

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that JOSEPH'SMANOR ST

Located At 136 RAY

Job ID: 2011-03-617-H1B

CBL: 172 - - A - 014 - 001 - - - -

has permission to Install new double doors w/ADA hardware provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

**Fire Prevention Officer**

**Code Enforcement Officer / Plan Reviewer**

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.  
PENALTY FOR REMOVING THIS CAR**

*[Handwritten signature in blue ink]*  
4-11-11

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

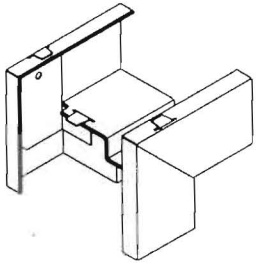
Job No: 2011-03-617-HIB	Date Applied: 3/22/2011	CBL: 172 - - A - 014 - 001 - - - - -	
Location of Construction: 136 RAY ST	Owner Name: JOSEPH'S MANOR ST	Owner Address: 213 MAINE AVE PORTLAND, ME - MAINE 04103	Phone:
Business Name:	Contractor Name: Adams , Construction	Contractor Address: 121 Stone RD ALFRED MAINE 04002	Phone: 590-7234
Lessee/Buyer's Name: St Joseph's Manor	Phone:	Permit Type: BLDG - Building	Zone: R-3
Past Use: Extended Care Facilities And Day Care	Proposed Use: Same: Extended Care Facilities and Day Care - to make interior renovations to doors.	Cost of Work: 1000.00	CEO District:
		Fire Dept: <input checked="" type="checkbox"/> Approved w/conditions <input type="checkbox"/> Denied <input type="checkbox"/> N/A	Inspection: Use Group: I-2 Type:
		Signature: <i>Bjaws</i> (58)	Signature: <i>[Signature]</i>
Proposed Project Description: 136 Ray Street - installing new double door		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Vicki	<b>Zoning Approval</b>		

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan _ Maj _ Min _ MM Date: <i>OK [Signature]</i> <i>3/22/11</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9</i>
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON

**Steelcraft manufactures a wide variety of frames in jamb depths for virtually any wall condition or entryway requirement.**



### FLUSH FRAMES

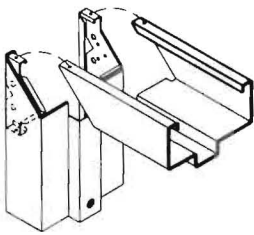
Flush (F-, FE-, FN- and FS-Series) frames are designed to be installed as part of the wall framing sequence for exterior and interior walls of wood stud, steel stud and masonry construction. Frames are manufactured from 18-, 16-, 14- and 12-gauge (F only) commercial-quality carbon steel or A60 galvanized steel, and 16-gauge #304 (or 316) stainless steel. Flush frame corners lock together by bending over four integral tabs, and may also be welded and ground smooth.

### MULTIPLE USE FRAMES

Multiple Use (MU-Series) frames have a jamb profile similar to drywall frames but are designed to be installed as part of the wall framing sequence. MU-Series frames are available in 18-, 16- or 14-gauge cold-rolled or A60 galvanized steel.

### DRYWALL EASY-SET® FRAMES

Drywall (DW- and K-Series) frames are designed to be installed in rough openings after the wall is constructed. They can be installed in minutes and can be relocated without damage to the frame. Drywall frame corners lock together once the frame is assembled. The tab design prohibits the head from raising, and keeps the head and jamb members in the same plane.

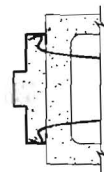


### SPECIFICATIONS

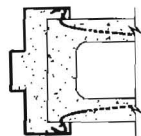
<b>Door Thickness</b>	1-3/4" (45mm)	1-3/8" (35mm)		
<b>Standard Heights</b>	6'8" (2032mm)	7'10" (2388mm)	7'0" (2134mm)	
	8'0" (2438mm)	7'2" (2184mm)	10'0" (3048mm)	
<b>Standard Widths</b>	Increments of 2" (50mm) from 1'6" (457mm) to 8'0" (2438mm)			

Custom dimensions upon request.

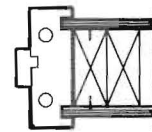
### TYPICAL WALL CONDITIONS - F- AND FN-SERIES



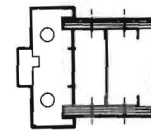
*Butted Masonry*



*Wrap-Around Masonry*

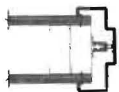


*Wood Stud*

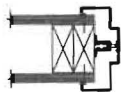


*Closed Steel Stud Wall*

### TYPICAL WALL CONDITIONS - DW- AND K-SERIES



*Steel Stud*



*Wood Stud*

Easy-Set drywall frames are designed for drywall construction using wood studs or steel studs. DW- and K-Series frames are available in 18-, 16- or 14-gauge cold-rolled or A60 galvanized steel.

## Lead-Lined

**THICKNESS** - 1 1/4" and 2 1/4"

**MAX SIZE** - 4/0 x 10/0, 8/0 x 10/0 pairs

**STILES** - 1/2" minimum compatible stiles

**RAILS** - 1 3/8" top and bottom solid lumber

**CORE** - Solid wood stave lumber or particle core

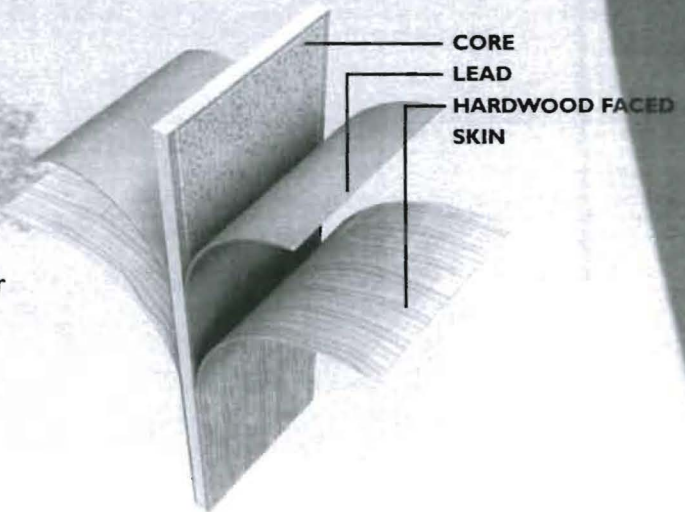
**LITE OPENINGS** - Standard lites not to exceed 40% of door area or 54" in height

**FIRE RATINGS** - 1/3 and 3/4 hour

**FACES** - Unlimited hardwood veneers and plastic laminate

**STANDARDS:** WDMA I. S. 1A Series, AWI Section 1300

**WARRANTY** - Full lifetime



## Acoustical

**THICKNESS** - 1 1/4" STC 28, 39, 40, 43, 45

**MAX SIZE** - 4/0 x 10/0, non-rated pairs available

**STILES** - 2-ply stiles. Outer ply compatible with face; inner ply mill option.

**RAILS** - 2 1/2" min. glued to core (STC 28)

**CORE** - Special construction to meet acoustical ratings shown. STC 54 rating available for communicating door applications. Contact factory for details.

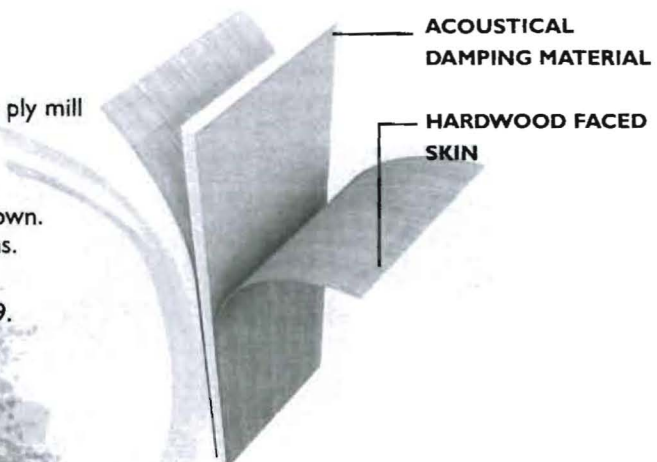
**LITE OPENINGS** - 400 sq. in. max. lite opening for STC 39. All gasketing, drop seals and thresholds supplied with door.

**FIRE RATINGS** - STC 28: 1/3, 3/4, 1 and 1-1/2 hour.  
STC 43: 1/3 hour.

**FACES** - Unlimited hardwood veneers and plastic laminate

**STANDARDS:** WDMA I. S. 1A Series, AWI Section 1300

**WARRANTY** - Full lifetime



# ARCHITECTURAL COMPOSITE CORE FIRE DOOR DATA — FireGuard Plus®

	45 MINUTE, C SINGLE	45 MINUTE, C PAIRS (1)-(2)	60 MINUTE, B SINGLE
<b>THICKNESS</b>	1 3/4"-2-1/4"	1 3/4"-2-1/4"	1 3/4"-2-1/4"
<b>MAXIMUM SIZE</b>	4' 0" x 10' 0"	Double Egress: 8' 0" x 8' 0" One or two leaves active: 8' 0" x 9' 0"	4' 0" x 9' 0"
<b>MAXIMUM DOOR &amp; TRANSOM NON-RABBETED (3)</b>	4' 0" x 11' 0" wood veneer, MDO or HPL (Maximum transom size: 1' 0" x 4' 0") Door and transoms must be separated by horizontal transom bar.  Individual transoms must be separated by vertical and horizontal transom bars.		
<b>MAXIMUM DOOR &amp; TRANSOM, RABBETED (4)</b>	Wood veneer, MDO or HPL—3' 6" x 10' 0"	Not available	Wood veneer, MDO or HPL—3' 6" x 10' 0"
<b>STILES</b>	1/4" outer-ply (compatible or same species as face veneer). Reinforcing inner-ply (1). Special stiles may have HPL or wood veneer. PVC edges not available on label doors.		
<b>RAILS</b>	Top: Minimum 1/2" mill option. Bottom: Minimum 1-1/2" mill option.		
<b>REINFORCEMENTS</b>	Optional 5' x full core width top, middle and bottom reinforcing; 5' x 10' 0" latchcase and bolt reinforcing, or blocking as specified.		
<b>FACES</b>	All available domestic and foreign veneers. Medium density overlays (MDO) over standard hardwood veneers. HPL in .050 and .062.		
<b>CROSSBANDS</b>	Maximum 1/16" high density hardboard.		
<b>VISION PANELS: (5) VENEERED WOOD BEAD</b>	Up to 1296 sq. in., maximum 36" wide, maximum 54" high (1). Special construction glass can be maximum 1714 sq. in., maximum 36" wide, maximum 65-1/2" high.		Up to 1296 sq. in., maximum 6' 6" Maximum 54" high.
<b>LOUVERS</b>	1/4" to 24" x 24" (1). Not available in doors with lites.		
<b>LOCKSETS</b>	Listed and approved mortise, cylindrical, or unit locks for up to 1 1/2 hr.; 5" backsets on HPL doors only. Deadbolts minimum 6" above latch.		
<b>HINGES</b>	Per NFPA #80 and agency approvals. Offset pivots in reinforced doors only.		
<b>TOP &amp; BOTTOM BOLTS</b>	Not available	Listed surface, manual extension (maximum 24") & automatic bolts.	Not available
<b>FIRE EXIT HARDWARE</b>	Listed and approved fire exit hardware. Reinforced blocking sections available for screw mounting (minimum #10 x 1-1/2" sheet metal screws). No prep for surface mounted. No metal edges on 2-leaf active up to 8' 0" x 9' 0"; LBR available.		
<b>CLOSERS, STOPS, HOLDERS</b>	Listed surface mounted closers. Concealed closers, holders and stops not exceeding 24-3/4" x 1-1/2" deep x 1-3/8" wide.		
<b>DROP SEAL</b>	Listed and approved.		
<b>SPECIAL DETAILS</b>	Cut for lite and louver openings (5). Inset glazing and metal louvers (1). Applied moldings per approval. Stile and rail sketch faces for applied moldings. Wood veneer wrapped metal edges and rabbets. Kick plates up to 48". Solid wood grillwork available. Reveals (grooves) up to 3/8" wide and 3/8" deep.		
<b>FINISHING</b>	Ganall™ primed, painted, MDO only, sealer, full bevel, catalyzed polyurethane, and opaque varnish.		
<b>WARRANTY</b>	Life of installation. Not suitable for exterior installations.		
<b>STANDARDS</b>	WDMA (S-1)-A-04 (D-5), AWT Section 1300 (th edition FD), NFPA 252, UL10C, UL10D, NFPA 80, UL 1072 (1997)		

- (1) Does not require metal meeting edges up to 8' 0" x 9' 0" with special construction. Concealed vertical rods not available in HPL.
- (2) One or two leaf active doors can have metal edges or astragals if required.
- (3) Opening must be separated by non-removable minimum 2" transom bar. Springbolts required for transom installation.
- (4) The exposed meeting edge of the rabbetted door and transom is a white high density mineral board. May be wood veneer wrapped. Springbolts required for transom installation.
- (5) Minimum 6" margin edge of lite opening to adjacent cutouts for hardware and door edges. Warranty exclusions applicable.
- (6) Minimum lock-to-lite margin with special reinforced construction in 45 minute doors.
- (7) Lites over 100 square inches require fire-rate glass. Doors do not qualify for temperature rise rating.
- (8) Veneer wrapped available for metal vision panels.
- (9) Doors will be manufactured and labeled in accordance with procedures and product approvals established by and between Eggers Industries, Warnock Hersey or Underwriters Laboratories.
- (10) Minimum 10" margins from edge of louver opening to bottom of door.
- (11) Divided lite bars for plastic laminated fire doors will be painted.

## WDMA Duty Level Performance for Standard Constructions.

Test Method	Non-Rated & 20 Minute Fire Doors	45-90 Minutes Fire Doors
WDMA TM-7 Cycle/Slam	1 Million Cycles	1 Million Cycles
WDMA TM-8 Hinge/Loading	Extra Heavy Duty	Extra Heavy Duty
WDMA TM-10 Screw Withdrawal*	Extra Heavy Duty	Extra Heavy Duty
*Stile and end rail constructions meet extra heavy duty. Duty level of the core varies by core material. Blocking available to meet extra heavy duty level.		

(\*) Consult factory for specialty construction including acoustic, bullet-resistant and lead.

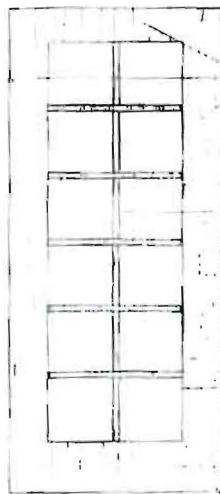
# LABEL DOORS APPROVED FOR POSITIVE OR NEGATIVE PRESSURE

60 MINUTE, B PAIRS ①②	90 MINUTE, B SINGLE	90 MINUTE, B PAIRS ①②
1-3/4"-2-1/4"	1-3/4"-2-1/4"	1-3/4"-2-1/4"
Double Egress 8' 0" x 8' 0" One or two leaves active 8' 0" x 9' 0"	4' 0" x 9' 0"	Double Egress 8' 0" x 8' 0" One or two leaves active 8' 0" x 9' 0" Surface vertical rods 8' 0" x 9' 0"
4' 0" x 11' 0" wood veneer, MDO or HPL (Maximum transom size 4' 0" x 4' 0") Doors and transoms must be separated by horizontal transom bar		
Individual transoms must be separated by vertical and horizontal transom bar.		Individual transoms must be separated by vertical and horizontal transom bar.
Not available.	Wood veneer, MDO or HPL-3' 6" x 10' 0" (H)	Not available.
1-4" outer ply compatible or same species as face veneer. Reinforcing inner ply ③ Special stiles may have HPL or wood veneer. PVC edges not available on label doors.		
Top-Minimum 1/2" mill option. Bottom-Minimum 1-1/2" mill option.		
Optional 5" x full core width top, middle and bottom reinforcing (5" x 10" std. latchcase and bolt reinforcing, or blocking as specified).		
All available domestic and foreign veneers. Medium-density overlays (MDO) over standard hardwood veneers. HPL in 050 and 067.		
Minimum 1/16" high density hardboard.		
Up to 1200 sq. in. maximum, maximum 54" high (H)		
Up to 24" x 24" (H) (not available in doors with lites)		
Listed and approved mortise, cylindrical or unit locks for up to 1-1/2" or 5" backsets on HPL doors only. Deadbolts minimum 5" above latch.		
Per NFPA #80 and agency approvals. Offset pivots in reinforced doors only.		
Listed surface manual extension (maximum 24") & automatic bolts.	Not available.	Listed surface manual extension (maximum 24") & automatic bolts.
Listed and approved fire exit hardware. Reinforced blocking options available for screw mounting (minimum #10 x 1-1/2" sheet metal screws). No prep for surface mounted. No metal edges on 2 leaf active up to 8' 0" x 9' 0". LBR available.		
Listed surface mounted closers. Concealed closers and stops not exceeding 23-3/4" x 1-1/2" deep x 1-3/8" wide.		
Listed and approved.		
Cut for lite and lower openings (H) install glazing and metal louvers (H) Applied moldings per approvals. Stile and rail sketch faces for applied moldings. Wood veneer wrapped metal edges and rabbets. Kick plates up to 48". Solid wood grillwork available. Reveals (grooves) up to 3/8" wide and 3/8" deep.		
Gardol UV, primed, painted (MDO only), sealer, full sealer, catalyzed polyurethane, and opaque varnish.		
Life of installation. Not suitable for exterior installations.		
WDMA (S-1-A-04) FD-5, AWI Section 1300 8th edition F1, NFPA 252, UL10B, UL10C, NFPA 80, EBC 7-2 (1995).		

## FIRE RATED PAIRS – NO METAL EDGES

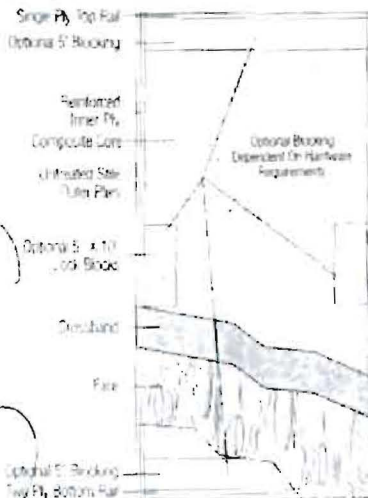
- 45, 60 & 90 minute
- 8' 0" x 9' 0" maximum
- Flush and Stile & Rail
- Top & bottom rod or less bottom rod (LBR)
- Concealed vertical rod (8' 0" x 8' 0" max.)
- Double egress (8' 0" x 8' 0" max.) and standard swing
- Double egress and LBR require auxiliary fire latches
- One leaf active (3 point latching)
- All approved devices except Monarch and American

## 45 MINUTE FULL LITE DOOR SINGLE OR PAIRS



Glass Size: Max 114 sq in, Max 9' 10" high  
Max Door Size: 4' 0" x 10' 0" single, 8' 0" x 9' 0" pairs

## TYPICAL 5-PLY FIREGUARD PLUS



## BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov)

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
  - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
  - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Close-in inspection required prior to closing in framing, plumbing or electrical work.
  2. Final inspection required upon completion.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



# PORTLAND MAINE

*Strengthening a Remarkable City, Building a Community for Life • [www.portlandmaine.gov](http://www.portlandmaine.gov)*

Director of Planning and Urban Development  
Penny St. Louis

**Job ID: 2011-03-617-HIB**

**Located At: 136 RAY**

**CBL: 172 - - A - 014 - 001 - - -**

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## **Conditions of Approval:**

### **Fire**

All construction shall comply with City Code Chapter 10.

The doors must open in the direction of egress and can not infringe into the exit corridor.

### **Building**

1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.



# Fire Conditions

All construction shall comply with City Code Chapter 10.

The doors must open in the direction of egress and can not infringe into the exit corridor.

**Job Summary Report**  
**Job ID: 2011-03-617-HIB**

Report generated on Mar 22, 2011 3:13:52 PM

Page 1

<b>Job Type:</b>	Hospitals & Institutional Buildings	<b>Job Description:</b>	136 Ray Street - installing new double door	<b>Job Year:</b>	2011
<b>Building Job Status Code:</b>	Initiate Plan Review	<b>Pin Value:</b>	907	<b>Tenant Name:</b>	
<b>Job Application Date:</b>		<b>Public Building Flag:</b>	N	<b>Tenant Number:</b>	
<b>Estimated Value:</b>	1,000	<b>Square Footage:</b>			
<b>Related Parties:</b>		JOSEPH'S ST		<i>Property Owner</i>	
		Adams Construction and Renovation - Construction		<i>GENERAL CONTRACTOR</i>	
		Adams			

**Job Charges**

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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**Location ID: 24098**

**Location Details**

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude
958600	172 A 014 001		U				-70.279895	43.693559

Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)
1				136 RAY STREET WEST

Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside Outside Code	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
BENEVOLENT & CHARITABLE		NOT APPLICABLE					DISTRICT 5	NORTH DEERING

**Structure Details**

**Structure: 136 Ray St / St Joseph's Manor**

**Occupancy Type Code:**

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Hospitals & Institutional Buildings	0			136 RAY STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value
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**Permit #: 20112020**

**Permit Data**

*Vicky*

**Job Summary Report**  
**Job ID: 2011-03-617-HIB**

Report generated on Mar 22, 2011 3:13:52 PM

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
24098	136 Ray St / St Joseph's Manor	Initialized	Install new double doors w/ADA hardware			

Inspection Details						
Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag

Fees Details								
Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$30.00							



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>136 Ray</u>		
Total Square Footage of Proposed Structure/Area	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# <u>172</u> Block# <u>A</u> Lot# <u>14</u>	Applicant * <b>must be owner, Lessee or Buyer*</b> Name <u>ST. JOSEPH'S MANNOR</u> Address <u>136 RAY ST</u> City, State & Zip <u>Portland ME 04102</u>	Telephone: <u>979-0600</u> ATTN: <u>Chuck Dousting</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	Cost Of Work: \$ <u>1,026</u> C of O Fee: \$ Total Fee: \$ <u>30</u>
Current legal use (i.e. single family) <u>Nursing home</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>Remove one single door, installing a new double doors with ADA hardware</u>		
Contractor's name: <u>Adams Construction &amp; Renovation</u> Address: <u>121 Stone Road</u> City, State & Zip <u>ALFRED ME 04002</u> Telephone: <u>207-590-7234</u> Who should we contact when the permit is ready: <u>Marc Riggillo</u> Telephone: <u>207 590-7234</u> Mailing address: _____		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

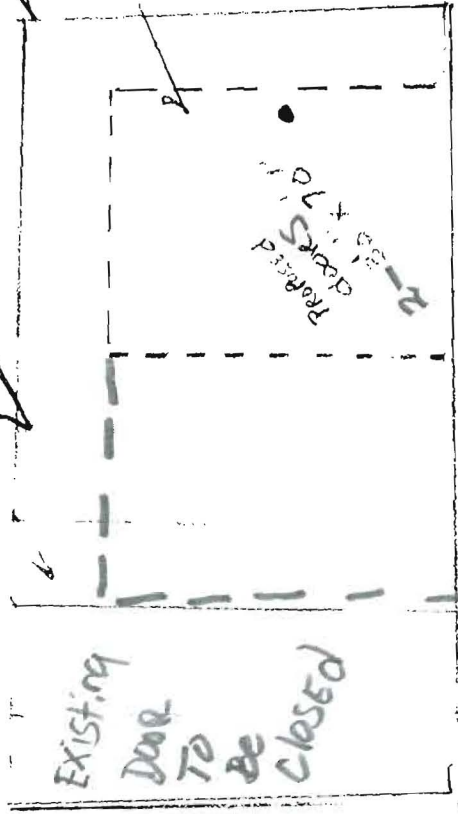
Signature: [Signature] Date: 3-21-11

This is not a permit; you may not commence ANY work until the permit is issued

Front View Existing Conditions

2 LAYER 5/8" SHEET ROCK

2x4 STEEL STUDS 16 OC



Partition WALL (NON LOAD BEARING)

SEE SFR. SHEET THIS DOOR + JAMB

2" STEEL TOP PLATE

2 LAYER 5/8" SHEET ROCK

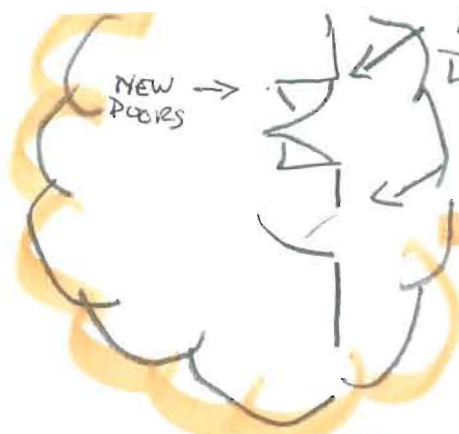
2x4 STEEL FRAMING  
2 LAYER 5/8" SHEET ROCK



EXISTING WALL CROSS SECTION

STRAIT JOSEPH MANOR  
1133 WASHINGTON AVE  
BETHLEHEM MAINE

1-12-10

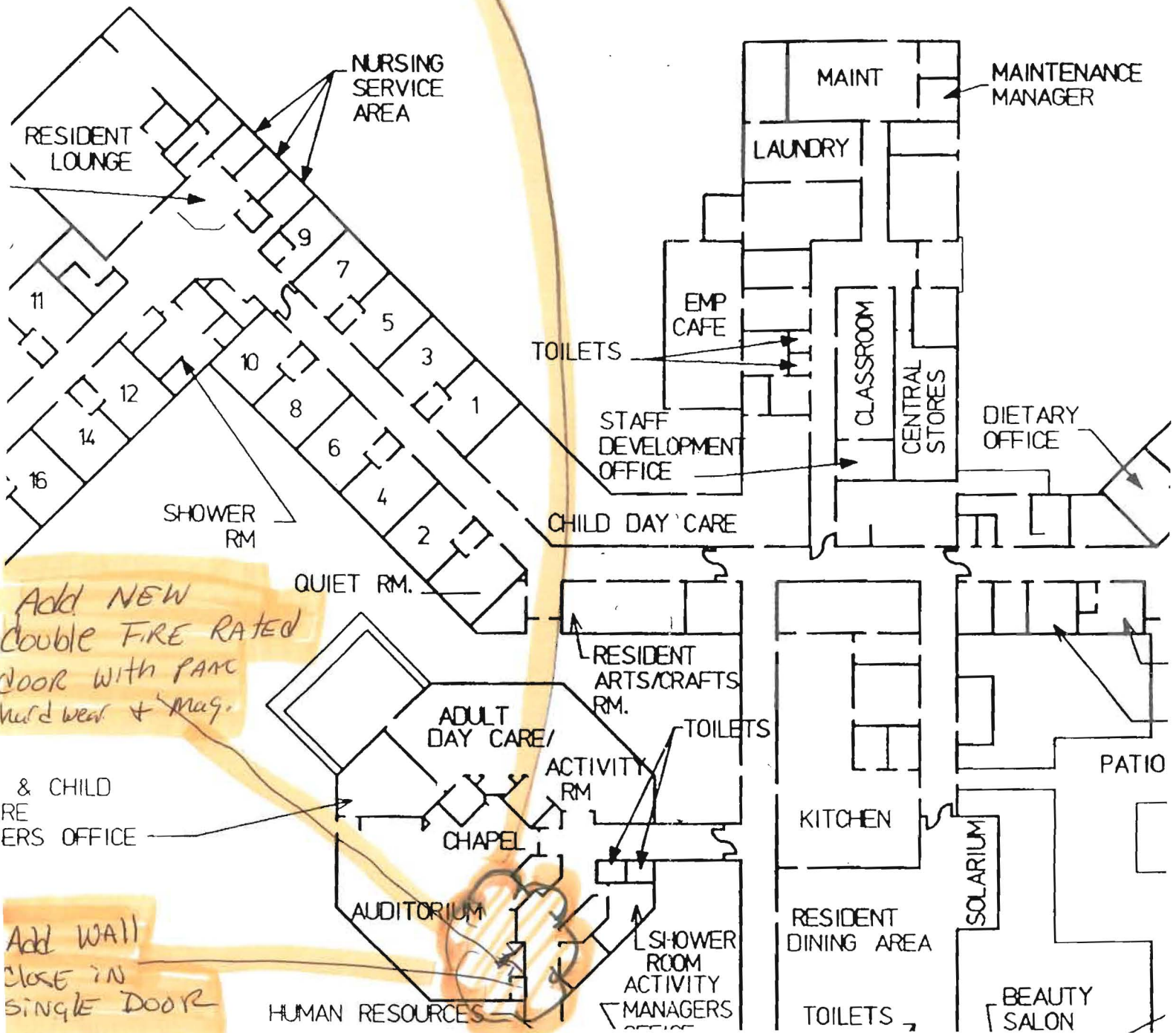


Existing Close To Receive NEW  
Double door ADA Compliant  
 Existing door TO BE REMOVED.

# ST. JOSEPH'S MANOR

## WING " B "

## WING " E "



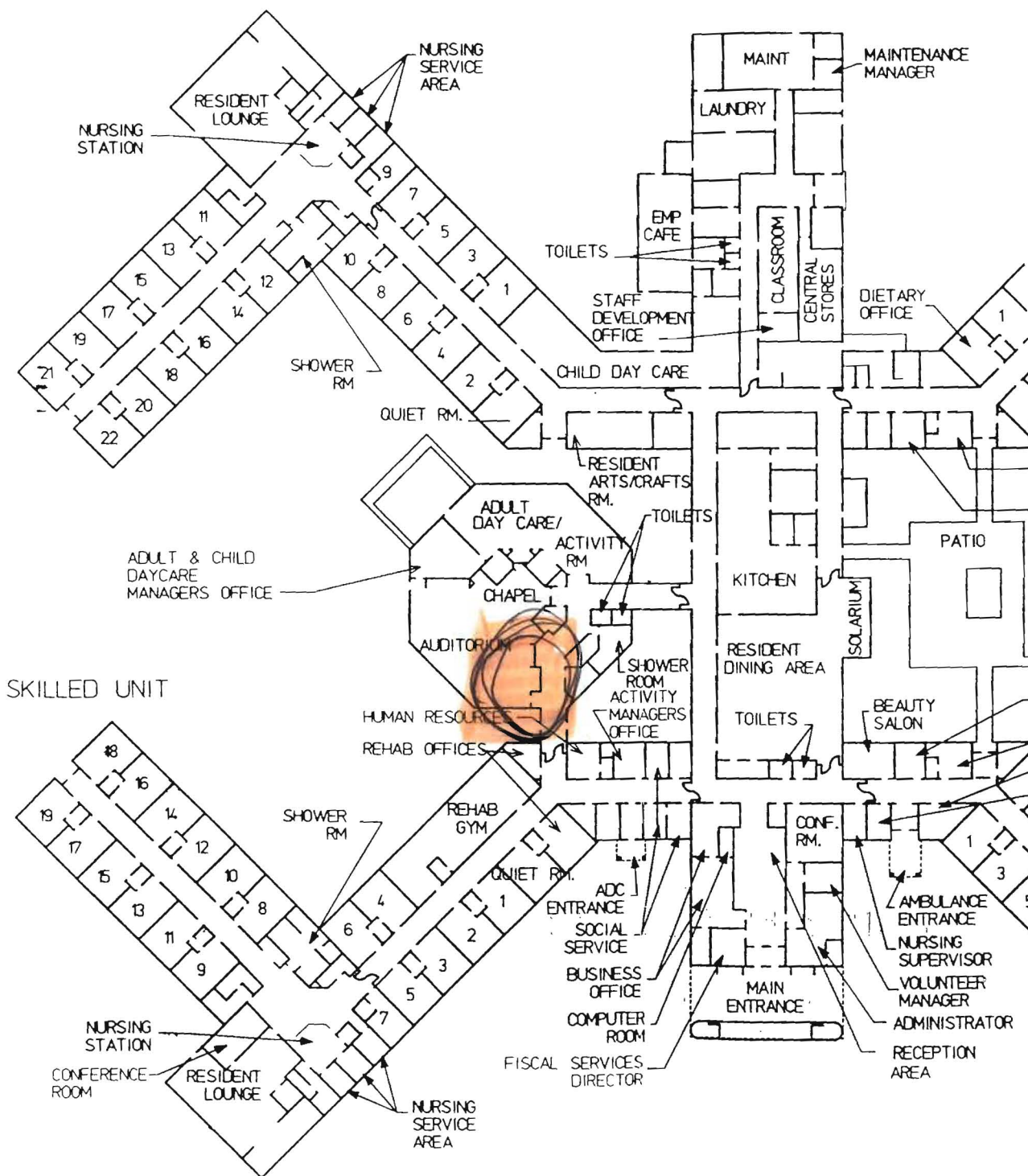
Add NEW  
 Double FIRE RATED  
 door with panic  
 hard wear + mag.

& CHILD  
 RE  
 ERS OFFICE

Add WALL  
 Close IN  
 SINGLE DOOR

WING " B "

WING " E "

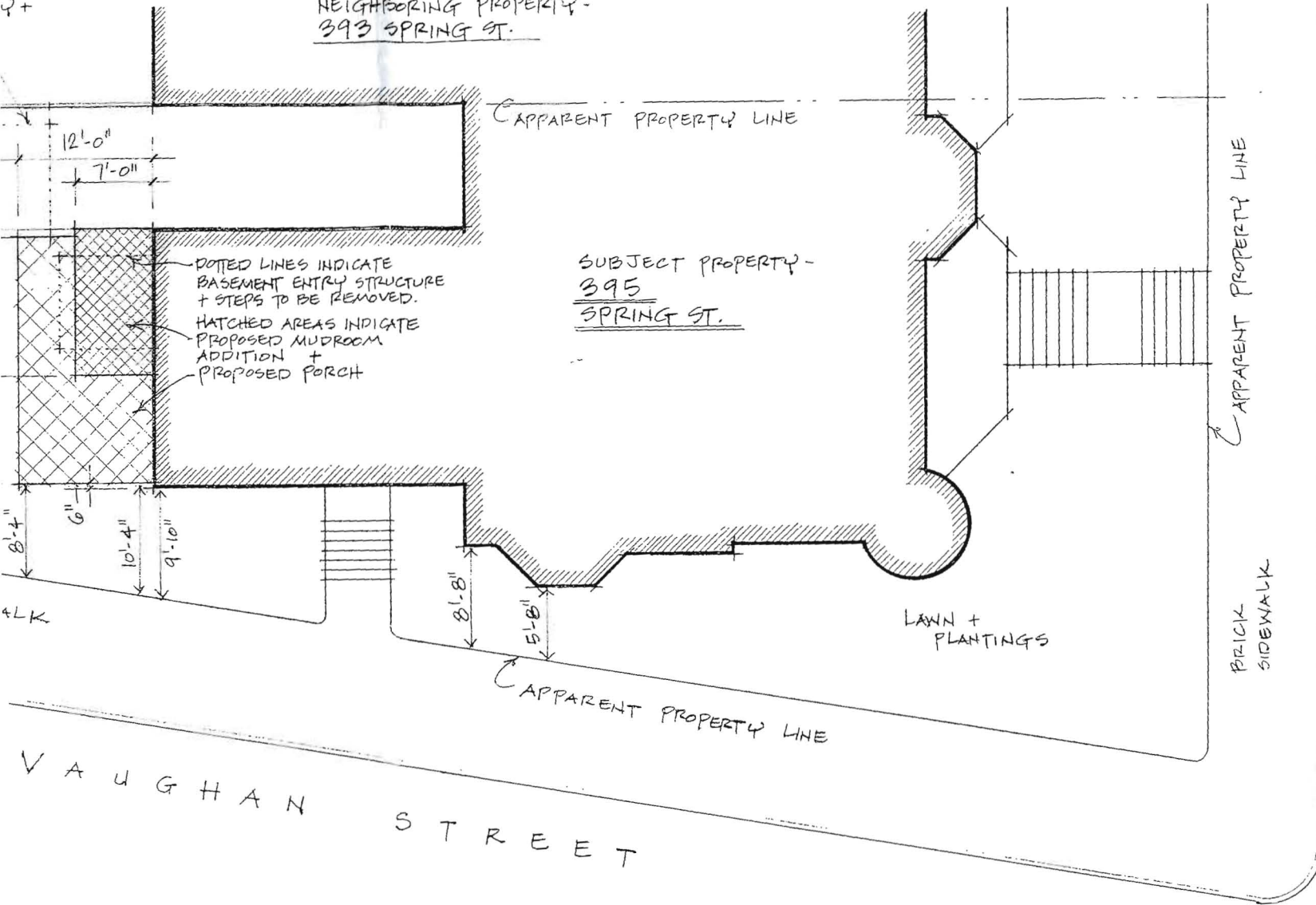


SKILLED UNIT

WING " A "

WING " E "

NEIGHBORING PROPERTY -  
393 SPRING ST.



SUBJECT PROPERTY -  
395  
SPRING ST.

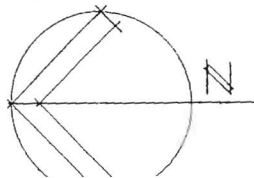
DOTTED LINES INDICATE  
BASEMENT ENTRY STRUCTURE  
+ STEPS TO BE REMOVED.  
HATCHED AREAS INDICATE  
PROPOSED MUDROOM  
ADDITION +  
PROPOSED PORCH

SCALE - 1/8" = 1'-0"  
DATE - JUNE 1, 2010

395 SPRING STREET  
ATTACHMENT # 6

SITE PLAN  
PROPERTY INFORMATION

CARRIAGE HOUSE STUDIO  
ARCHITECTS



RECEIVED

JUN - 2 2010