

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

Permit Number: 030346

PERMIT

This is to certify that Tkachenko Vitali &/Rent -A- husband
has permission to Screen and expand existing d by 2' on the end.
AT 26 Felicia Ln 171 B002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

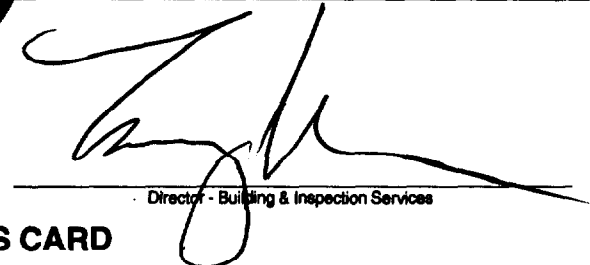
Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. **PERMIT ISSUED**
Health Dept.
Appeal Board MAY 23 2003
Other _____
Department Name


Director - Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0346	Issue Date: MAY 23 2003	CBL: 171 B002001
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Location of Construction: 26 Felicia Ln	Owner Name: Tkachenko Vitali &	Owner Address: 36 Felicia Ln CITY OF PORTLAND	Phone: 207-879-7425
Business Name: n/a	Contractor Name: Rent -A- Husband	Contractor Address: 1041 Brighton Ave Portland	Phone: 2078797425
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: R3
Past Use: Single Family	Proposed Use: Single Family / Screen and expand existing deck by 2' on one end.	Permit Fee: \$58.00	Cost of Work: \$4,900.00
Proposed Project Description: Screen and expand existing deck by 2' on one end.		FIRE DEPT: <i>MA</i>	INSPECTION: Use Group: <i>P-3</i> Type: <i>SB</i> <i>BOLA 99</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: gg	Date Applied For: 04/16/2003	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/22/03</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>6/22/03</i>	
	<i>OK under Section 4-42B</i>			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0346	Date Applied For: 04/16/2003	CBL: 171 B002001
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Location of Construction: 26 Felicia Ln	Owner Name: Tkachenko Vitali &	Owner Address: 36 Felicia Ln	Phone: 207-879-7425
Business Name: n/a	Contractor Name: Rent -A- Husband	Contractor Address: 1041 Brighton Ave Portland	Phone: (207) 879-7425
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	

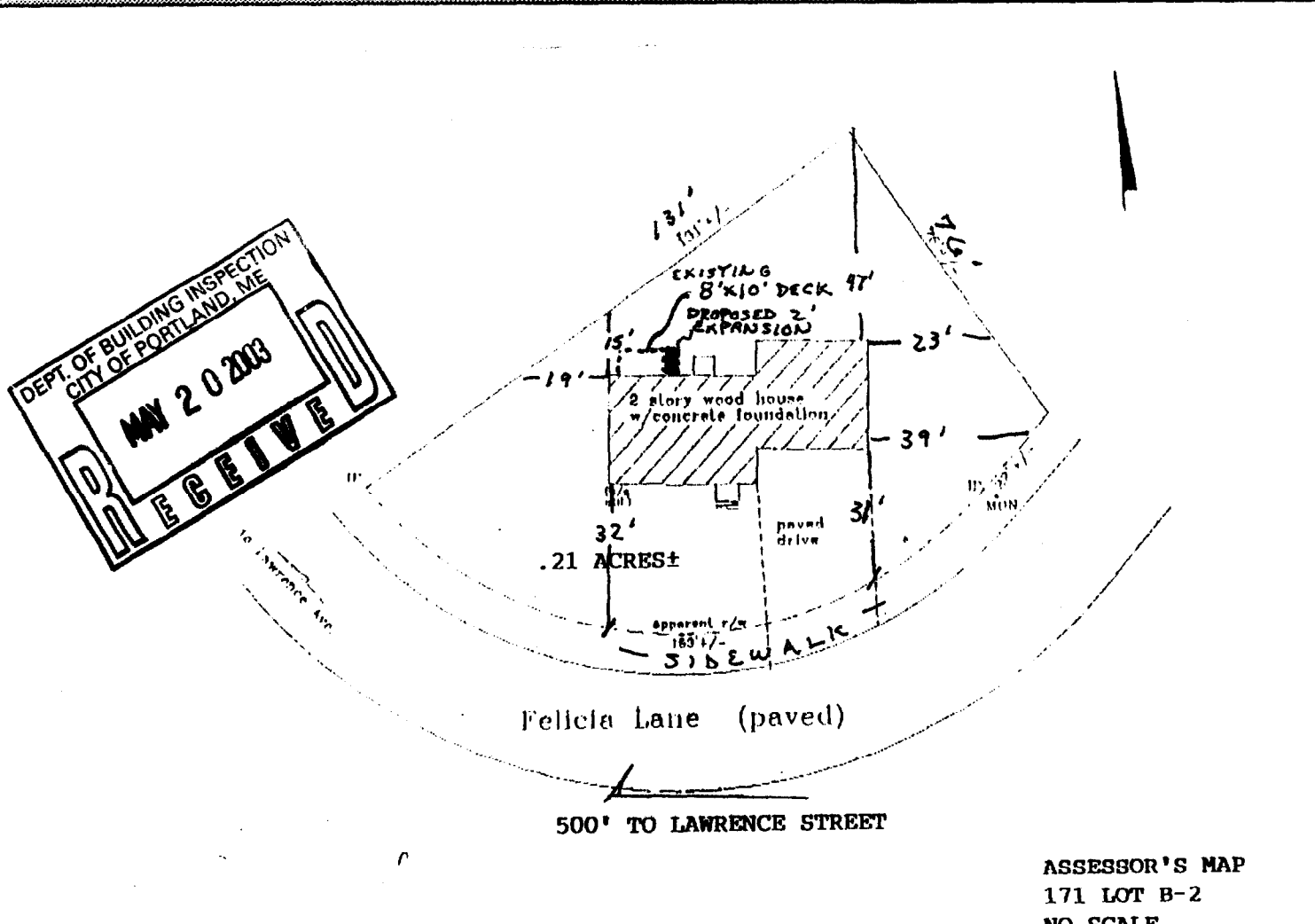
Proposed Use: Single Family / Screen and expand existing deck by 2' on one end.	Proposed Project Description: Screen and expand existing deck by 2' on one end.
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Dept: Zoning	Status: Approved	Reviewer: Tammy Munson	Approval Date: 05/22/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 05/22/2003
Note:			Ok to Issue: <input checked="" type="checkbox"/>

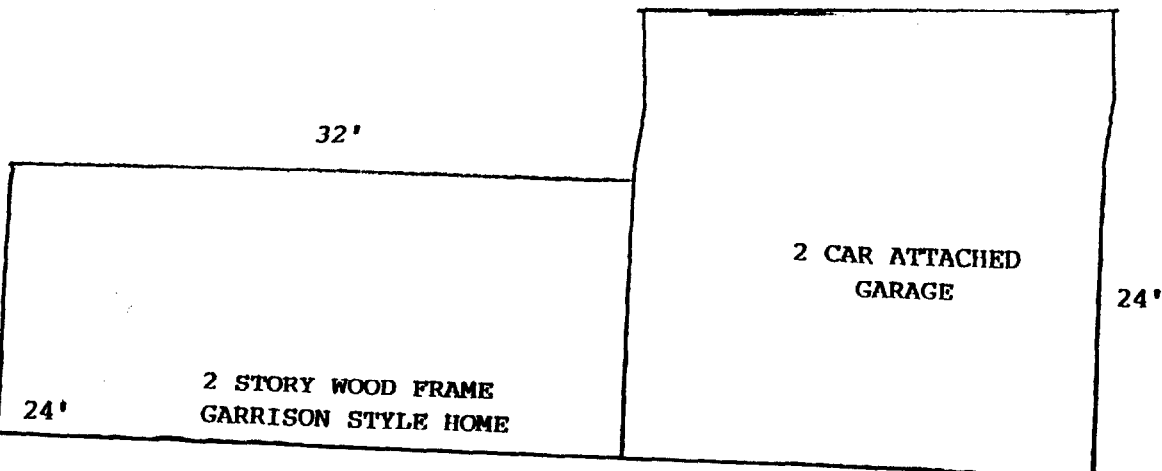
Comments:
 5/20/03-tmm: rec'd new plot plan ok to issue
 5/8/03-tmm: Waiting on more detailed plot plan - spoke w/Paul Mattson again. Need to use section 14-428 to figure setbacks.

Borrower/Client Vitali & Valentina Tkachenko			
Property Address 36 Felicia Lane <i>KNOWN AS 26 FELICIA LN.</i>			
City Portland	County Cumberland	State Maine	Zip Code 04103
Lender Maine Bank & Trust			

PLOT PLAN



BUILDING PLAN



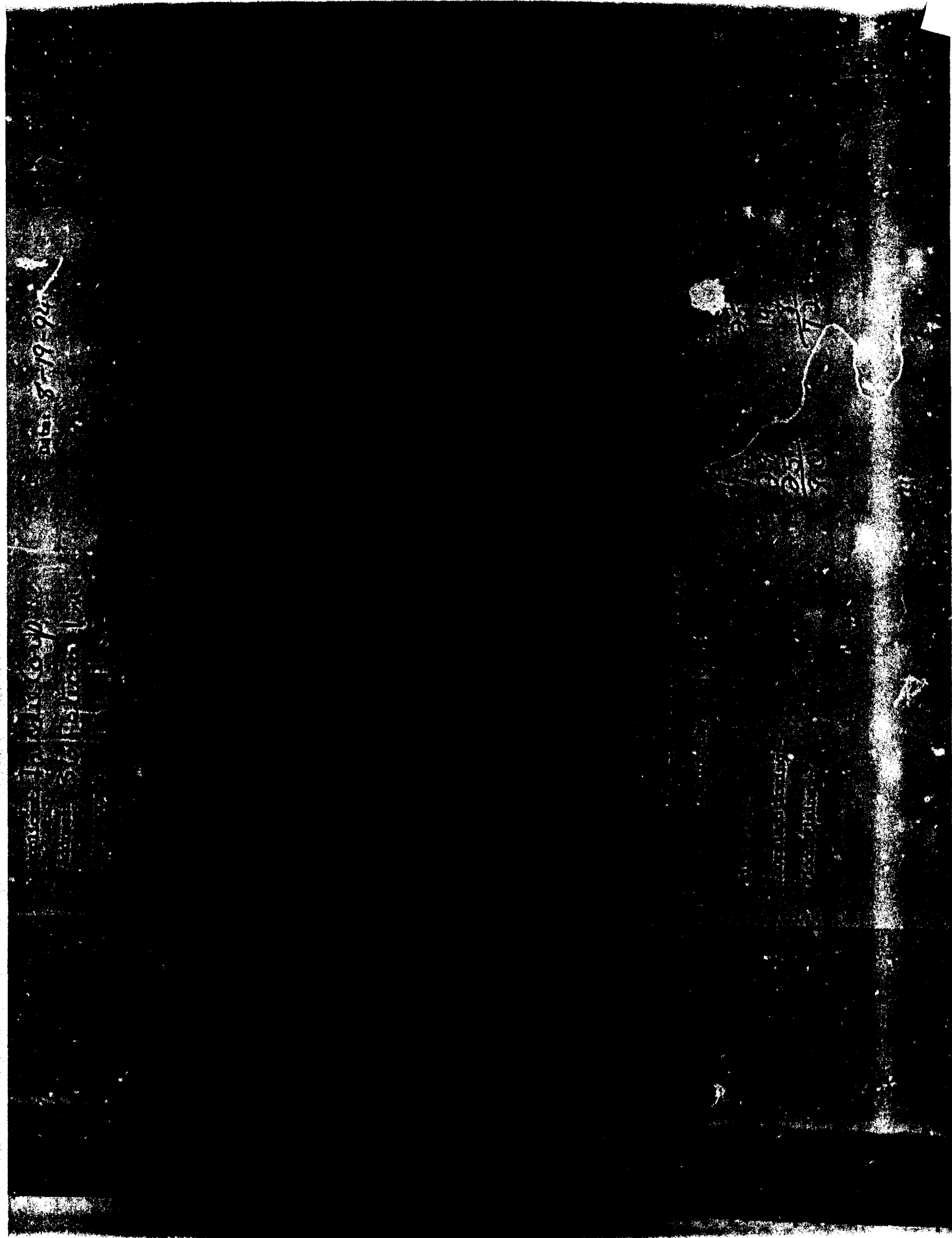
5245 SF

REPUBLIC

REPUBLIC

REPUBLIC

REPUBLIC



Section 1 (25) Part of
the provisions of section 1 (25)
of the Act, 1947, subject to the provisions of section 1 (25)



Residential Building Permit Application

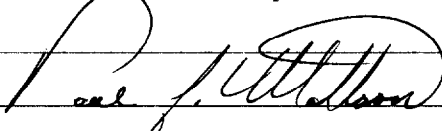
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>36 Felicia Lane</u>		
Total Square Footage of Proposed Structure <u>20 SF EXPANSION</u>		Square Footage of Lot <u>.21 ACRES +/-</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>171 B-2</u>	Owner: <u>VALENTINA TRACHENKO</u>	Telephone: <u>775-2287</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>RENT-A-HUSBAND OF MAINE 173 NEAL ST. PORTLAND, ME 04102</u>	Cost Of Work: \$ <u>4900</u> Fee: \$ <u>158.00</u>
Current Specific use: <u>DECK</u>		
Proposed Specific use: <u>SCREENED IN DECK</u>		
Project description: <u>SCREEN IN EXISTING DECK - EXPAND DECK BY 2' ON ONE END *WILL NOT ENCROACH ON SIDE OR REAR SETBACK AT ALL.</u>		
Contractor's name, address & telephone: <u>RENT-A-HUSBAND OF MAINE LLC 173 NEAL ST. PORTLAND 879-7425</u>		
Who should we contact when the permit is ready: <u>PAUL OR STAN</u>		
Mailing address: <u>SAME</u>		
		Phone: <u>879-7425</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>4-14-03</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$7.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.



Residential Building Permit Application Checklist

All of the following information is required and must be submitted in order to help insure an expeditious permitting process.

A complete set of construction drawings must include:

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing (if applicable)
- N/A / Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the new or existing structure(s), a plot plan is required and must include:

- NOT FURTHER ENCROACHMENT ON SIDE OR REAR SETBACK**
The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines drawn to scale. Structures include decks porches; a bow windows cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown.
- Boundary survey to scale showing north arrow; zoning district and setbacks
- First floor sill elevation (based on mean sea level datum)
- Location and dimensions of parking areas and driveways
- Location and size of both existing utilities in the street and the proposed utilities serving the building
- N/A / Location of areas on the site that will be used to dispose of surface water
- N/A / Existing and proposed grade contours
- N/A / Silt fence locations

Surveyor's monuments must be in place and the lot staked for a setback inspection.

Please submit all of the information outlined in this Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

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Sec. 14-428. Corner lots.

In case a dwelling house has its front yard upon the long side of a corner lot, the rear yard may be reduced to a depth not less than the width required for a side yard on the lot, provided the aggregate of the widths of both sides and depths of front and rear yards is not less than the similar aggregate of required dimensions of all yards required if the front yard were faced on the short side of the lot.

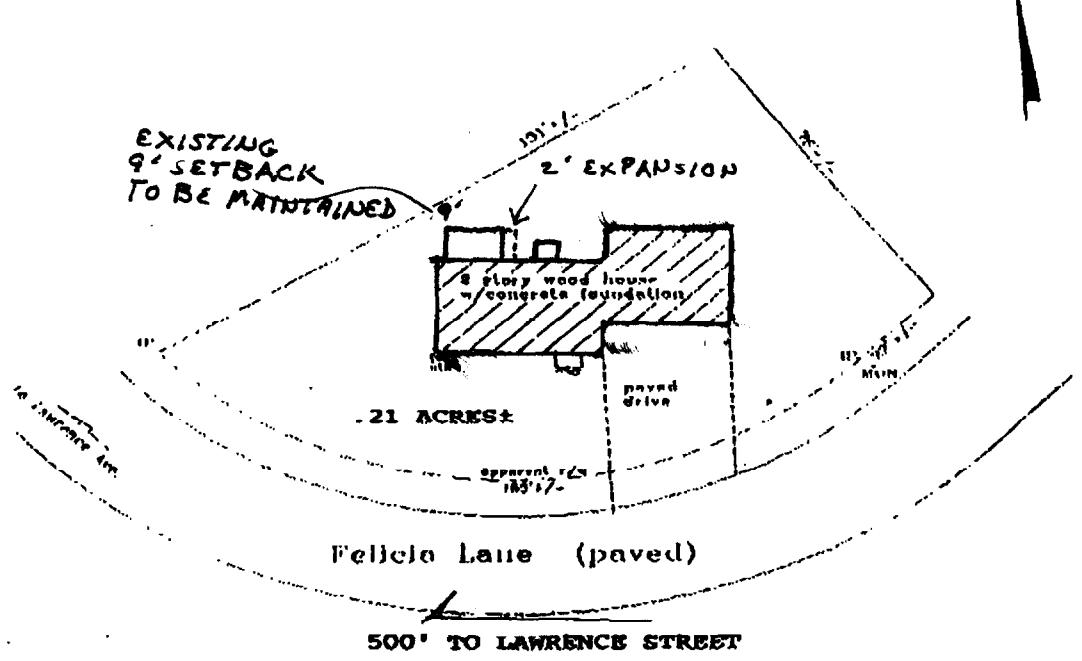
(Code 1968, § 602.19.G)

Existing facing long side- aggregate of yards		Required setbacks if facing on short side	
Front yard	feet 25	Front yard	feet 25
Rear yard	feet 5	Rear yard	feet 25
Side yard -rt	feet 30	Side yard -rt	feet 8
Side yard -lft	feet 20 20	Side yard -lft	feet 14

TOTALS 80 feet is greater than feet 72

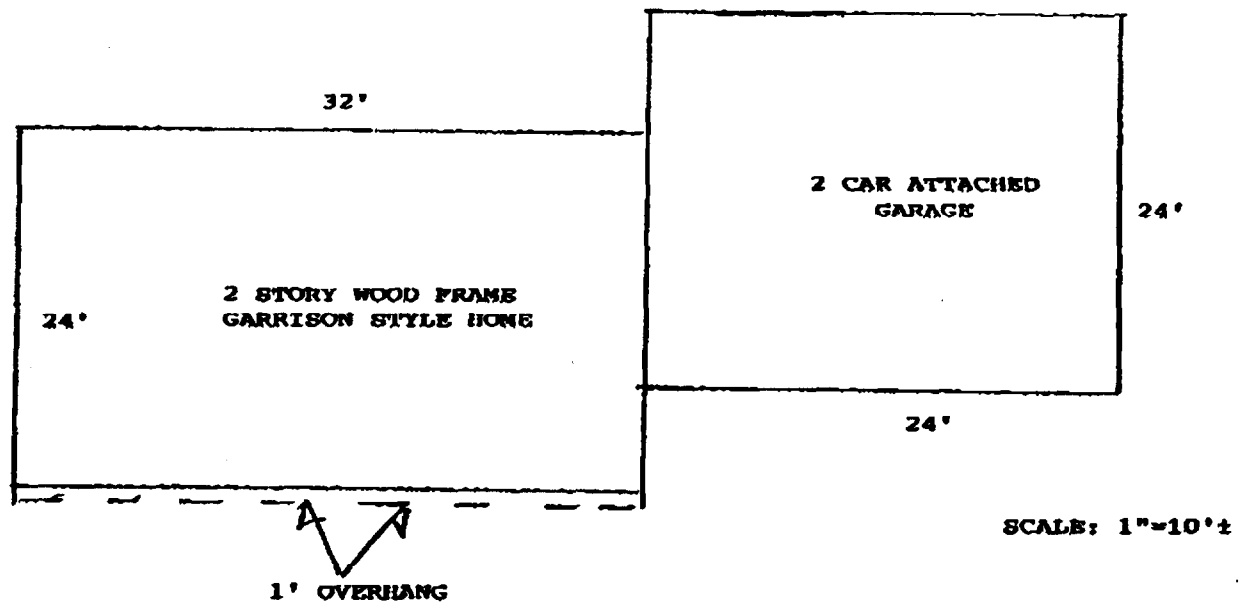
OK - Shows 8' Min. Went over w/ m.s.

Borrower/Client Vitali & Valentina Tashenko			
Property Address 36 Felicia Lane			
City Portland	County Cumberland	State Maine	Zip Code 04103
Lender Maine Bank & Trust			



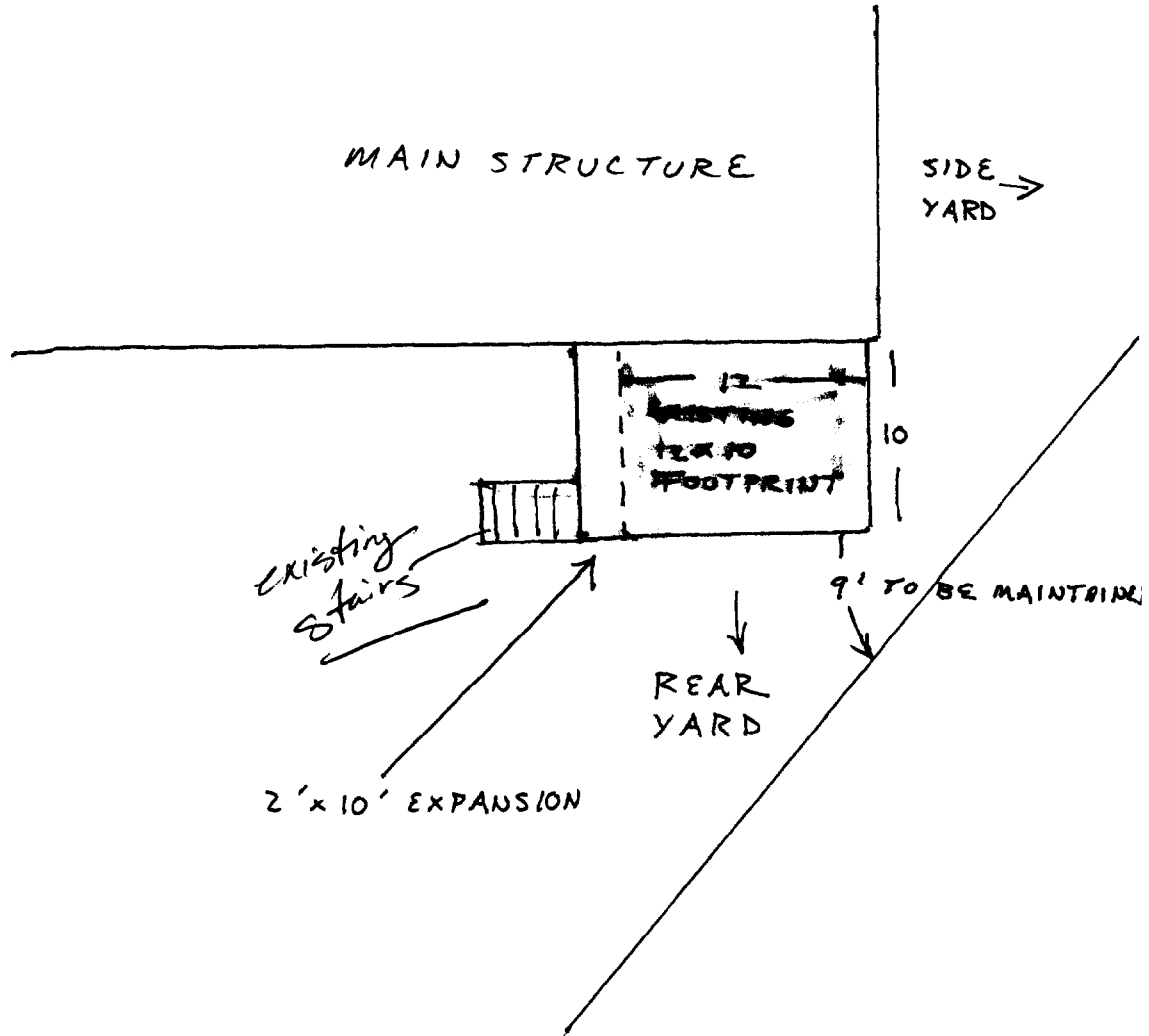
ASSESSOR'S MAP
171 LOT B-2
NO SCALE

BUILDING PLAN



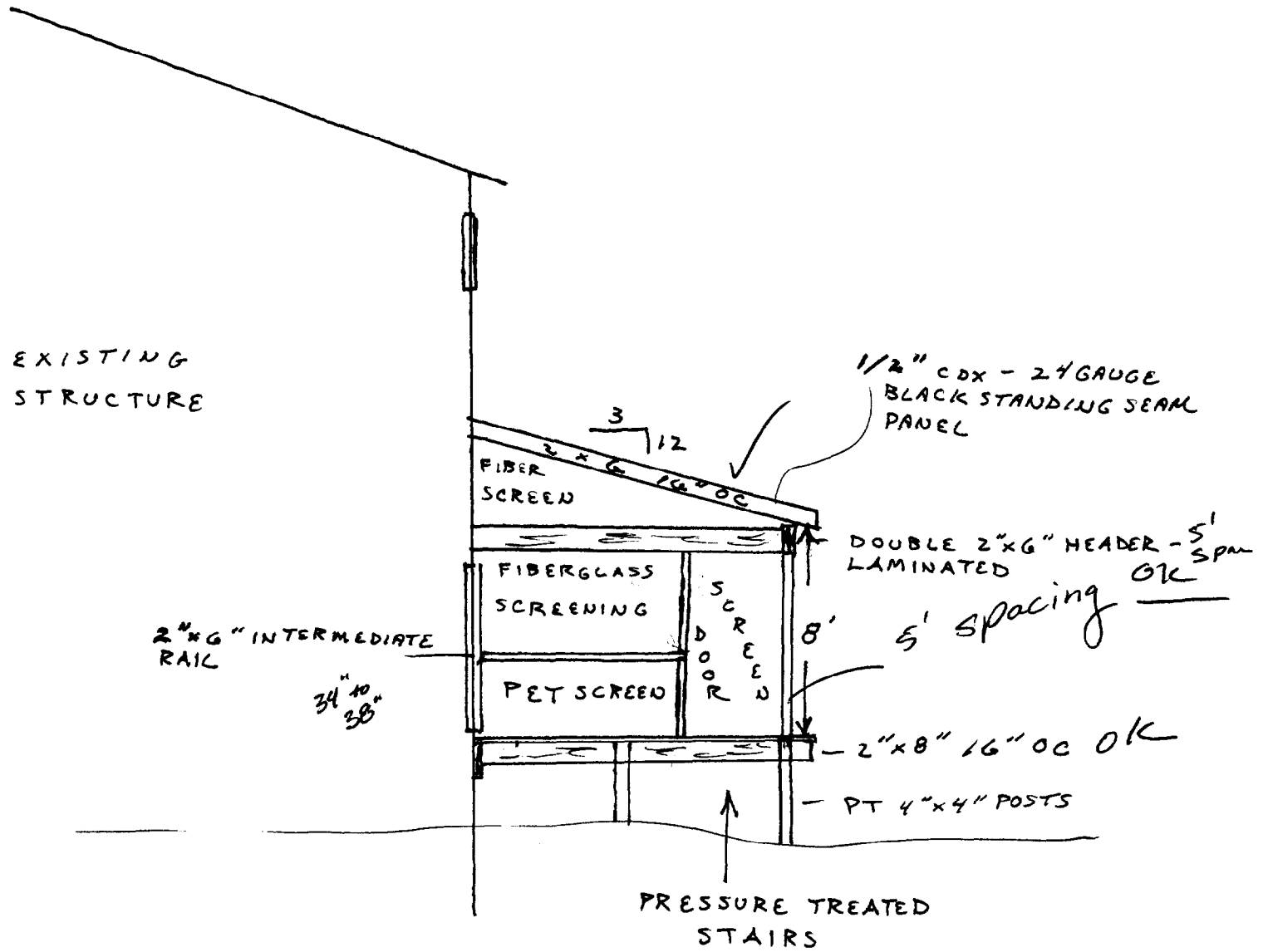


TRACHENKO



Each franchise is independently owned and operated / www.rentahusband.com

Rent-A-Husband of Maine, LLC 173 Neal Street, Portland, Maine 04102
E-mail: portland@rentahusband.com • Tel: 1-877-99-HUBBY • 207-879-7425/ • Fax: 207-879-7744



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