

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

|   |   |   |   |  |
|---|---|---|---|--|
| Location of Construction:<br><i>41 Country Ln</i>   |   | Owner:<br><i>Richard P. Williams</i>  | Phone:<br><i>846-4300</i>   | Permit No:<br><i>970182</i>  |
| Owner Address:<br><i>171A 3<br/>16 Delfrt St Portland ME 04101</i>                                      |   | Lessee/Buyer's Name:  | Phone:  | BusinessName:  |
| Contractor Name:<br><i>John Chase Custom Homes</i>  |   | Address:<br><i>5 Ryans Meadow Gorham ME 04038</i>                               |   | Phone:<br><i>833-2723</i>  |
| Past Use:<br><i>vacant lot</i>  | Proposed Use:<br><i>1-fam dwlg w<br/>att garage</i> | COST OF WORK:<br><i>\$ 150,000</i>  | PERMIT FEE:<br><i>\$ 320</i>  | <div style="border: 2px solid black; padding: 5px; text-align: center;"> <b>PERMIT ISSUED</b><br/><br/> <b>MAR - 7 1997</b><br/><br/> <b>CITY OF PORTLAND</b><br/> <small>Zone: CBL</small> </div>   |
|   |   | FIRE DEPT. <input type="checkbox"/> Approved<br><input type="checkbox"/> Denied | INSPECTION:<br>Use Group: <i>R3</i> Type: <i>5B</i>   |  |
| Proposed Project Description:<br><br><i>construct 1-fam dwlg w garage<br/>28' x 40' &amp; 24' x 26'</i> |   | Signature:  | Signature: <i>Huffer</i>  |  |
| Permit Taken By: <i>L Chase</i>   |   | Date Applied For: <i>3/27/97</i>  | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)<br>Action: Approved <input type="checkbox"/><br>Approved with Conditions: <input type="checkbox"/><br>Denied <input type="checkbox"/><br>Signature: _____ Date: _____ |  |
|   |   |   |   | Zoning Approval: <i>171A-A-003</i><br><b>Special Zone or Reviews:</b><br><input type="checkbox"/> Shoreland<br><input type="checkbox"/> Wetland<br><input type="checkbox"/> Flood Zone<br><input type="checkbox"/> Subdivision<br><input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> |

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

MMS P \$50  
Insp Fee 100

*\* Cost for pick-up: (S. J. Jones)  
1-200-659-4104*

**PERMIT ISSUED WITH LETTER**

**Zoning Appeal**

Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**

Not in District or Landmark  
 Does Not Require Review  
 Requires Review

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

|  |                              |                         |        |
|--|------------------------------|-------------------------|--------|
| SIGNATURE OF APPLICANT<br><i>[Signature]</i> | ADDRESS:<br><i>[Address]</i> | DATE:<br><i>3/27/97</i> | PHONE: |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE  |                              |                         | PHONE: |

**Action:**

Approved  
 Approved with Conditions  
 Denied

Date: \_\_\_\_\_

CEO DISTRICT 7

COMMENTS

3/12/97 - Footings - Subirrigation - setbacks, ok to Bedford

4/2/97 - Framing going ok - Rough plumbing ok

4/17/97 - Rough framing finished - Plumbing - ok to Close

5/1/97 Call for Final - deck not finished - needs risers on front steps, needs light in garage to cellar stairs - the rated door from dining room to habitable space above garage (checked this w/PSH - he agrees this is a code issue) - talked w/J. Chace - will be done 5/15/97

5/5/97 <sup>Temp</sup> Insin C&O w/Conditions

Single family dwelling w/ attached 2 car garage & rear deck  
(note: Room over Garage unfinished, separate permit will be required to finish)

Conditions:

1 - a the rated fire door to be installed @ dining room ~~to~~ <sup>to</sup> room above garage *OK*

3 J. Wendell's requires

Temp C&O expires 5/31/97

Inspection Record

| Type              | Date  |
|-------------------|-------|
| Foundation: _____ | _____ |
| Framing: _____    | _____ |
| Plumbing: _____   | _____ |
| Final: _____      | _____ |
| Other: _____      | _____ |

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|---|--|---|--|--|--|--|--|
| Location of Construction:<br><i>41</i> Country Ln   |  | Owner:<br>Richard P Willing                 |  | Phone:<br>846-4300   |  | Permit No:<br>970182   |  |
| Owner Address:<br>171 A 3<br>16 Belfrt St Ptld ME 04101                                     |  | Lessee/Buyer's Name:                        |  | Phone:   |  | BusinessName:  |  |
| Contractor Name:<br>John Chase Custom Homes   |  | Address:<br>5 Ryans Meadow- Gorham ME 04038 |  | Phone:<br>839-2723   |  | Permit Issued:<br><b>MAR - 7 1997</b><br>CITY OF PORTLAND  |  |
| Past Use:<br>vacant lot   |  | Proposed Use:<br>1-fam dwlg w<br>att garage |  | COST OF WORK:<br>\$ 160,000  |  | PERMIT FEE:<br>\$ 820  |  |
|   |  |   |  | FIRE DEPT. <input type="checkbox"/> Approved<br><input type="checkbox"/> Denied  |  | INSPECTION:<br>Use Group: <i>R3</i> Type: <i>5B</i><br><i>BOCA 96</i>  |  |
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| Permit Taken By: L Chase  |  | Date Applied For: 2/27/97                   |  | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  |  | Zone: <b>CBL:</b><br><i>R-5</i> <b>171A-4003</b>   |  |
|   |  |   |  | Action: Approved <input type="checkbox"/><br>Approved with Conditions: <input type="checkbox"/><br>Denied <input type="checkbox"/> |  | Zoning Approval:<br><i>[Signature]</i><br>Special Zone or Reviews:<br><input type="checkbox"/> Shoreland<br><input type="checkbox"/> Wetland <i>N/A</i><br><input type="checkbox"/> Flood Zone<br><input type="checkbox"/> Subdivision<br><input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input checked="" type="checkbox"/> |  |

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M M S P \$50  
Insp Fee 100

*\* Call for pick-up; (L. Chase)  
1-800-639-7707 Agr*

**PERMIT ISSUED WITH LETTER**

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*[Signature]*  
SIGNATURE OF APPLICANT

ADDRESS:

*2/27/97*  
DATE:

PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE

PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

**Zoning Appeal**

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 Miscellaneous  
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**Historic Preservation**

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 Does Not Require Review  
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Action:

Approved  
 Approved with Conditions  
 Denied

Date: *3/5/97*

*[Signature]*

CEO DISTRICT **7**

*K. Carroll*

Applicant: John Chase Date: 3/6/97  
Address: Country Lane (lot #3) C-B-L: 171-AA3

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - R-S PRUD DEV.

Interior or corner lot -

Proposed Use/Work - New single fam. Dwelling with attached garage  
28' x 40' 24' x 26'

Sewage Disposal - city

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height - 2 story house 1 story garage

Lot Area - 68,200 shown

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking - 2 shown

Loading Bays - W/A

Site Plan - minor/minor

Shoreland Zoning/ Stream Protection - W/A

Flood Plains - Panel 7 of 17 Zone C

Note: Planning Board approved construction in the front "wetland" area - 3/7/97 spoke with Planner Rick Knowlton

BUILDING PERMIT REPORT

DATE: 7 Mar 97 ADDRESS: 41 Country Lane 171-A-3

REASON FOR PERMIT: To Construct a Single Family dwelling with 1/2 garage

BUILDING OWNER: Richard P. Willing

CONTRACTOR: John Chase Custom Homes

PERMIT APPLICANT: ↑ ↑

APPROVAL: \*1\*2\*3\*5\*6\*7\*8\*9\*10\*11

DENIED: \*15\*20\*25\*26\*27

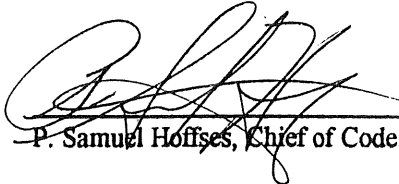
CONDITION OF APPROVAL OR DENIAL

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- 2. Before concrete for foundation is placed, approvals from the Development Review coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- 3. Precaution must be taken to protect concrete from freezing.
- 4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) UL 103.
- 7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
- 8. Headroom in habitable space is a minimum of 7'6".
- 9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread. 7" maximum rise.
- 10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
- 11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
- 12. Each apartment shall have access to two (20 separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- 13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1)hour, including fire doors with self closer's.
- 14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- 15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's building code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
  - In the immediate vicinity of bedrooms
  - In all bedrooms
  - In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and

I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
18. The Sprinkler System shall maintained to NFPA #13 Standard.
19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
- X 20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
- X 25. Electrical and Plumbing permits must be obtained by  
Masters of their Trade
- X 26. Your plan shows a steel beam in garage. Please submit to this  
office a statement of design for this beam signed by structural engineer.
- X 27. Foundation drainage shall be done in accordance with Chapter 18 sections  
1813.0 of the city's building code. (The BOCA National Building Code /1996)

  
P. Samuel Hoffses, Chief of Code Enforcement

cc: Lt. McDougall, PFD  
Marge Schmuckal

Inspection Services  
P. Samuel Hoffses  
Chief



Planning and Urban Development  
Joseph E. Gray Jr.  
Director

## CITY OF PORTLAND

March 7, 1997

John Chase  
Custom Built Homes  
5 Ryans Meadow  
Gorham ME 04038

**RE: Country Lane**

Dear Sir:

Your application to construct a single family home with attached garage has been reviewed and a permit is herewith issued subject to the following requirements: This permit does not excuse the applicant from meeting applicable State and Federal laws.

**No Certificate of Occupancy will be issued until all requirements of this letter are met.**

### Site Plan Review Requirements

#### Building Inspections:

1. Separate permits shall be required for future decks. - **M. Schmuckal**  
**Development Review Coordinator: See attached conditions - Jim Wendel**

### Building & Fire Code Requirements

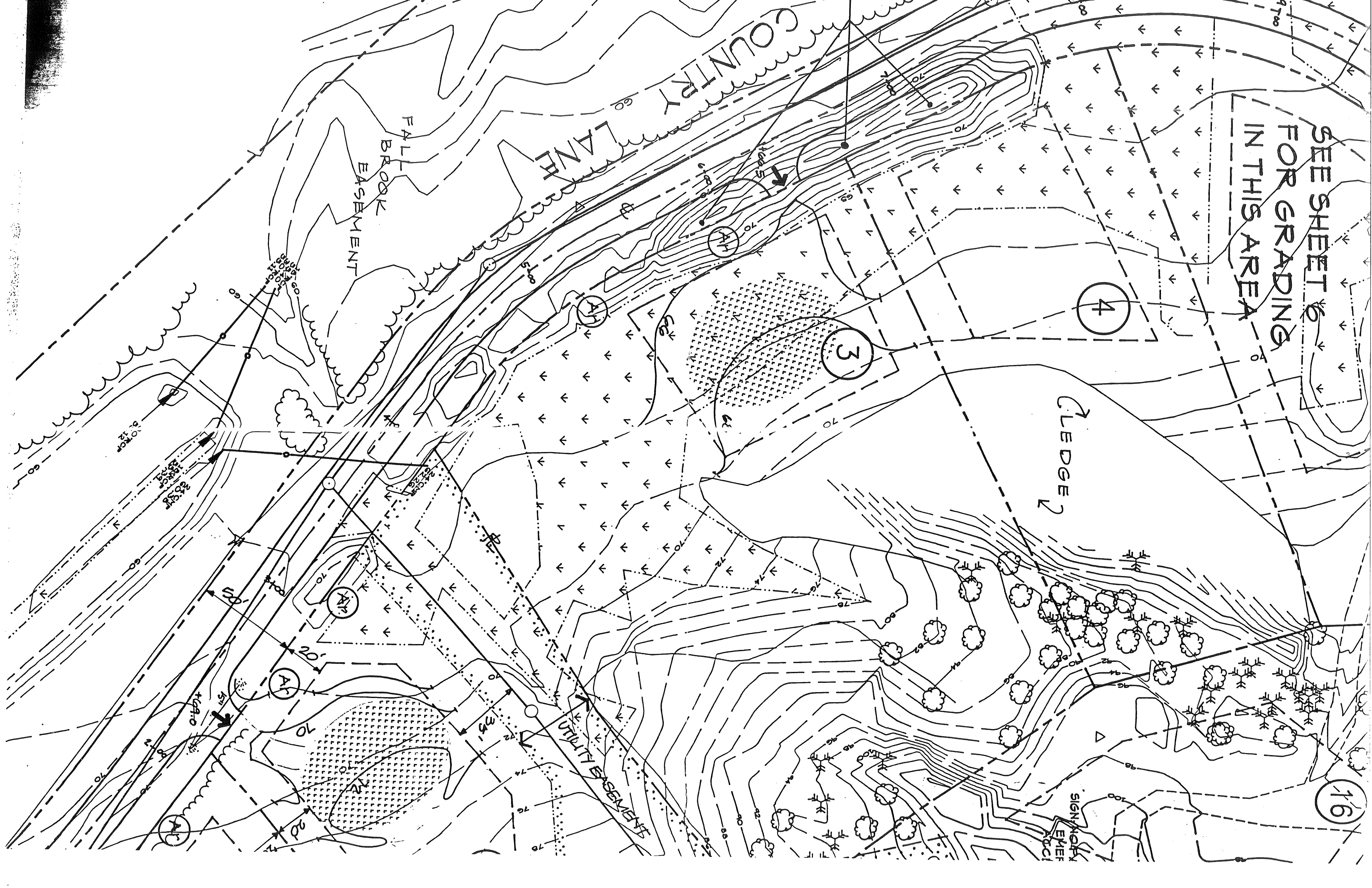
Please read and implement items 1,2,3,5,6,7,8,9,10,11,15,20,25,26,27 of building permit report.

Sincerely,

  
P. Samuel Hoffses  
Chief of Inspection Services

cc: LT. MacDougall PFD M. Schmuckal Asst. Ch. C.E.O.

SEE SHEET 6  
FOR GRADING  
IN THIS AREA





NORTH PER PLAN REF

LOT 16

GRAYSTONE ROAD

S38°05'48" E -  
174.46'

R=191.55'  
L=36.52'

EDGE OF WETLANDS PER PLAN

LOT 4

LOT 3

LOT 2

N63°43'54" E -  
291.80'

115.00' - S51°58'08" W

153.78' - S57°01'55" W

PROPOSED DRIVEWAY TO BE BUILT WITHIN SETBACK WINDOW

BROAD SHALLOW SWALE

BUILDING SETBACK WINDOW

DOTTED AREA IS LOCATED AND INDICATES THE PREFERRED LOCATION OF NEW CONST. PER APPROVED PLAT.

House FF 70.5

UNDERGROUND ELECT, TEL, & CABLE TV

FOUND STEEL REBAR W/CAP (TYPICAL)

TRANSFORMER

N55°15'57" W  
26.21'  
R=225.00'  
L=107.21'

DIRECTION OF FLOW

PITCH DRIVE AWAY FROM GARAGE AT 2% SLOPE

COUNTRY LANE

4102'

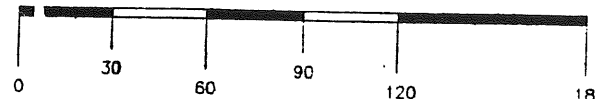
N27°57'57" W  
118.62'

UTILITY STUBS SHALL BE ALL ORDINANCE PERMITS

GENERAL NOTES:

- ELEVATIONS SHOWN ON THIS PLAN ARE ASSUMED AND SHOULD BE USED FOR CONCEPTUAL PLANNING & DESIGN ONLY.
- ALL BOUNDARY & WETLAND DATA SHOWN ON THIS SKETCH ARE TAKEN FROM THE APPROVED SUBDIVISION PLAN.
- THIS IS NOT A BOUNDARY SURVEY.
- DWELLING TO BE SERVED BY PUBLIC WATER & SEWER.
- PARCEL IS SHOWN ON MAP 171, BLOCK A AS LOT 3 PER CITY OF PORTLAND ASSESSORS MAPS.
- LOWEST GRADE OPENING SHALL BE 0.5' ABOVE FINISH GRADE.
- PER OFFICE OF DESIGN ARCHITECT, NO WETLANDS OUTSIDE OF BUILDING SETBACK WINDOW SHALL BE FILLED.
- THIS SKETCH SHOULD BE APPROVED PRIOR TO PERMITTING DUE TO UNIQUENESS OF BUILDING SETBACK WINDOW.
- ALL SITE SURFACE SHOULD FLOW TO FRONT OF LOT AS INDICATED ON SUBDIVISION SITE PLAN - SEE PLAN ALSO FOR FINISH GRADING.
- SETBACKS SHOWN ON THIS PLAN SHOULD BE VERIFIED BY CODE ENFORCEMENT OFFICER PRIOR TO ANY CONSTRUCTION.
- CONSTRUCTION PERMITS SHALL BE DISCUSSED PRIOR TO ANY CONSTRUCTION.

GRAPHIC SCALE:



PROPOSED SITE PLAN  
LOT 3  
PHEASANT HILL  
PORTLAND, ME

NADEAU & LODGE, INC.  
PROFESSIONAL LAND SURVEYORS  
144 STEVENS AVENUE  
PORTLAND, MAINE 04103  
(207) 878-7870  
RFD 2, BOX 219A  
ALFRED, MAINE 04002  
(207) 282-0331

James D. Nadeau  
2-24-97

|               |               |                  |
|---------------|---------------|------------------|
| RECORD OWNER: | DRAWN BY: JDN | DATE: FEB 19, 97 |
|               | CHKD BY: TPB  | SCALE: 1"=80'    |
| BOOK No. 71   | JOB No. 7245  | SHEET No. 10F1   |

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S38°05'48" E -  
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R=191.55'  
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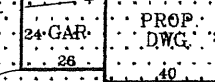
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DOTTED AREA IS SCALED AND INDICATES THE PREFERRED LOCATION OF NEW CONST. PER APPROVED PLAT.



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SILL FF 100'  
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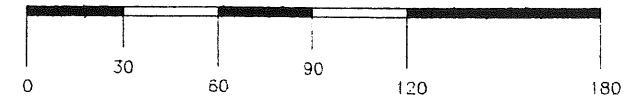
COUNTRY LANE

4102'

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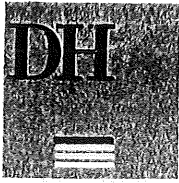


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RFD 2, BOX 219A  
ALFRED, MAINE 04002  
(207) 282-0331

*James D. Hadden  
2-24-97*

|               |               |                  |
|---------------|---------------|------------------|
| RECORD OWNER: | DRAWN BY: JDN | DATE: FEB 19, 97 |
|               | CHKD BY: TPB  | SCALE: 1"=60'    |
| BOOK No. 71   | JOB No. 7245  | SHEET No. 10F1   |



DeLUCA HOFFMAN ASSOCIATES, INC.  
CONSULTING ENGINEERS

778 MAIN STREET  
SUITE 8  
SOUTH PORTLAND, MAINE 04106  
TEL. 207 775 1121  
FAX 207 879 0896

■ ROADWAY DESIGN  
■ ENVIRONMENTAL ENGINEERING  
■ TRAFFIC STUDIES AND MANAGEMENT  
■ PERMITTING  
■ AIRPORT ENGINEERING  
■ SITE PLANNING  
■ CONSTRUCTION ADMINISTRATION

## MEMORANDUM

**TO:** Code Enforcement

**FROM:** Jim Wendel, Development Review Coordinator

**DATE:** May 2, 1997

**RE:** Request for Certificate of Occupancy  
41 Country Lane(lot 3)

On May 2, 1997 I reviewed the site for compliance with the conditions of approval dated 3/4/97.

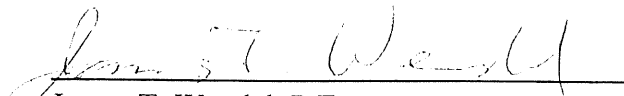
Several items need attention; they are:

1. The current rough grading is fine; however in general additional grading is required and the site needs to be finish graded, loamed and seeded including the driveway. This work shall be completed by May 31, 1997.
2. The street number must be mounted to the house. My records indicate that the number is 45?
3. The following areas around the house must receive a heavy application of hay mulch.
  - a. Within the diversion swale around the back and to the side of the house.
  - b. All the disturbed area on the right side of the house.
  - c. A portion of the front lawn from the existing tree in the front lawn to the limits of the wetland.

This work shall be completed on Friday May 2, 1997. The builder was notified during my site visit of this requirement.

4. Two Portland approved trees must be planted. This work shall be completed by May 31, 1997.

It is my opinion that a temporary certificate of occupancy could be issued assuming item 3 is satisfactorily completed and code enforcement has no outstanding issues.

  
James T. Wendel, P.E.

c: Kandi Talbot, Planning Department  
JN1350.10101entry



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number \_\_\_\_\_

Richard P Willing 846-4300

2/27/97

Applicant  
16 Belfort St- Ptld ME 04101  
Applicant's Mailing Address  
John Chase (Custom Homes) 839-2723  
Consultant/Agent

Application Date  
Project Name/Description

Country Ln

Address of Proposed Site  
171 A 3

Assessor's Reference: Chart-Block-Lot

Applicant or Agent Daytime Telephone, Fax \_\_\_\_\_

Proposed Development (check all that apply):  New Building  Building Addition  Change of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Other (specify) \_\_\_\_\_

28'x 40' & 24'x26' appx 1.57 acres R-2 PRUD  
Proposed Building Square Feet or # of Units Acreage of Site Zoning

Check Review Required: construct 1-fam dwlg w att garage

- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor)         | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review                     | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                    | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation          | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance             | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____             |

Fees paid: site plan \$50 & \$100 insp. fee subdivision \_\_\_\_\_

Approval Status:

Reviewer Marge Schmidt

- Approved  Approved w/Conditions listed below  Denied

- Separate permits shall be required for future decks ~~\_\_\_\_\_~~
- \_\_\_\_\_
- \_\_\_\_\_
- \_\_\_\_\_

Approval Date 3/2/97 Approval Expiration \_\_\_\_\_ date Extension to \_\_\_\_\_ date  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                      |                         |                       |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date           | _____ amount            | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid            | _____ date           | _____ amount            |                       |
| Performance Guarantee Reduced                           | _____ date           | _____ remaining balance | _____ signature       |
| Performance Guarantee Released                          | _____ date           | _____ signature         |                       |
| Defect Guarantee Submitted                              | _____ submitted date | _____ amount            | _____ expiration date |
| Defect Guarantee Released                               | _____ date           | _____ signature         |                       |

Address: \_\_\_\_\_



**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM**

I. D. Number \_\_\_\_\_

Address: \_\_\_\_\_

Applicant Richard P. Willing 846-4300

Application Date 2/27/97

Applicant's Mailing Address 15 Belfort St- Portland ME 04101

Project Name/Description Country Ln

Consultant/Agent John Chase (Custom Homes) 339-2723

Address of Proposed Site 171 A 3

Applicant or Agent Daytime Telephone, Fax \_\_\_\_\_

Assessor's Reference: Chart-Block-Lot \_\_\_\_\_

Proposed Development (check all that apply):  New Building  Building Addition  Change of Use  Residential  
 Office  Retail  Manufacturing  Warehouse/Distribution  Other (specify) \_\_\_\_\_

Proposed Building Square Feet or # of Units 28'x 40' & 24'x 26' Acreage of Site appx 1.57 acres Zoning \_\_\_\_\_

Check Review Required: construct 1-fam dwlg w att garage

- |  |  |   |  |
|--|--|---|--|
| <input type="checkbox"/> Site Plan (major/minor)         | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review                     | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                    | <input type="checkbox"/> Shoreland                   | <input type="checkbox"/> Historic Preservation          | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance             | <input checked="" type="checkbox"/> Single-Family Minor | <input type="checkbox"/> Other _____             |

Fees paid: site plan \$50 & \$100 insp fee subdivision \_\_\_\_\_

Approval Status: \_\_\_\_\_

Reviewer Jim WENDEL

- Approved  Approved w/Conditions listed below  Denied

- \_\_\_\_\_
- SEE ATTACHED CONDITIONS
- \_\_\_\_\_
- \_\_\_\_\_

Approval Date 3/4/97 Approval Expiration \_\_\_\_\_ date Extension to \_\_\_\_\_ date  Additional Sheets Attached

Condition Compliance \_\_\_\_\_ signature \_\_\_\_\_ date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                      |                         |                       |
|---|----------------------|-------------------------|-----------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date           | _____ amount            | _____ expiration date |
| <input type="checkbox"/> Inspection Fee Paid            | _____ date           | _____ amount            |                       |
| Performance Guarantee Reduced                           | _____ date           | _____ remaining balance | _____ signature       |
| Performance Guarantee Released                          | _____ date           | _____ signature         |                       |
| Defect Guarantee Submitted                              | _____ submitted date | _____ amount            | _____ expiration date |
| Defect Guarantee Released                               | _____ date           | _____ signature         |                       |

CITY OF PORTLAND, MAINE  
SITE PLAN REVIEW (ADDENDUM)  
CONDITIONS OF APPROVAL

APPLICANT: RICHARD P. KILLING  
 ADDRESS: 16 BELFURT ST, PORTLAND, ME  
 SITE ADDRESS/LOCATION: COUNTRY LANE (LOT 3)  
 DATE: 3/4/97

Review by the Development Review Coordinator is for General Conformance with ordinances and standards only and does not relieve the applicant, his contractors or agents from the responsibility to provide a completely finished site, including but not limited to: increasing or concentrating of all surface runoff onto adjacent or downstream properties, issues regarding vehicle sight distance, location of public utilities and foundation elevations.

**CONDITIONS CHECKED OFF BELOW WILL BE ENFORCED FOR YOUR SITE PLAN**

1.  All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland Standards prior to issuance of a Certificate of Occupancy.
2.  Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
3.  Your new street address is now COUNTRY LANE, the number must be displayed on the street frontage of your house prior to issuance of Certificate of Occupancy.
4.  The Development Review Coordinator (874-8300 ext. 8722) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
5.  Show all utility connections: water, sanitary sewer, storm drain, electric, telephone, cable.
6.  A sewer permit is required for your project. Please contact Carol Merritt at 874-8300, ext. 8828. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
7.  A street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

- 8.  As-built record information for sewer and stormwater service connections must be submitted to Parks and Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 9.  The building contractor shall check the subdivision recording plat for pre-determined first floor elevation and establish the first floor elevation (FFE) and sill elevation (SE) to be set above the finish street/curb elevation to allow for positive drainage away from entire footprint of building.
- 10.  The site contractor shall establish finish grades at the building foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 11.  A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FEE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for the drainage from the property.
- 12.  The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 13.  COUNTRY LANE SHALL BE KEPT CLEAN OF TRACKED SOIL. SILT FENCE MUST BE INSTALLED DOWN GRADIENT OF DISTURBED AREA OF THE SITE. SEE ATTACHED NARRATIVE REGARDING EROSION CONTROL.

cc: Katherine Staples, P.E., City Engineer

- 14.  FINAL GRADING SHALL BE IN <sup>GENERAL</sup> CONFORMANCE WITH THE APPROVED SITE PLAN FOR LOT 3 AS APPROVED BY THE PLANNING BOARD
- 15.  CURB CUT SHALL CONFORM TO CITY OF PORTLAND STANDARDS.
- 16.  A STABILIZED DIVERSION DITCH SHALL BE CONSTRUCTED UP GRADIENT OF THE FOUNDATION LOCATION PRIOR TO EXCAVATION OF THE FOUNDATION.

# ELECTRICAL PERMIT

## City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 24 March 1997

LOCATION: 41 Country Lane

Permit # 14285

OWNER Richard Willing ADDRESS \_\_\_\_\_

|                              |                   |   |             |   |                 |     | TOTAL EACH FEE |       |       |
|------------------------------|-------------------|---|-------------|---|-----------------|-----|----------------|-------|-------|
| OUTLETS                      | Telephone         |   | Data        |   | CATV            |     | 10             | .20   | 2.00  |
|                              | Receptacles       |   | Switches    |   | Smoke Detector  |     | 90             | .20   | 18.00 |
| FIBER OPTICS                 |                   |   |             |   |                 |     |                | 15.00 |       |
| FIXTURES                     | incandescent      |   | fluorescent |   |                 |     | 20             | .20   | 4.00  |
|                              | fluorescent strip |   |             |   |                 |     |                | .20   |       |
| SERVICES                     | Overhead          |   |             |   | TTL AMPSTO      | 800 |                | 15.00 |       |
|                              | Underground       |   |             |   |                 | 800 | 200            | 15.00 | 15.00 |
| Temporary Service            | Overhead          |   |             |   | AMPS OVER       | 800 |                | 25.00 |       |
|                              | Underground       |   |             |   |                 | 800 |                | 25.00 |       |
| METERS                       | (number of)       |   |             |   |                 |     | 1              | 1.00  | 1.00  |
| MOTORS                       | (number of)       |   |             |   |                 |     |                | 2.00  |       |
| RESID/COM                    | Electric units    |   |             |   |                 |     |                | 1.00  |       |
| HEATING                      | oil/gas units     |   | Interior    |   | Exterior        |     |                | 5.00  |       |
| APPLIANCES                   | Ranges            | 1 | Cook Tops   |   | Wall Ovens      |     |                | 2.00  |       |
| Insta-Hot                    | Water heaters     |   | Fans        | 2 | Dryers          | 1   |                | 2.00  |       |
| Disposals                    | 1 Dishwasher      | 1 | Compactors  |   | Others (denote) |     | 6              | 2.00  | 2.00  |
| MISC. (number of)            | Air Cond/win      |   |             |   |                 |     |                | 3.00  |       |
|                              | Air Cond/cent     |   |             |   |                 |     |                | 10.00 |       |
|                              | HVAC              |   | EMS         |   | Pools           |     |                | 5.00  |       |
|                              | Signs             |   |             |   | Thermostat      |     |                | 10.00 |       |
|                              | Alarms/res        |   |             |   |                 |     |                | 5.00  |       |
|                              | Alarms/com        |   |             |   |                 |     |                | 15.00 |       |
|                              | Heavy Duty(CRKT)  |   |             |   |                 |     |                | 2.00  |       |
|                              | Circus/Carnv      |   |             |   |                 |     |                | 25.00 |       |
|                              | Alterations       |   |             |   |                 |     |                | 5.00  |       |
|                              | Fire Repairs      |   |             |   |                 |     |                | 15.00 |       |
|                              | E Lights          |   |             |   |                 |     |                | 1.00  |       |
|                              | E Generators      |   |             |   |                 |     |                | 20.00 |       |
| PANELS                       | Service           |   | Remote      | 1 | Main            |     | 1              | 4.00  | 4.00  |
| TRANSFORMER                  | 0-25 Kva          |   |             |   |                 |     |                | 5.00  |       |
|                              | 25-200 Kva        |   |             |   |                 |     |                | 8.00  |       |
|                              | Over 200 Kva      |   |             |   |                 |     |                | 10.00 |       |
| TOTAL AMOUNT DUE             |                   |   |             |   |                 |     |                |       |       |
| MINIMUM FEE/COMMERCIAL 35.00 |                   |   |             |   |                 |     |                |       |       |
| MINIMUM FEE                  |                   |   |             |   |                 |     | 25.00          |       | 46.00 |

INSPECTION: Will be ready 3/ 24 or will call \_\_\_\_\_

3/28 Rough In PM

CONTRACTORS NAME Daniel Merchant MASTER LIC. # 14285  
 ADDRESS 33 Constitution Dr West LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 797-8014

SIGNATURE OF CONTRACTOR Daniel J. Merchant





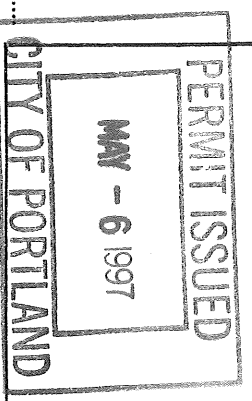


FILL IN AND SIGN WITH INK

970408

# APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine, .....



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 41 Country Lane Use of Building 1-stm No. Stories          New Building Existing "        "  
 Name and address of owner of appliance William, Richard  
 Installer's name and address Maurice Poirier  
29 Meetinghouse Rd Biddeford, ME 04005 Telephone 284-4789  
 To install Oil fired forced hot water heating system  
 General Description of Work

### IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no  
 If so, how protected?          Kind of fuel? #2 oil  
 Minimum distance to burnable material from top of appliance or casing top of furnace 18"  
 From top of smoke pipe 18" From front of appliance 2' From sides or back of appliance 18"  
 Size of chimney flue EX 7" Other connections to same flue no  
 If gas fired, how vented?          Rated maximum demand per hour 100,000  
 Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? yes

### IF OIL BURNER

Name and type of burner Beckett Labelled by underwriters' laboratories? yes  
 Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom  
 Type of floor beneath burner concrete Size of vent pipe 1 1/4"  
 Location of oil storage basement Number and capacity of tanks 1-275  
 Low water shut off yes Make          OEM          No. 170  
 Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none  
 Total capacity of any existing storage tanks for furnace burners 1-275

### IF COOKING APPLIANCE

Location of appliance          Any burnable material in floor surface or beneath?           
 If so, how protected?          Height of Legs, if any           
 Skirting at bottom of appliance?          Distance to combustible material from top of appliance?           
 From front of appliance          From sides and back          From top of smokepipe           
 Size of chimney flue          Other connections to same flue           
 Is hood to be provided?          If so, how vented?          Forced or gravity?           
 If gas fired, how vented?          Rated maximum demand per hour         

### MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Maurice Poirier License # 909 Oil Burner  
 Cost of Work: 5,000.00 45.00

Amount of fee enclosed?         

APPROVED:         

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?         

CS 300  
 INSPECTION FILE APPLICANT'S ASSESSOR'S COPY

Signature of Installer

Maurice Poirier

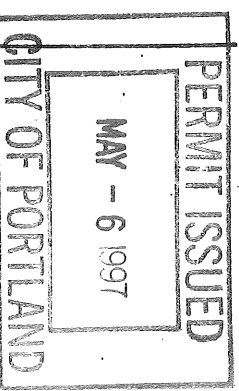


FILL IN AND SIGN WITH INK

970408

APPLICATION FOR PERMIT FOR HEATING, COOKING OR POWER EQUIPMENT

Portland, Maine,



To the INSPECTOR OF BUILDINGS, PORTLAND, ME.

The undersigned hereby applies for a permit to install the following heating, cooking or power equipment in accordance with the Laws of Maine, the Building Code of the City of Portland, and the following specifications:

Location 41 Country Lane Use of Building 1-fam No. Stories New Building Existing
Name and address of owner of appliance Willing, Richard
Installer's name and address Maurice Poirier Telephone 284-4789
29 Meetinghouse Rd Biddeford, ME 04005
General Description of Work
To install Oil fired forced hot water heating system

IF HEATER, OR POWER BOILER

Location of appliance basement Any burnable material in floor surface or beneath? no
If so, how protected? Kind of fuel? #2 oil
Minimum distance to burnable material, from top of appliance or casing top of furnace 18"
From top of smoke pipe 18" From front of appliance 2' From sides or back of appliance 18"
Size of chimney flue 7" Other connections to same flue no
If gas fired, how vented? Rated maximum demand per hour 100,000
Will sufficient fresh air be supplied to the appliance to insure proper and safe combustion? Yes

IF OIL BURNER

Name and type of burner Beckett Labelled by underwriters' laboratories? yes
Will operator be always in attendance? no Does oil supply line feed from top or bottom of tank? bottom
Type of floor beneath burner concrete Size of vent pipe 1 1/4"
Location of oil storage basement Number and capacity of tanks 1-275
Low water shut off Yes Make OEM No. 170
Will all tanks be more than five feet from any flame? yes How many tanks enclosed? none
Total capacity of any existing storage tanks for furnace burners 1-275

IF COOKING APPLIANCE

Location of appliance Any burnable material in floor surface or beneath?
If so, how protected? Height of Legs, if any
Skirting at bottom of appliance? Distance to combustible material from top of appliance?
From front of appliance From sides and back From top of smokepipe
Size of chimney flue Other connections to same flue
Is hood to be provided? Forced or gravity?
If gas fired, how vented? Rated maximum demand per hour

MISCELLANEOUS EQUIPMENT OR SPECIAL INFORMATION

Maurice Poirier License # 909 Oil Burner
Cost of Work: 5,000.00 45.005
Miscellaneous information:
1. 1 1/2" VENT PIPE
2. 1 1/4" VENT PIPE
3. Burner support
4. Burner support
5. Burner support
6. Burner support
7. Burner support
8. Burner support
9. Burner support
10. Burner support
11. Burner support
12. Burner support
13. Burner support
14. Burner support
15. Burner support
16. Burner support
17. Burner support
18. Burner support
19. Burner support
20. Burner support

Amount of fee enclosed?

APPROVED:

Signature of Installer

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

INSPECTION FILE APPLICANT'S ASSESSOR'S COPY

Permit No.

Location

Owner

Date of permit

Approved

NOTES

10/11/11

- 1. All work to be done in accordance with the approved drawings.
- 2. All work to be done in accordance with the approved specifications.
- 3. All work to be done in accordance with the approved schedule of work.
- 4. All work to be done in accordance with the approved programme of work.
- 5. All work to be done in accordance with the approved method statement.
- 6. All work to be done in accordance with the approved risk assessment.
- 7. All work to be done in accordance with the approved safety plan.
- 8. All work to be done in accordance with the approved environmental plan.
- 9. All work to be done in accordance with the approved quality plan.
- 10. All work to be done in accordance with the approved communication plan.
- 11. All work to be done in accordance with the approved stakeholder engagement plan.
- 12. All work to be done in accordance with the approved health and safety plan.
- 13. All work to be done in accordance with the approved fire safety plan.
- 14. All work to be done in accordance with the approved asbestos management plan.
- 15. All work to be done in accordance with the approved noise and vibration control plan.
- 16. All work to be done in accordance with the approved air quality management plan.
- 17. All work to be done in accordance with the approved water and flood risk management plan.
- 18. All work to be done in accordance with the approved traffic management plan.
- 19. All work to be done in accordance with the approved archaeological plan.
- 20. All work to be done in accordance with the approved tree preservation plan.
- 21. All work to be done in accordance with the approved biodiversity plan.
- 22. All work to be done in accordance with the approved heritage plan.
- 23. All work to be done in accordance with the approved cultural heritage plan.
- 24. All work to be done in accordance with the approved social heritage plan.
- 25. All work to be done in accordance with the approved community heritage plan.
- 26. All work to be done in accordance with the approved historic environment plan.
- 27. All work to be done in accordance with the approved World Heritage plan.

## BUILDING PERMIT REPORT

DATE: 1 May 97 ADDRESS: 41 County Lane  
REASON FOR PERMIT: To install forced hot water heating system  
BUILDING OWNER: Richard Willing  
CONTRACTOR: Maurice Poirier  
PERMIT APPLICANT: \_\_\_\_\_ APPROVAL: X / K B \_\_\_\_\_ DENIED \_\_\_\_\_

### CONDITION(S) OF APPROVAL

- X 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
  - X 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
  3. Precaution must be taken to protect concrete from freezing.
  4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
  5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ½ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
  - X 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993) U.L. 103.
  7. Guardrail & Handrails A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect.
  8. Headroom in habitable space is a minimum of 7'6".
  9. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread, 7" maximum rise.
  10. The minimum headroom in all parts of a stairway shall not be less than 80 inches.
  11. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
  12. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
  13. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closer's.
  14. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
  15. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 19, 920.3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
    - In the immediate vicinity of bedrooms
    - In all bedrooms
    - In each story within a dwelling unit, including basements
- In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

16. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
17. The Fire Alarm System shall be maintained to NFPA #72 Standard.
18. The Sprinkler System shall maintained to NFPA #13 Standard.
19. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024. Of the City's building code. (The BOCA National Building Code/1996)
20. All construction and demolition debris must be disposed at the City's authorized reclamation site. The fee rate is attached. Proof of such disposal must be furnished to the office of Inspection Services before final Certificate of Occupancy is issued or demolition permit is granted.
21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
23. This permit does not excuse the applicant from obtaining any license which may be needed from the City Clerk's office.
24. Ventilation shall meet the requirements of Chapter 12 Sections 1210. of the City's Building Code.
25. All electrical and plumbing permits must be obtained by a Master Licensed holders of their trade.
26. \_\_\_\_\_
27. \_\_\_\_\_
28. \_\_\_\_\_

  
P. Samuel Hoffses, Chief of Code Enforcement

cc: Lt. McDougall, PFD  
Marge Schmuckal