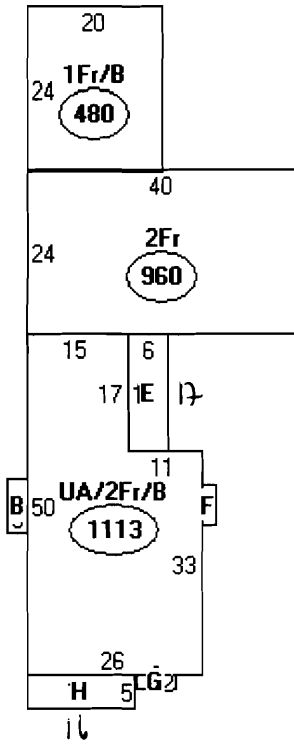
- 2845' _{OK}



JAMES ASCANIO
1105 WASHINGTON AVE
PORTLAND ME 04103

PROPOSED
EXTENSION
(Kitchen WALL (1)
EXTENDS ONTO
EXISTING 11' PORCH)



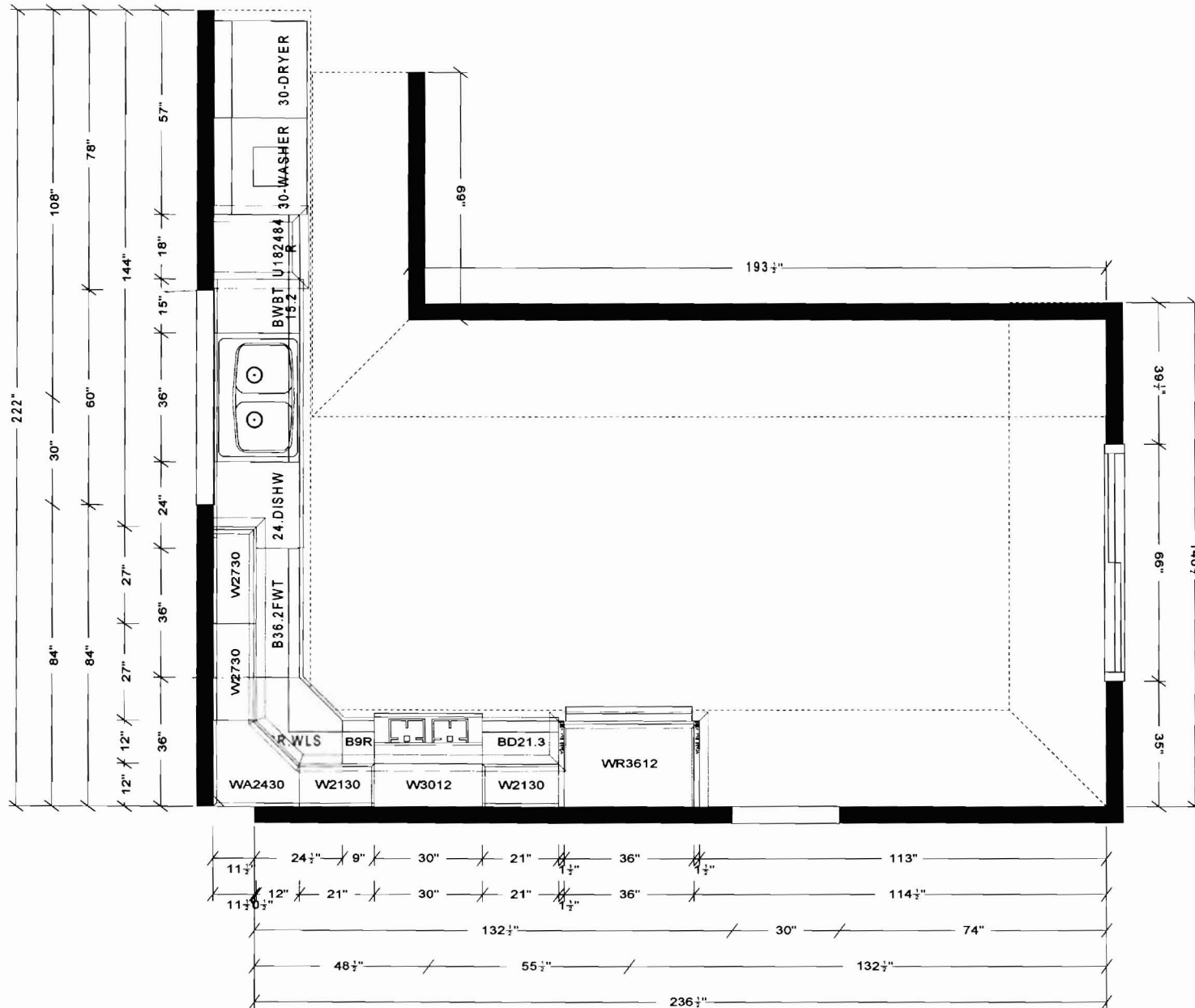


Descriptor/

- A: UA/2Fr/B
1113 sqft
- B: UA/2sFBAY
24 sqft
- C: 2Fr
960 sqft
- D: 1Fr/B
480 sqft
- ~~E: OFF
102 sqft~~
- F: 2FBAY/B
12 sqft
- G: 2FBAY/B
12 sqft
- H: OFF
80 sqft

= 2681
 + 132 (11x12)
 32 (8x4)

 2845

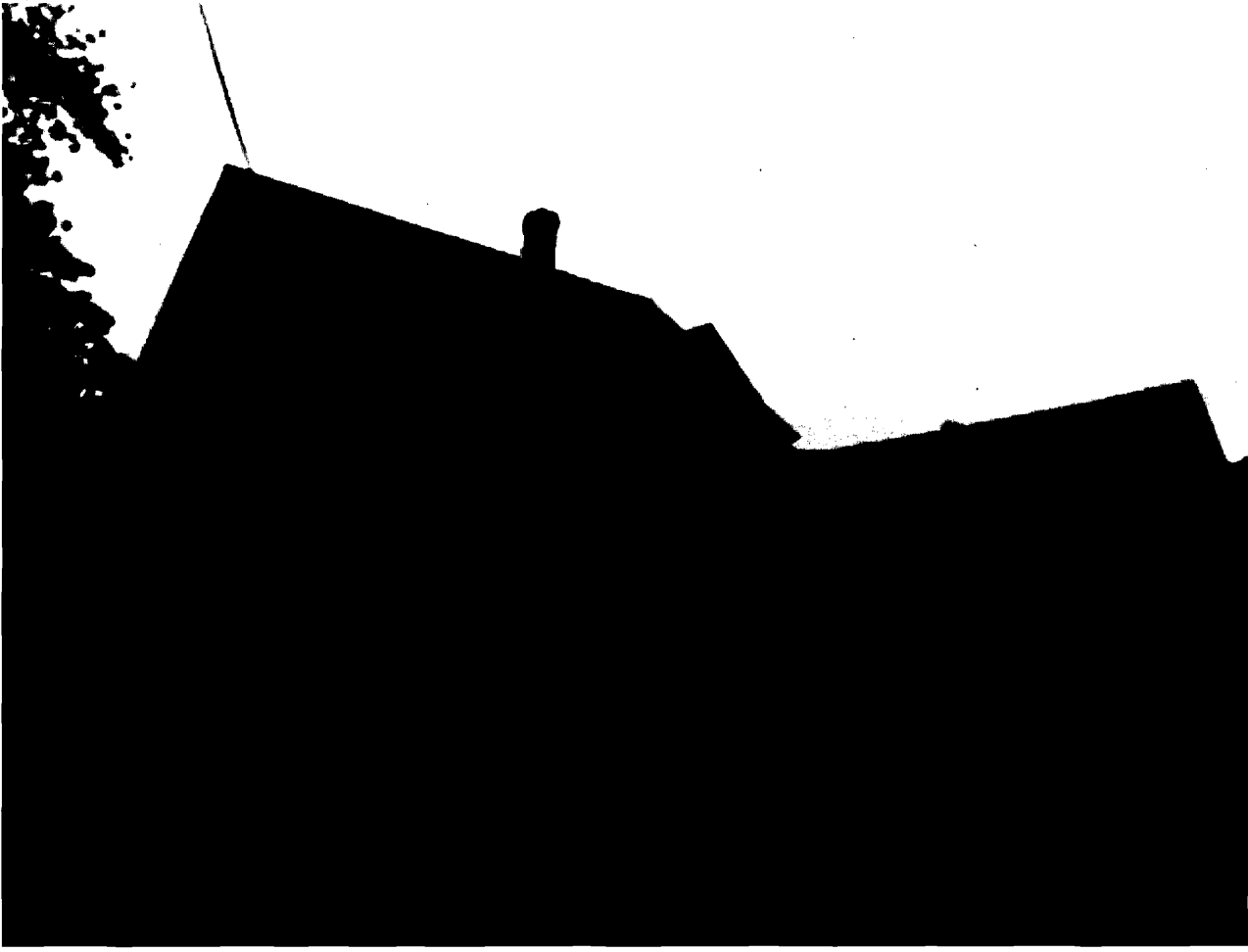


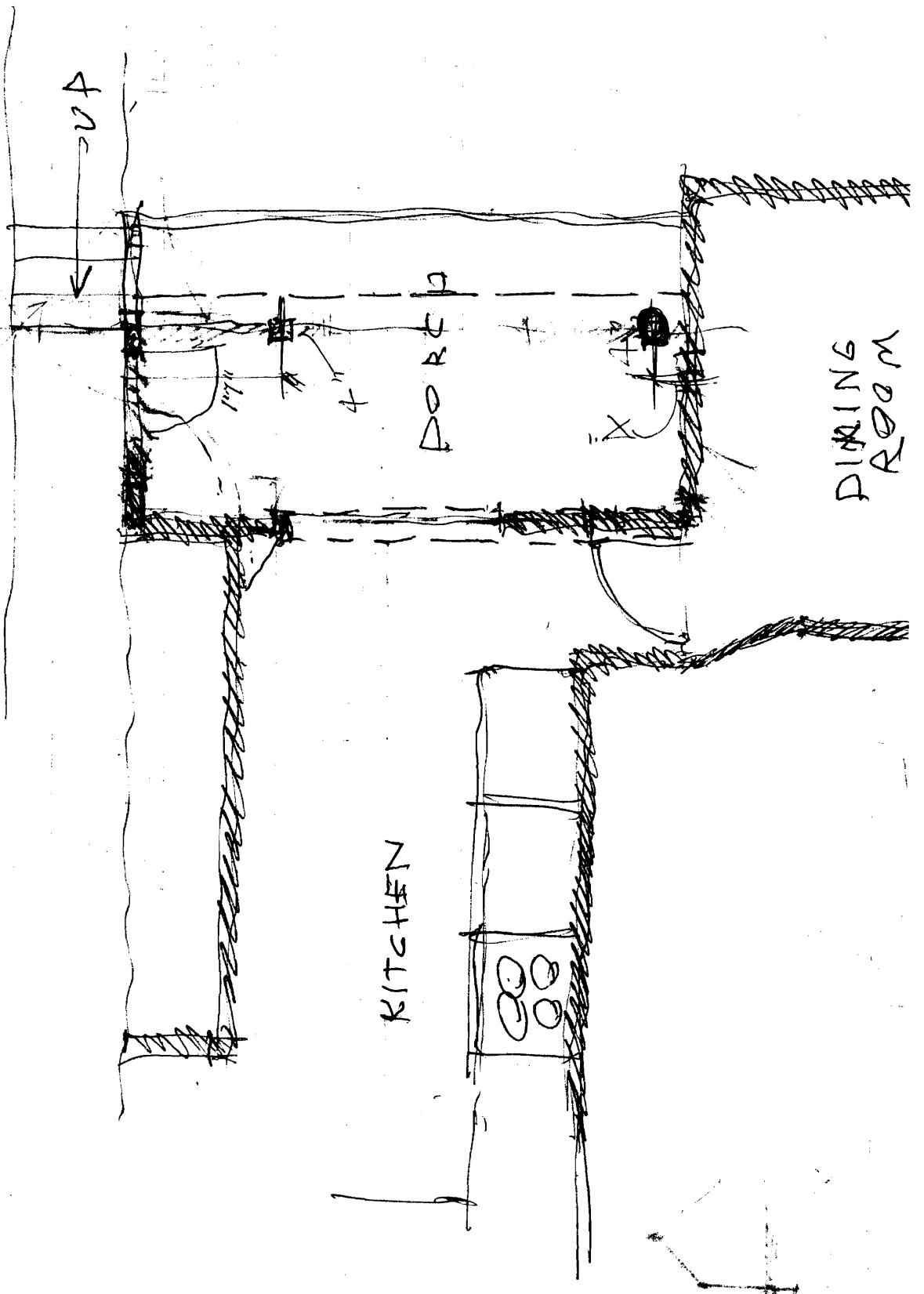
All dimensions size designations given are subject to verification on job site and adjustment to fit job conditions.



This is an original design and must not be released or copied unless applicable fee has been paid or job order placed.

Designed: 9/19/2008
Printed: 9/19/2008





KITCHEN

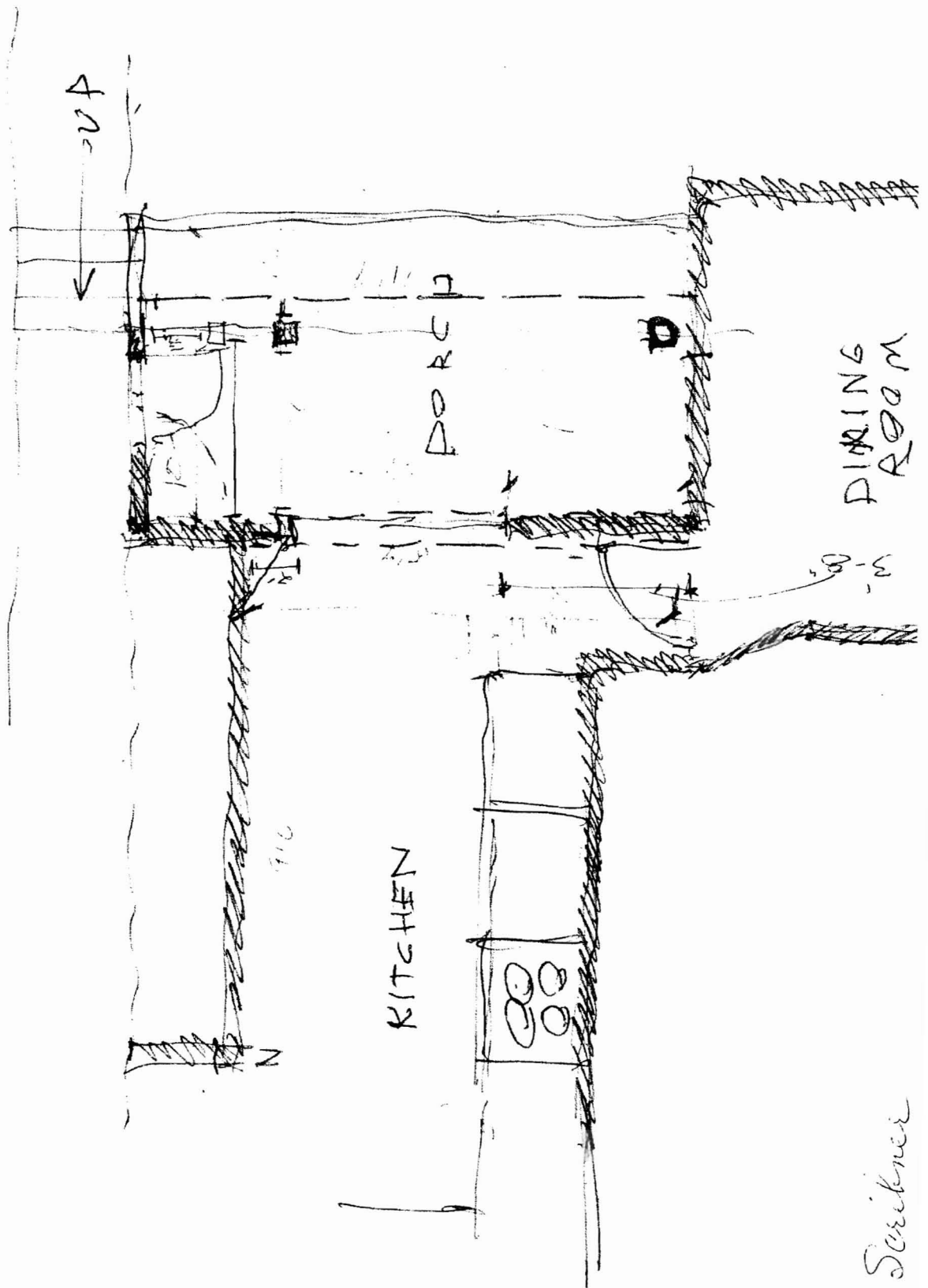
DOOR

DINING ROOM

4'

11 1/2"

4'

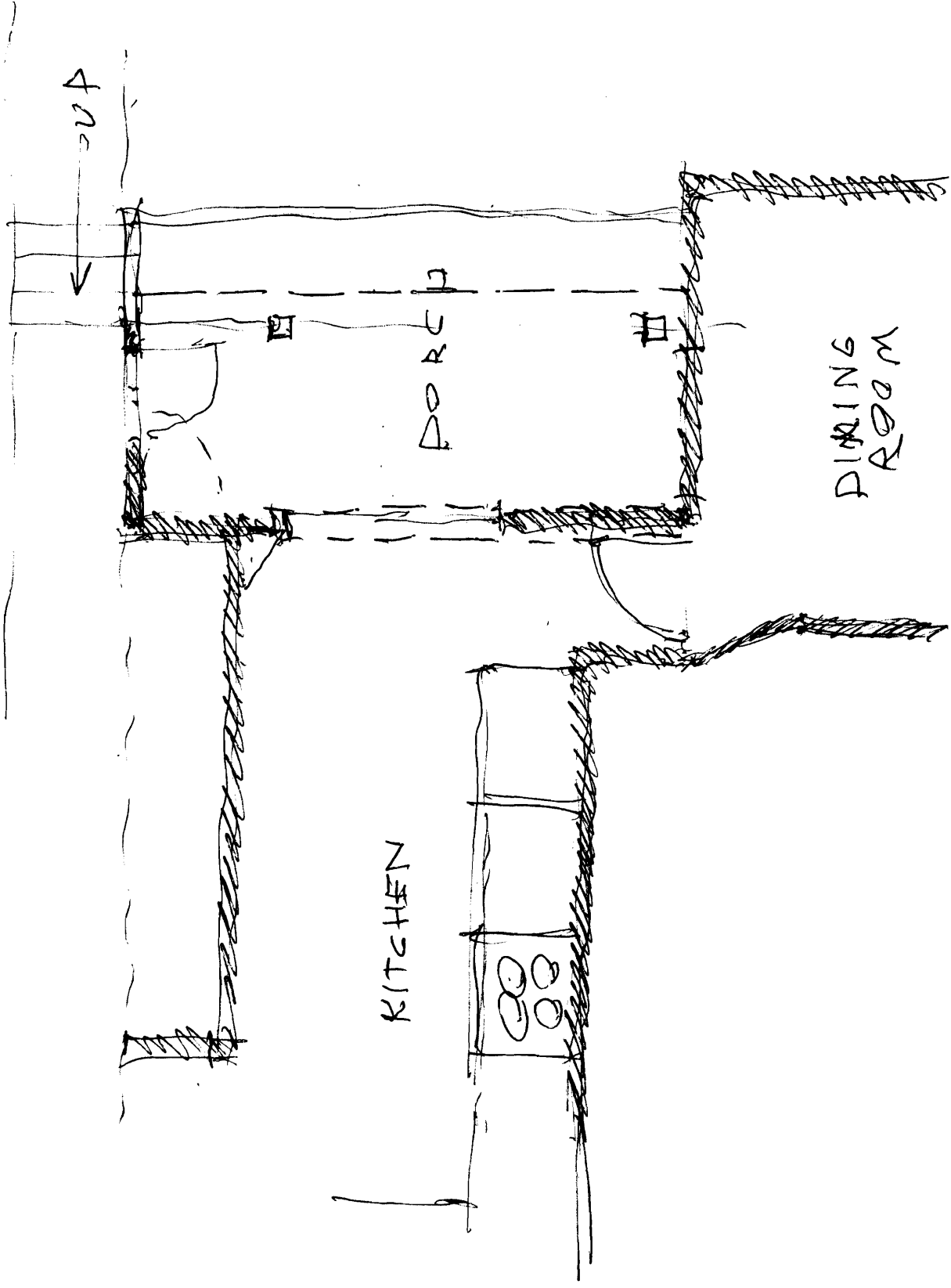


DINING ROOM

KITCHEN

DOOR

Dave Seikner



KITCHEN

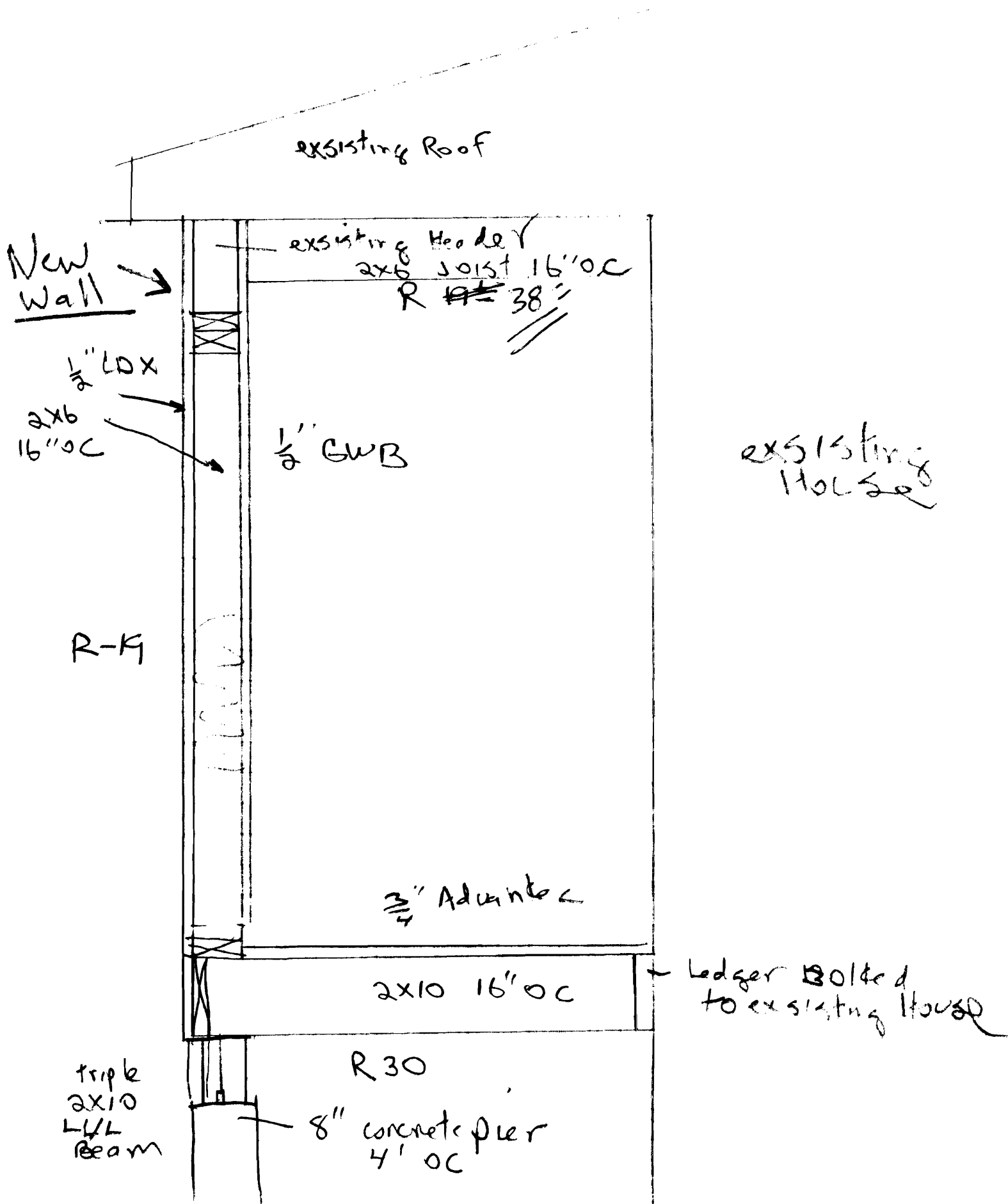
DOOR

DINING ROOM

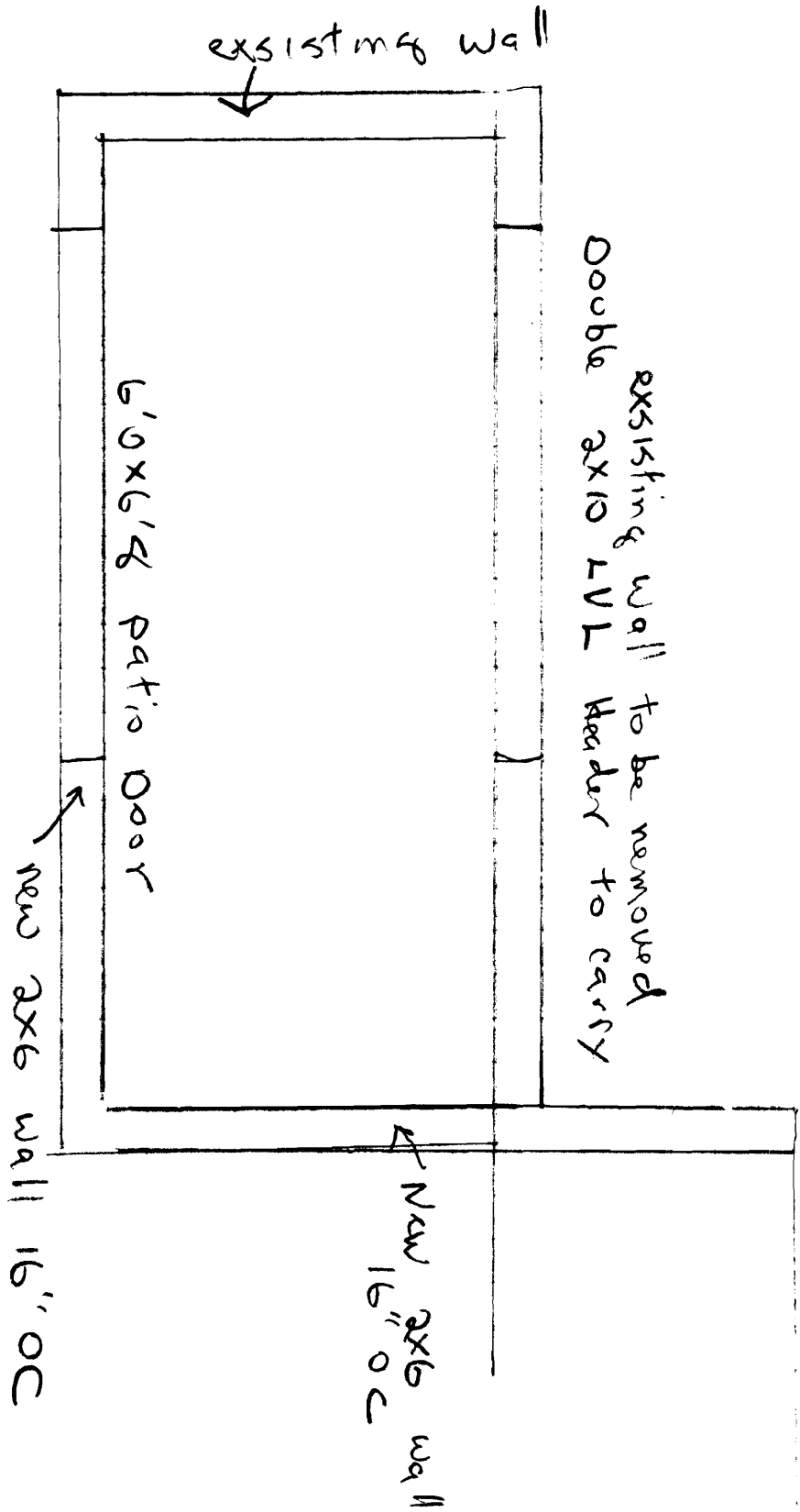
4m

Ascanio Kitchen Renovation

Cross section w/ Framing Details



Ascanio Kitchen Renovation



Ascarro Kitchen Renovation

Foundation Plan

