

Location of Construction: 15 Country Ln (Lot #5) Portland		Owner: R.L.L. Anderson & Sonnet		Phone:	
Owner Address:		Lessee/Buyer's Name:		Phone:	Business Name: 846-0413
Contractor Name: Archer & Gibbon, Inc.		Address: P.O. Box 831 Yarmouth, ME		Phone: 846-0410	
Past Use: Vacant Land		Proposed Use: 1-1-10		COST OF WORK: \$ 157,000.00 PERMIT FEE: \$ 805.00 FIRE DEPT. 0 Approved 0 Denied INSPECTION: Use Group: Type: 1 - - i Signature: Signature:	
Proposed Project Description: Construct single family dwelling Attached garage/covered porch & rear deck		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved cl Approved with Conditions: 0 Denied: 0 Signature: Date:			

Permit No: **97-1053**

PERMIT ISSUED

Permit Issued:
OCT - 1 1997

CITY OF PORTLAND

Zone: CBL:
171-A-005

Zoning Approval: [Signature]

Special Zone or Reviews:
 Shoreland;
 Wetland
 Flood Zone?
 Subdivision
 Site Plan maj minor mm,13

Permit Taken By: Mary Green Date Applied For: 17 September 1997

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

[Handwritten mark]

[Handwritten signature]

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

QNot in District or Landmark,
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: _____ ADDRESS: _____ DA;E: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Jim Wendel, Development Review Coordinator

DATE: February 18, 1998

RE: Request for Certificate of Occupancy
85 Country Lane (lot 5)

On February 12, 1998 I reviewed the site for compliance with the conditions of approval dated 9/22/97; my comments are:

1. Grading of the site is in rough condition and snow cover prevented full evaluation of the grading. A spring time review of the site will be necessary. The final grading and landscape work including conditions 15, 16 and 17 noted in the conditions of approval shall be completed by May 31, 1998.
2. No silt fence was installed as required in condition 14 of the conditions of approval. The project is not in compliance.
3. The street address number needs to be placed on the house.
4. The end of the drive culvert is damaged and needs to be repaired.

OK 2/12

OK 2/17

It is my opinion that when items 2 and 3 are completed a temporary certificate of occupancy could be issued assuming Code Enforcement has no outstanding issues.

L & L STRUCTURAL
ENGINEERING SERVICES, INC
 5th Q Street
 South Portland, ME 04106
 Phone: (207) 787 4800
 Fax: (207) 700 5432

171A-A-5

Field Notes

Client: Walters & Loanes Inc.
Job Name: Finberg Residence
Job No.: 97164
Date: November 17, 1997 **Time:** 10:20 pm
Weather: Sunny & Cold

Observer(s): Joe Casamoff & L. S. Eng. Serv.

Observations:

ROOF FRAMING PLAN:

1. The 2x4 web bracing in the main roof shall be fastened 2x4 blocking with 2-16d nails. The blocking shall be fastened to the to the gable trusses with 2-16d nails at each connection.
2. The diagonal bracing shall be installed to the bottom chord horizontal bracing located in the garage trusses adjacent to the main building.
3. The porch columns shall be fastened to the roof beams with Simpson ACO or ACB6 at corners and ends) column caps.

The bay window roof is constructed different than the drawings. The rafters are currently supported on 2x8 ceiling joists. The joists need to be doubled to support the rafters at two locations. The rafter shall be fastened to the double 2x8 joists with 12" plywood gables. The structure of the gable wall of the dormer is not adequately supported. The gable wall shall be a post and with 2x4 joists perpendicular to the vertical wall studs and secured to the side with 4-16d nails. The joists shall extend over the ceiling joists and fastened to the plywood roof deck at the opposite end with 2-16d nails. The joists shall also be fastened to the ceiling joists with 2-16d nails.

1 & L STRUCTURAL
ENGINEERING SERVICES, INC
56 G Street
3044 Portland, ME 04106
Phone (207) 767-4800
Fax (207) 799-4432

Fax Transmitted

Date 11/17/97

Project CONCRETE FR.

Project No. 0-1164

Fax No. 846-0671

NUMBER OF PAGES TRANSMITTED 2

DELIVER TO BOB MACQUEHEN

COMPANY ANNIS & LEWIS

FROM JOE LEWIS

If you do not receive all pages, please call our business phone for transmission verification

COMMENTS BILL I LOOKED MORE CAREFULLY AT ITEM
#4 (REINFORCING) AND I HAVE ADDED SOME
DETAILS PLEASE NOTE SOME OF THE HAND
DRY SPOTS

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**
 514 Q Street
 South Portland, ME 04106
 P.O. # (307) 787-4830
 Fax (207) 799-5422

Project No.	101	Date	11/10/97	Page	3
To	Mr. Joseph J. Nadeau	From	Rob A. Greeney		
Project Name	101 - 101 - 101 - 101	Project No.	101		
Project Location	101 - 101 - 101 - 101	Project Date	11/10/97		
Project Description	101 - 101 - 101 - 101	Project Status	101		

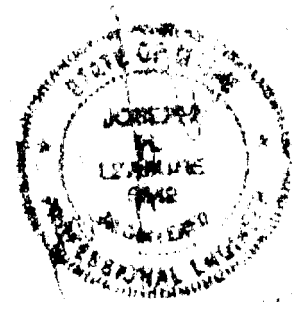
MEMO

Job Name: 101 - 101 - 101 - 101 (101 - 101 - 101 - 101) (101 - 101 - 101 - 101)
 Job No: 101
 Date: 11/10/97
 By: Joseph J. Nadeau
 Client: Joseph J. Nadeau
 Contact: Rob A. Greeney
 Of: Joseph J. Nadeau
 Subject: Code Compliance

DISCUSSION

The above mentioned building was seen designed in accordance with The 500 National Building Code 1992. We visited the site on November 17, 1997 to review the construction to ensure whether the building structure was being constructed in accordance with the design drawings. The building is in general compliance with the design drawings, with the exception of the four items mentioned in the following. It is our understanding that the four items to be been remedied according to the recommendations.

Joseph J. Nadeau



ANASTOS iY NADEAU
INCORPORATED

Preferred Properties

FAX TRANSMITTAL

To: KEVIN CARROLL

Company: CITY OF PORTLAND

Fax Number: 874-~~8746~~ 8949

From: SCOTT BELESKA fax: (207)846-0671

Date: 2/11/98

Number of Pages (including cover): 3

Re: FILIBERG - #85 COUNTRY LN. -
MEASANT HILL

Comments:

ZERO CLEARANCE CHIMNEY
SYSTEM SPECIFICATIONS
IF YOU NEED ANY MORE
INFORMATION, PLEASE LET ME
KNOW ASAP!
THANKS

PRECAUTIONS

Note: These fireplace systems are not difficult to install. However, in the interest of safety, it is recommended that the installer be a qualified or certified tradesman familiar with commonly accepted fireplace installation and safety techniques as well as prevailing local codes.

The most important areas of concern dealing with the installation of factory-built fireplaces are clearances to combustible materials, proper assembly of component parts, height of the chimney system, the proper use of accessories supplied by Superior and the techniques employed in using finishing materials applied to the wall surrounding the fireplace, hearth extensions and wall shields. Each of these topics will be covered in thorough detail throughout this manual. Please give each your special attention as you progress with your installation.

IMPORTANT: WHEN INSTALLING THESE FIREPLACE SYSTEMS IN CANADA, THE REQUIRED MINIMUM AIR SPACE TO COMBUSTIBLE MATERIALS FROM THE CHIMNEY IS 2" (51MM). THE CHIMNEY COLLAR ENCLOSURE KIT, MODEL CCEK, MUST BE INSTALLED PER THE WARNOCK HERSEY INTERNATIONAL, INC. LISTING. THIS IS NOT A U.L. LISTED INSTALLATION.

WHEN INSTALLING SUPERIOR'S TFB SERIES CHIMNEY SYSTEM ON MODELS HC-4320A AND HC43R IN CANADA OR THE U.S., THE MINIMUM AIR SPACE TO COMBUSTIBLES FOR THE CHIMNEY SYSTEM IS 2" (51MM).

INTRODUCTION
General Information

The HC-A Series are wood-burning appliances featuring a self-contained heat-circulating system. A steel bar grate is also included with all models to properly position the fire. An outside combustion air kit, Model AK-4A1, decorative glass doors and a forced air kit, Model FAK-1500, are available as optional equipment.

Note: Illustrations shown reflect "typical" installations with nominal dimensions and are for design and framing reference only. Actual installations may vary due to individual design preferences. However, always maintain minimum clearances to combustible materials and do not violate any specific installation requirements.

The HC-A Series have been tested and listed by Underwriters Laboratories, Inc. (File No. MH-8988-6/90) to the U.L. 127 standard for U.S. installations and by Warnock Hersey International, Inc. (Report No. 610-1033-11/90) to the U.L.C. S610 standard for Canadian installations. This system is intended to be installed in residential homes and buildings of conventional construction, not in mobile homes.

These fireplace systems are designed for installation in accordance with the National Fire Protection Standard for chimneys, fireplaces and solid fuel-burning appliances; NFPA 211 and in accordance with codes such as the BOCA Basic National Codes, the Standard Mechanical Code, Uniform Building Codes and the Canadian National Code.

FAILURE TO USE PARTS MANUFACTURED BY SUPERIOR FIREPLACE COMPANY, VARIATIONS IN TECHNIQUES AND CONSTRUCTION MATERIALS OR PRACTICES DESCRIBED IN THIS MANUAL MAY CREATE A FIRE HAZARD AND VOID SUPERIOR'S LIMITED WARRANTY.

The HC-A systems consist of six basic "sub-systems":

1. The Fireplace
2. The Chimney and Termination
3. Optional Glass Doors
4. The Optional Forced Air Kit
5. The Optional Combustion Air Kit
6. Chimney Collar Enclosure Kit (Canada Only)

CLEARANCES AND HEIGHT REQUIREMENTS

The fireplace may be placed on or near normal construction materials*. The combustion air kit, firestop spacer and roof flashing (not chase flashing) may be placed directly on or against normal construction materials.* The chimney requires a minimum 1" (25mm)** (See "Note") air space to combustibles. A combustible mantle may be installed 12" above the opening of the fireplace as per NFPA 211, Section 7-3.3.3. In Canada the minimum is 18" (457mm) above the opening.

The fireplace and chimney system must be enclosed when installed in or passing through a living area where combustibles or people may come in contact with it. This is important to prevent possible personal injury or fire hazard.

*Construction Materials:

- framing materials
- plywood
- particle board
- flooring
- millboard
- dry wall
- paneling
- etc.

For questions, please call your distributor or Superior Fireplace Company. Special restrictions apply to the front and facing of the fireplace and nearby walls (See pages 15, 16 and 17).

****Note: 2" (51mm) when installing in Canada and 2" when installing TFB chimney on Model HC-4320A fireplaces.**

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE

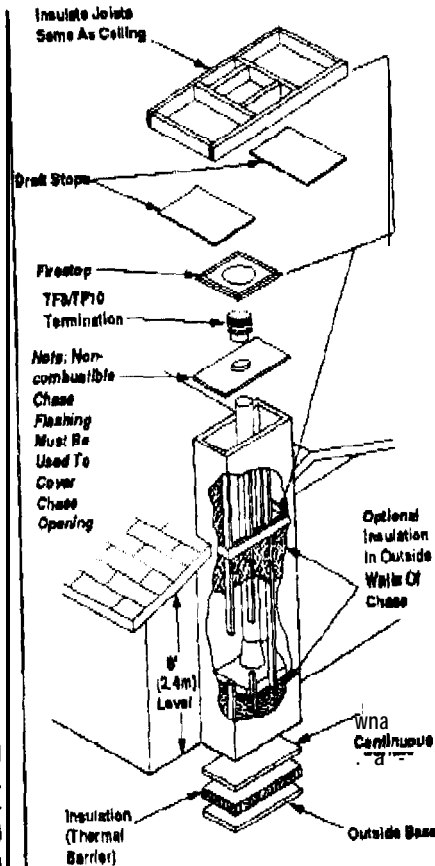


Figure 2

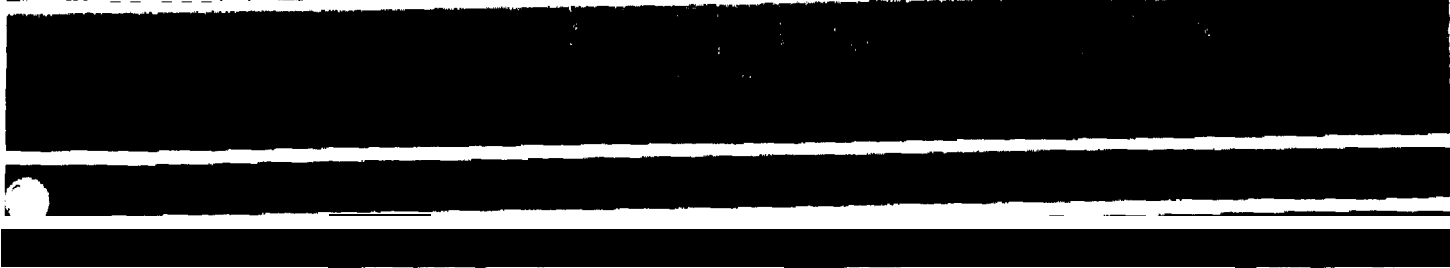
WARNING: YINSULATION IS USED, THE FIREPLACE MUST NOT BE PLACED DIRECTLY AGAINST IT. INSULATION OR BARRIERS, IF USED, MUST FIRST BE COVERED WITH GYPSUM BOARD, PLYWOOD, PARTICLE BOARD, OTHER MATERIAL OR OTHER METHODS TO ASSURE MSUMIOM AND VAWR BUIRERS REM&IN Iyil PI&E;

WARNING: DO NOT PACK OR FILL REQUIRED AIR SPACES WITH INSULATION OR OTHER MATERIALS. MATERIALS NOT ALLOWED IN THESE AREAS

Notes:

1. Do Not Insulate The Chase Cavity With Blown Or Fill-Type Insulation Materials.

~.LoerlCodD-YyNoIRepulreFlnrlop-IngAt The Colling Lwrlr For Ch-tsub Chrw installa-llonr; Howwf, Il Is Roomnrndrd For %hty And Thr R%iwion Q kat Lorr.



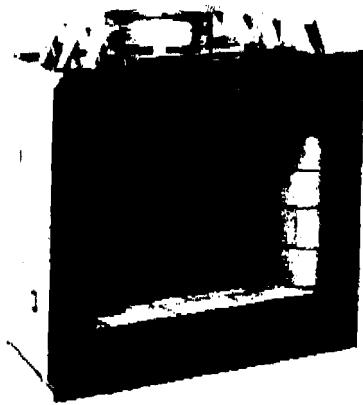
Installation Instructions

For Superior's
HC Series
Mod &
HC-3320A
HC-3820A
And HC4320A

This installation manual will enable you to obtain a safe, efficient and dependable installation of your fireplace system. Please read and understand these instructions before beginning your installation.

Do not alter or modify the fireplace or its components under any circumstances. Any modification or alteration of the fireplace system, including but not limited to the fireplace, chimney components and accessories, may void the warranty, listings and approvals of this system and could result in an unsafe and potentially dangerous installation.

PLEASE RETAIN THIS MANUAL FOR FUTURE REFERENCE.



Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
Director

CITY OF PORTLAND

September 30, 1997

Anastos & Lohnes, Inc.
P.O. Box 821
Yarmouth, ME 04096

RE: 85 Country Lane (lot #5), Pheasant Hill Dev.

Dear Sirs,

Your application to construct a single family dwelling with attached garage and rear deck has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not excuse the applicant from meeting applicable State and Federal laws.

NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL REQUIREMENTS OF THIS LETTER ARE MET

Site Plan Review Requirements

Development Review Coordinator: Approved with conditions by J. Wendel, see attached.

Zoning Administrator: Approved with conditions by M. Schmuckal, see attached..

Building Code Requirements

Please read and implement attached building permit requirements: #1, 2, 3,4, 5, 6, 8, 9, 10, 11, 12, 16,21,22,25, 26,27, 28.

Sincerely,

Marge Schmuckal
Zoning Administrator

cc: P. Samuel Hoffses, J. Wendel

BUILDING PERMIT REPORT

DATE: 9/30/97 ADDRESS: 85 Country Lane
REASON FOR PERMIT: Construct New Single Family Dwelling with Attached Garage
BUILDING OWNER: Anastos & Lohner
CONTRACTOR: owner
PERMIT APPLICANT: Ed - P Belosca APPROVAL: With conditions DENIED -

USE GROUP BOCA 1996 CONSTRUCTION TYPE

conditions;

C O N D I T I O N ' s

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. B&m concrete for foundation is placed, approvals from Development & Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1 1/2 hour fire resisting rating.
6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walkways and stairs for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
9. Headroom in habitable space is a minimum of 7'6".
10. Stair construction in Use Group R-3 gt. R-4 is a minimum of 10" tread and 7 3/4" maximum rise All other Use group minimum 11" tread, 7" maximum rise.
11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
13. Each apartment shall have access to two (2) separate, remote and approved means of egress.
14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self-closers.
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment
16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19.920.3.2 (COCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

(j ver),

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 15 (for #5)		Owner:		Phone:	
Owner Address:		Lessee/Buyer's Name:		Phone:	
Contractor Name:		Address: P.O. Box 821		Phone:	
Past Use:		Proposed Use:		COST OF WORK: \$ 157,800.00 PERMIT FEE: \$ 605.00	
Proposed Project Description: Construct single family dwelling, Attached garage/covered porch & rear deck		FIRE DEPT. 0 Approved 0 Denied Signature: _____		INSPECTION: Use Group: Type: Signature: _____	
Permit Taken By: Gary ...		Date Applied For:		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> Signature: _____ Date: _____	

Permit No: 97-1053

PERMIT ISSUED

Permit Issued:
OCT - 1 1997

CITY OF PORTLAND

Zone: CBL:
... ..

Zoning Approval:

Special Zone or Reviews:

0 Shoreland,
0 Wetland
0 CI Flood Zone
0 Subdivision
0 Site Plan maj minor mm, CI

Zoning Appeal

0 CI Variance
0 Miscellaneous
0 Conditional Use
0 Interpretation
0 Approved
0 Denied

Historic Preservation

IJNot in District or Landmark,
0 Does Not Require RevIT@
 Requires Review

Action:

0 Approved
0 Approved with Conditions
0 Denied

Date: _____

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if-work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

[Handwritten mark]

[Handwritten notes]

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT: _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: _____ PHONE: _____

CEO DISTRICT

0

MEMORANDUM

TO: Code Enforcement
Kandi Talbot, Planner

FROM: Jim Wendel, Development Review Coordinator

DATE: February 12,1998

SUBJECT: Request for Certificate of Occupancy
85 Country Lane (lot 5)

On February 12, 1998 I reviewed the site for compliance with the conditions of approval dated 9/22/97; my comments are:

1. Grading of the site is in rough condition and snow cover prevented full evaluation of the grading. A spring time review of the site will be necessary. The final grading and landscape work including conditions 15, 16 and 17 noted in the conditions of approval shall be completed by May 31, 1998.
2. *ok 2/12* No silt fence was installed as required in condition 14 of the conditions of approval. The project is not in compliance.
3. *ok 2/12* The street address number needs to be placed on the house.
4. The end of the drive culvert is damaged and needs to be repaired.

It is my opinion that when items 2 and 3 are completed a **temporreuy certificate of occupmcy could be issued** assuming Code Enforcement has no outstanding issues.

L & L STRUCTURAL
ENGINEERING SERVICES, INC.
5th G Street
South Portland, ME 04106
Phone: (207) 787 4800
Fax: (207) 706 5432

171A-A-5

Field Notes

Client: Ashforth & Johns Inc.
Job Name: Finberg Residence
Job No.: 97164
Date: November 17, 1997 **Time:** 10:20 pm
Weather: Sunny & Cold

Reviewer (s): Joe Casano (Civil Structural Serv.)

(Observations:

ROOF FRAMING PLAN:

1. The 2x4 web braces in the main roof shall be fastened 2x4 blocking with 2-16d nails. The blocking shall be fastened to the to the gable trusses with 2-16d nails at each connection.
2. The diagonal bracing shall be installed to the bottom chord horizontal bracing located in the gable trusses adjacent to the main raftering.
3. The porch columns shall be fastened to the roof beams with Simpson ACH or ACEB at corners and ends) column caps.
4. The bay window roof is constructed different than the main wings. The rafters are currently supported on a 2x6 rafter joist. The joist needs to be doubled to support the rafters at two locations. The rafter shall be fastened to the double 2x8 joist with 1/2" plywood gables. Furthermore, the gable wall of the dormer is not adequately supported. The gable wall shall be supported with 2x4 joists perpendicular to the vertical wall studs and fastened to the sole with 4-16d nails. The joists shall extend over the existing joist and fastened to the plywood roof deck at the opposite end with 2-16d nails. The joist shall also be fastened to the ceiling joist with 2-16d nails.

L & L STRUCTURAL

ENGINEERING SERVICES, INC

55 D Street

5044 Portland, ME 04106

Phone (207) 767-4800

Fax (207) 769-1432

Fax Transmittal

Date 11/1/97

Project 01480001, F&D

Project No. 01164

Fax No. 846-0671

NUMBER OF PAGES TRANSMITTED 2

DELIVERED TO BOB MACQUEEN

COMPANY ANNEX 4 CORP

FROM BOB CORSE

If you do not receive all pages, please call our business phone for transmission verification.

Comments Bill, I looked more closely at item
#4 (see memo part) and I have added some
figures please note call if you have
any questions.

Copy Sent To _____

**L & L STRUCTURAL
ENGINEERING SERVICES, INC.**
 Dix Street
 3000 Portland, ME 04106
 Phone (207) 787-4330
 Fax (207) 799-5042

Project No.	201	Date	11/15/97
To	Robert G. Gentry	From	Bob G. Gentry
Project Name	3000 Portland	Project No.	201
Project Address	3000 Portland, ME 04106	Project City	Portland, ME
Project State	ME	Project Zip	04106
Project Phone	(207) 787-4330	Project Fax	(207) 799-5042

MEMO

Job Name: 3000 Portland (R&E) (see file, 1718-A-9705)
 Job No: 9705
 Date: 11/15/97
 To: Joseph J. Madson
 From: Joseph J. Madson
 Contact: Bob G. Gentry
 Of: L & L Structural
 Subject: Code Compliance

DISCUSSION:

The above mentioned building has been designed in accordance with The 3000 Portland Building Code. We visited the site on November 11, 1997 to review the construction to assure the structural building structure was being constructed in accordance with the design drawings. The building is in general compliance with the design drawings, with the exception of the four items mentioned in our field notes. It is recommended that the four items be corrected according to our recommendations.

Joseph J. Madson
 (Signature)



ANASTOS & NADEAU

INCORPORATED

Preferred Properties

FAX TRANSMITTAL

TO: KEVIN CARROLL

company: CITY OF PORTLAND

Fax Number: 874-~~8716~~ 8949

From: SCOTT BELESKA fax: (207)846-0671

Date: 2-1-11 I q q

Number of Pages (including cover): 3

RE: FILIBERT - #85 COUNTRY LN. - PHEASANT HILL

Comments:

ZERO CLEARANCE CHIMNEY

SYSTEM SPECIFICATIONS

IF YOU NEED ANY MORE

INFORMATION, PLEASE LET ME

KNOW ASAP!

THANKS

PRECAUTIONS

Note: These fireplace systems are not difficult to install. However, in the interest of safety, it is recommended that the installer be a qualified or certified "tradesman" familiar with commonly accepted fireplace installation and safety techniques as well as prevailing local codes.

The most important areas of concern dealing with the installation of factory-built fireplaces are clearances to combustible materials, proper assembly of component parts, height of the chimney system, the proper use of accessories supplied by Superior and the techniques employed in using finishing materials applied to the wall surrounding the fireplace, hearth extensions and wall shields. Each of these topics will be covered in thorough detail throughout this manual. Please give each your special attention as you progress with your installation.

IMPORTANT: WHEN INSTALLING THESE FIREPLACE SYSTEMS IN CANADA, THE REQUIRED MINIMUM AIR SPACE TO COMBUSTIBLE MATERIALS FROM THE CHIMNEY IS 2" (51MM). THE CHIMNEY COLLAR ENCLOSURE KIT, MODEL CCEK, MUST BE INSTALLED PER THE WARNOCK HERSEY INTERNATIONAL, INC. LISTING. THIS IS NOT A U.L. LISTED INSTALLATION.

WHEN INSTALLING SUPERIOR'S TFB SERIES CHIMNEY SYSTEM ON MODELS HC-4320A AND HC43R IN CANADA OR THE U.S., THE MINIMUM AIR SPACE TO COMBUSTIBLES FOR THE CHIMNEY SYSTEM IS 2" (51MM).

INTRODUCTION

General Information

The HC-A Series are wood-burning appliances featuring a self-contained heat-circulating system. A steel bar grate is also included with all models to properly position the fire. An outside combustion air kit, Model AK-4A1, decorative glass doors and a forced air kit, Model FAK-1500, are available as optional equipment.

Note: Illustrations shown reflect "typical" installations with nominal dimensions and are for design and framing reference only. Actual installations may vary due to individual design preferences. However, always maintain minimum clearances to combustible materials and do not violate any specific installation requirements.

*The HC-A Series have been tested and listed by Underwriters Laboratories, Inc. (File No. MH8988-6/90) to the U.L. 127 standard for U.S. installations and by Wamach Krsey International, Inc. (Repan No. 610-1033-11/90) to the U.L.C. S610 standard for Canadian installations. These installations do not require additional testing or modifications.

These fireplace systems are designed for installation in accordance with the National Fire Protection Standard for chimneys, fireplaces and solid fuel-burning appliances; NFPA 211 and in accordance with codes such as the BOCA Basic/National Codes, the Standard Mechanical Code, Uniform Building Codes and the Canadian National Code.

FAILURE TO USE PARTS MANUFACTURED BY SUPERIOR FIREPLACE COMPANY, VARIOUS TECHNIQUES AND CONSTRUCTION MATERIALS OR PRACTICES DESCRIBED IN THIS MANUAL MAY CREATE A FIRE HAZARD AND VOID SUPERIOR'S LIMITED WARRANTY.

The HC-A systems consist of six basic 'subsystems':

1. Fireplace
2. Fireplace Termination
3. Optional Glass Doors
4. The Optional Forced Air Kit
5. The Optional Combustion Air Kit
6. Chimney Collar Enclosure Kit (Canada Only)

CLEARANCES AND HEIGHT REQUIREMENTS

The fireplace must be installed on a non-combustible surface. The chimney may be installed on a normal ceiling or directly on a normal ceiling. The chimney requires a minimum 1" (25mm) clearance to combustibles. A combustible mantle may be installed 12" above the opening of the fireplace as per NFPA 211. Section 793.3. In Canada the clearance must be 11" (457mm) above the opening.

The fireplace and chimney system must be enclosed when installed in or passing through a living area where combustibles or people may come in contact with it. This is important to prevent possible personal injury or fire hazard.

***Construction Materials:**

- framing materials
- plywood
- particle board
- flooring
- millboard
- dry wall
- paneling
- etc.

For questions, please call your distributor or Superior Fireplace Company. Special restrictions apply to the front and facing of the fireplace and nearby walls (See pages 15, 16 and 17).

***Note: 2" (51mm) when installing in Canada and 2" when installing TFB chimney on Model HC-4320A fireplaces.**

NOTE: DIAGRAMS & ILLUSTRATIONS NOT TO SCALE

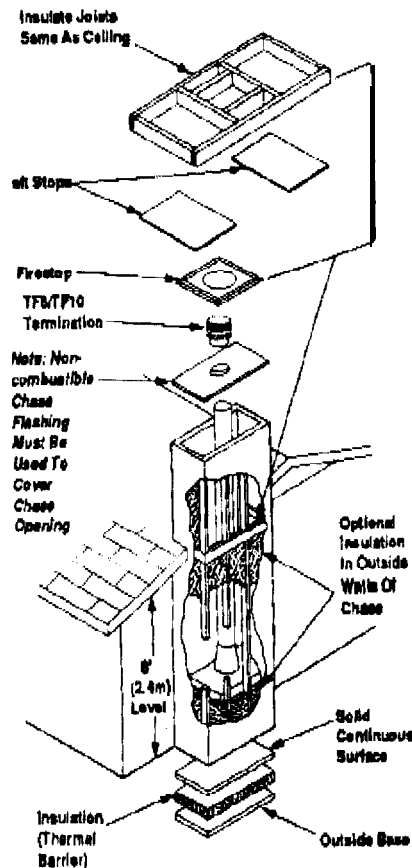


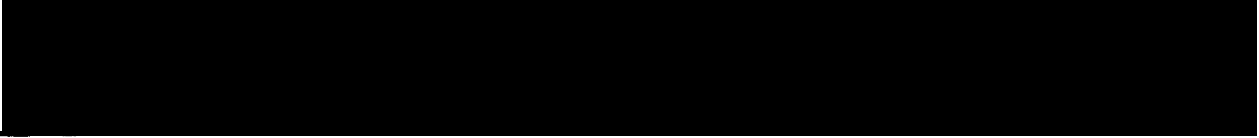
Figure 2

WARNING: INSULATION 18 USED, THE FIREPLACE MUST NOT BE PLACED DIRECTLY AGAINST IT. INSULATION MUST FIRST BE COVERED WITH GYPSUM BOARD, PLYWOOD, PARTICLE BOARD, OTHER MATERIAL OR OTHER METHODS TO ASSURE INSULATION AND BARRIER REMAIN IN PLACE.

WARNING: DO NOT PACK OR FILL REQUIRED AIR SPACES WITH INSULATION OR OTHER MATERIAL. NO MATERIAL ALLOWED IN THESE AREAS.

Notes:

1. Do Not Insulate The Chase Cavity With Blown Or Fiberglass-Type Insulation Materials.
2. Local Codes May Not Require Firestopping At The Ceiling Level For Outside Chase Installations; However, It Is Recommended For Safety And The Reduction Of Heat Loss.



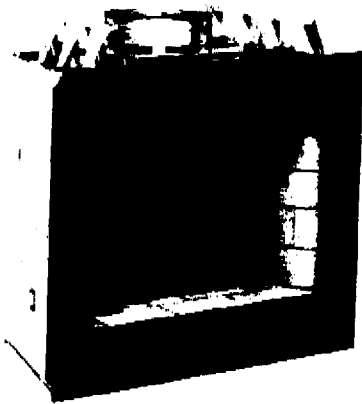
Installation Instructions

For Superior's
**HC Series
Models**
*HC-3320
HC-3820
And N-432*

This installation manual will enable you to obtain a safe, efficient and dependable installation of your fireplace system. Please read and understand these instructions before beginning your installation.

Do not alter or modify the fireplace or its components under any circumstances. Any modification or alteration of the fireplace system, including but not limited to the fireplace, chimney components and accessories, may void the warranty, listings and approvals of this system and could result in an unsafe and potentially dangerous installation.

PLEASE REWIND THIS MANUAL FOR FUTURE REFERENCE



Inspection Services
P. Samuel Hoffses
Chief



Planning and Urban Development
Joseph E. Gray Jr.
DiRCtOr

CITY OF PORTLAND

September 30, 1997

Anastos & Lohnes, Inc.
P.O. Box 821
Yarmouth, ME 04096

RE: 85 Country Lane (lot #5), Pheasant Hill Dev.

Dear Sirs,

Your application to construct a single family dwelling with attached garage and rear deck has been reviewed and a permit is herewith issued subject to the following requirements. This permit does not excuse the applicant from meeting applicable State and Federal laws.

NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL REQUIREMENTS OF THIS LETTER ARE MET

Site Plan Review Requirements

Development Review Coordinator: Approved with conditions by J. Wendel, see attached.

Zoning Administrator: Approved with conditions by M. Schmuckal, see attached..

Building Code Requirements

Please read and implement attached building permit requirements: #1, 2, 3,4, 5, 6, 8, 9, 10, 11, 12, 16,21, 22, 25,26, 27,28.

Sincerely,

Marge Schmuckal
Zoning Administrator

cc: P. Samuel Hoffses, J. Wendel

BUILDING PERMIT REPORT

DATE: 9/30/97 ADDRESS: 85 Country Lane

REASON FOR PERMIT: Construct New Single Family Dwelling with Attached Garage

BUILDING OWNER: Anastasia Lohme

CONTRACTOR: owner

PERMIT APPLICANT: Scott Belosca APPROVAL: With conditions DENIED-

USE GROUP _____ BOCA 1996 CONSTRUCTION TYPE _____

conditions:

COND - 1 OF APPROVAL

- 0 This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2.) Before concrete for foundation is placed, approval from the Development Review Coordinator and Inspection services must be obtained (A 24 hour notice is required prior to inspection)
- 3. Precaution must be taken to protect concrete from freezing
- 4. Items mentioned that are on land - all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 5. **Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. private garages attached side-by-side to rooms in the above occupancies shall be completely separated from interior spaces and the area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/19%)**
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code 1993) U.L. 103.
- 7. **Sound** transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code.
- 8. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walkways and for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 and public garages and open parking structures, open guardrails shall have balusters or be of solid materials such that a sphere with a diameter of 4" cannot pass through any opening. Guardrails shall not have an ornamental pattern that would provide a ladder effect
- 9. Headroom in habitable space is a minimum of _____
- 10. Stair construction in Use Group R-3 & R-4 is 3/4" maximum rise All other Use group _____ minimum 11" tread. 7" maximum rise.
- 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- 12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as **means of egress or rescue** they shall have a minimum height not more than 44 inches (1118mm) above the floor. All egress or rescue windows in sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
- 13. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self-closers,
- 15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including louver doors and ceiling, or by providing automatic extinguishment
- 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 20.3.2 (BOCA National Building Code/19%), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all basements
 - In each story within a dwelling unit, including basements

over

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

19970064

I. D. Number

Anastos & Lohnes, Inc.

Applicant

P.O. Box 821, Yarmouth, ME 04096

Applicant's Mailing Address

Scott Belesca

Consultant/Agent

846-0410

846-0671

Applicant or Agent Daytime Telephone, Fax

85 Country Ln

Address of Proposed Site

171-A-A-005

Assessor's Reference: Chart-Block-Lot

9/10/97

Application Date

Pheasant Hill Lot #5

Project Name/Description

Inspections Conditions for Approval

1. Separate permits shall be required for future decks and/or pool.
 2. Wetlands shown on lot shall not be filled-in without separate approval.
-

8. J As-built record information for **sewer** and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to **issuance of a Certificate of Occupancy.** *CONTACT NANCY KNAUBER @ 674-8835*
9. 1 " The building contractor shall check the subdivision recording plat for predetermined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to **allow** for positive drainage away from entire footprint of building.
10. / The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to **provide** for positive drainage away from entire footprint of building.
11. \ / A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, scisting and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property. *FFE, sill, curb, 72.5 MIN.*
12. L " The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
13. L / COURTNEY LAKE SHALL BE KEPT CLEAN OF TRACKED SOIL FROM VEHICLES.

cc: Katherine Staples, P.E., City Engineer

14. ✓ Silt Fence shall be placed on the down gradient side of all disturbed areas to protect the wetland. The silt fence shall be located at the clearing line.
15. ✓ The existing haul road shall be removed by regrading the area and shall be loam & seeded.
16. ✓ The depression behind the house shall be filled and loam & seeded.
17. ✓ A diversion swale shall be constructed behind the house to divert runoff around the house to the wetland in front.



CITY OF PORTLAND
Planning and Urban Development Department

MEMORANDUM

TO: Joseph E. Gray, Jr., Director of Planning and Urban Development
Alexander Jaegerman, Chief Planner

FROM: James Seymour, Acting Development Review Coordinator

DATE: April 5, 1995

SUBJECT: Disclaimer Statement of Existing Poorly Drained Areas

It is the responsibility of the lot owner/homebuilder to assess drainage and provide for appropriate stormwater management design and engineering in an area which has evidence of poor hydrologic soil conditions, and/or a history of poor drainage, ponding, or soils saturation due to topography, fluctuation of seasonal ground water tables creating surface flooding, or as a result from rainfall events or snow/ice melts. The City of Portland is not responsible for resolving the drainage of land areas which could be described in any one of the above conditions.

The City of Portland Development Review Coordinator reviews lot grading for all single family homes to assure that field elevations will conform to the grades which exist at the abutting property line or to the grades which have been previously approved at the abutting property lines. The construction standards require that final foundation elevations be provided on site plans which are a minimum of 2 1/2 feet higher than street grades established at the frontage of the lot and provide positive drainage away from the entire foundation perimeter, including garage, and all basement accesses (ie. bulkheads, doorways and windows). AS long as these standards are strictly enforced, most water problems on single family lots will be avoided. However, in locations with clear evidence of hydric soils, the following note shall be placed on all approved site plans:

"The City of Portland Development Review Coordinator has reviewed and approved this plan. The lot is located in an areas that is subject to seasonal conditions of saturation by surface or groundwater. Approval of this plan does not constitute a guarantee that no water problems will be experienced by the homeowners in this vicinity. Homeowners are advised to exercise care and diligence to ensure that their home and yard is adequately constructed and graded for localized drainage conditions."

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19970064

I. D. Number

Anastos & Lohnes, Inc.
Applicant
P.O. Box 821, Yarmouth, ME 04096
Applicant's Mailing Address
Scott Belesca
Consultant/Agent
846-0410 **846-0671**
Applicant or Agent Daytime Telephone, Fax

9/10/97
Application Date
Pheasant Hill Lot #5
Project Name/Description
85 Country Ln
Address of Proposed Site
171-A-A-005
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

Proposed Building square Feet or # of Units **38,690 Sq Ft** **R-5 PRUD**
Acreage of Site _____ Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$100.00** Date: **9/10/97**

Inspections Approval Status:

Reviewer **Marge Schmuckal**

Approved Approver/Conditions see attached Denied
Approval Date **9/30/97** Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issued	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released			

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number _____

Anastos & Lohnes, Inc.

Applicant _____

P.O. Box 821, Yarmouth, ME 04096

Applicant's Mailing Address _____

Scott Belesca

Consultant/Agent _____

846-0410 **846-0671**

Applicant or Agent Daytime Telephone, Fax _____

9/10/97

Application Date _____

Pheasant Hill Lot #5

Project Name/Description _____

85 Country Ln

Address of Proposed Site _____

171-A-A-005

Assessor's Reference: Chart-Block-Lot _____

Proposed Development (check all that apply):
 New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

38,690 Sq Ft

Proposed Building square Feet or # of Units _____

Acreage of Site _____

Zoning _____

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$100.00** Date: **9/10/97**

DRC Approval Status:

Reviewer **Jim Wendel**

Approved Approve/Conditions see attached Denied

Approval Date **9/22/97** Approval Expiration **9/22/97** Extension to _____ Additional Sheets Attached

Condition Compliance **Jim Wendel** **9/22/97**
 signature date

Performance Guarantee

Required* Not Required

. No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	
	date		
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

Applicant: Scott Belesca

Date: 9/30/97

Address: 85 Country Lane
(lot #5)

C-B-L: 171A-A-5

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zon Location - R-5 - A PRUD Development

Interior or corner lot -

Proposed Use/urk - New single family home with attached garage and surrounding porch - with 12' x 16' rear deck

Sewage Disposal - City

Lot Street Frontage - 50' - 50' + shown
① minimum setback from external subdivision property lines - 25' req - 100' + shown

Front Yard -

rear Yard -

CTA/VA/PA/DA -

② Note: There is no min. distance from dwelling units required
③ Recreational Areas shall be located at least 25' from dwelling units - None shown that close

Projections - Porch surrounding - 12' x 16' rear deck

Width of Lot -

Height -

Lot Area -

38,600 sq. feet

Lot Coverage & Impervious Surface -

Area per Family -

Off-street Parking - 2 shown

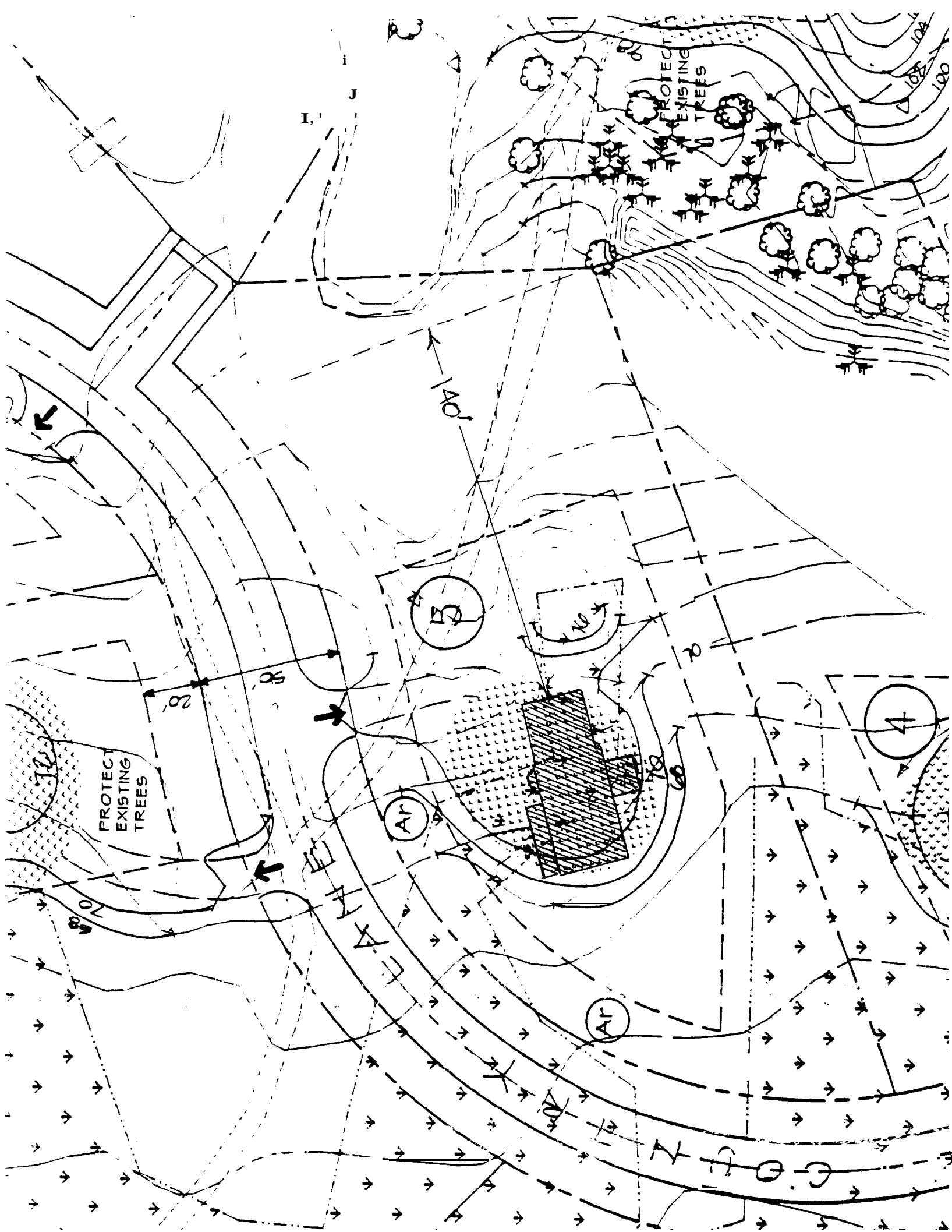
Loading Bays - N/A

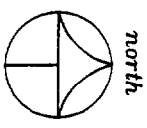
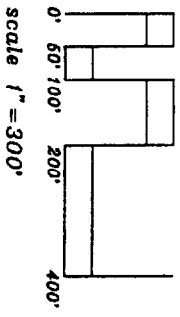
Site Plan - minor, minor N/A

Shoreland Zoning/Stream Protection -

Flood Plains - Panel 7 of 17 - Zone C

Wetlands shown on lot shall not be filled-in





Treasant Hill