

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 01-0306	Issue Date: APR 13	CBL: 171 B001001
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Location of Construction: 20 Felicia Ln	Owner Name: Johns Patrick T &	Owner Address: 20 Felicia Ln. Portland, ME	Phone: 3-6095
Business Name: n/a	Contractor Name: Darrell Dans -RRC Inc.	Contractor Address: 962 Highland Ave South Portland	Phone: 2073293700
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Garages - Attached	Zone: R-3

Past Use: Single Family	Proposed Use: Single Family with Attached 22 x 26 oversized garage.** Will pick up	Permit Fee: \$114.00	Cost of Work: \$15,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 503	

Proposed Project Description: Build attached garage	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: gg	Date Applied For: 04/05/2001	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>4/9/01</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	<i>to remain Single Family</i> <i>[Signature]</i>		

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

Ally

24054

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

#2

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTE**If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 20 Felicia Lane

Tax Assessor's Chart, Block & Lot Number Chart# <u>171</u> Block# <u>B</u> Lot# <u>001</u>	Owner: <u>Patrick Johns</u>	Telephone#: <u>773-6095</u>
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Owner's Address: <u>20 Felicia Lane</u>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$15000.00</u>	Fee <u>114-</u> <u>\$109.00</u>
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Proposed Project Description:(Please be as specific as possible) SINGLE FAM.
1 Attached 22'x26' oversized garage as per plans (included).

Contractor's Name, Address & Telephone <u>Darrell Dains - RRC Inc. 962 Highland Ave</u>	<u>South Portland</u> Rec'd By: <u>04106 329-3700</u>
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Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

Will pick up call

If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

X4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Darrell Dain</u>	Date: <u>4/3/01</u>
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Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

BUILDING PERMIT REPORT

DATE: 12 APRIL 2001 ADDRESS: 20 Felicia Lane CBL: 171-3,001
REASON FOR PERMIT: To Construct a 21'6" x 25'4" attached PVI garage
BUILDING OWNER: Patrick T. Johns
PERMIT APPLICANT: _____ CONTRACTOR: Darrell Daas RACIA
USE GROUP: R-3 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$15,000.00 PERMIT FEES: \$114.00

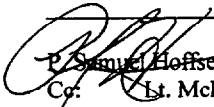
The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *6, *8
*28, *29, *30, *33, *35, *36

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- *6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- *7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- 11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B.H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- 13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. The Minimum required width of a corridor shall be determined by the most restrictive of the criteria under section 1011.3 but not less than 36".
- 16. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 17. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 18. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 19. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

20. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
21. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
22. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
23. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
24. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
25. Section 25 – 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
26. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
27. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- ~~28.~~ All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. **No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.**
- ~~29.~~ All requirements must be met before a final Certificate of Occupancy is issued.
- ~~30.~~ All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
31. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
32. Please read and implement the attached Land Use Zoning report requirements.
- ~~33.~~ Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
34. Bridging shall comply with Section 2305.16.
- ~~35.~~ Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
- ~~36.~~ All flashing shall comply with Section 1406.3.10.
37. All signage shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).


 P. Samuel Hoffes, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator
 Michael Nugent, Inspection Service Manager

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD. (You Shall Call for Inspections)**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

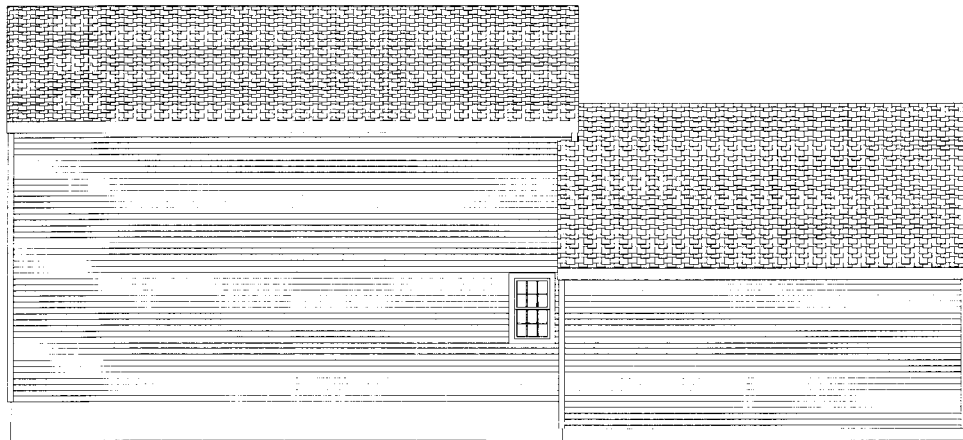
*******CERTIFICATE OF OCCUPANCY FEE \$50.00**



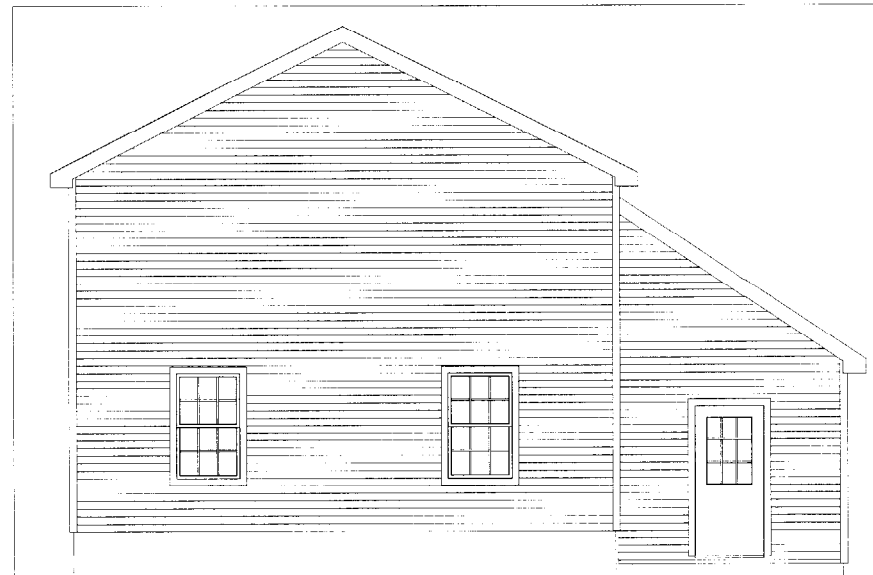
FRONT ELEVATION



LEFT ELEVATION

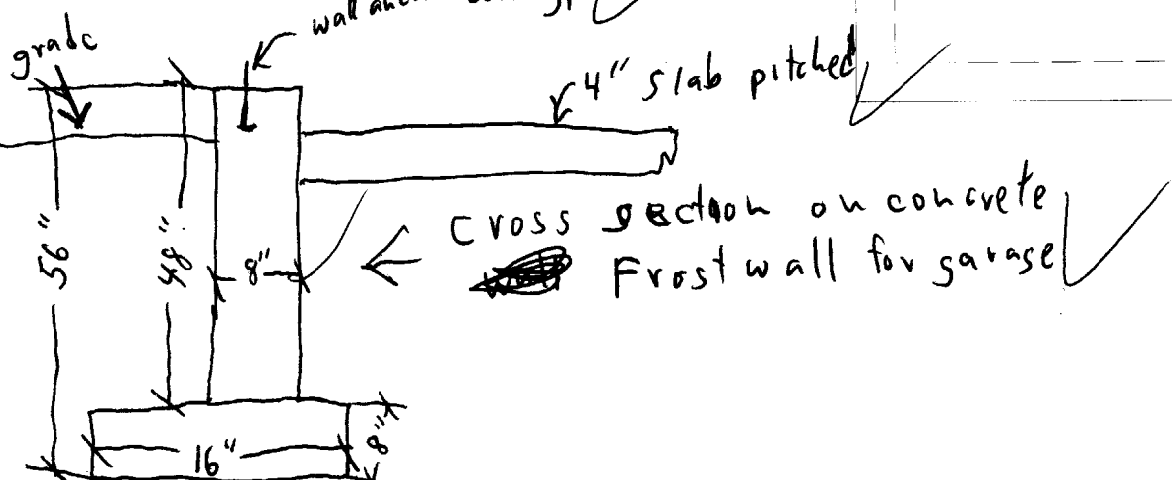
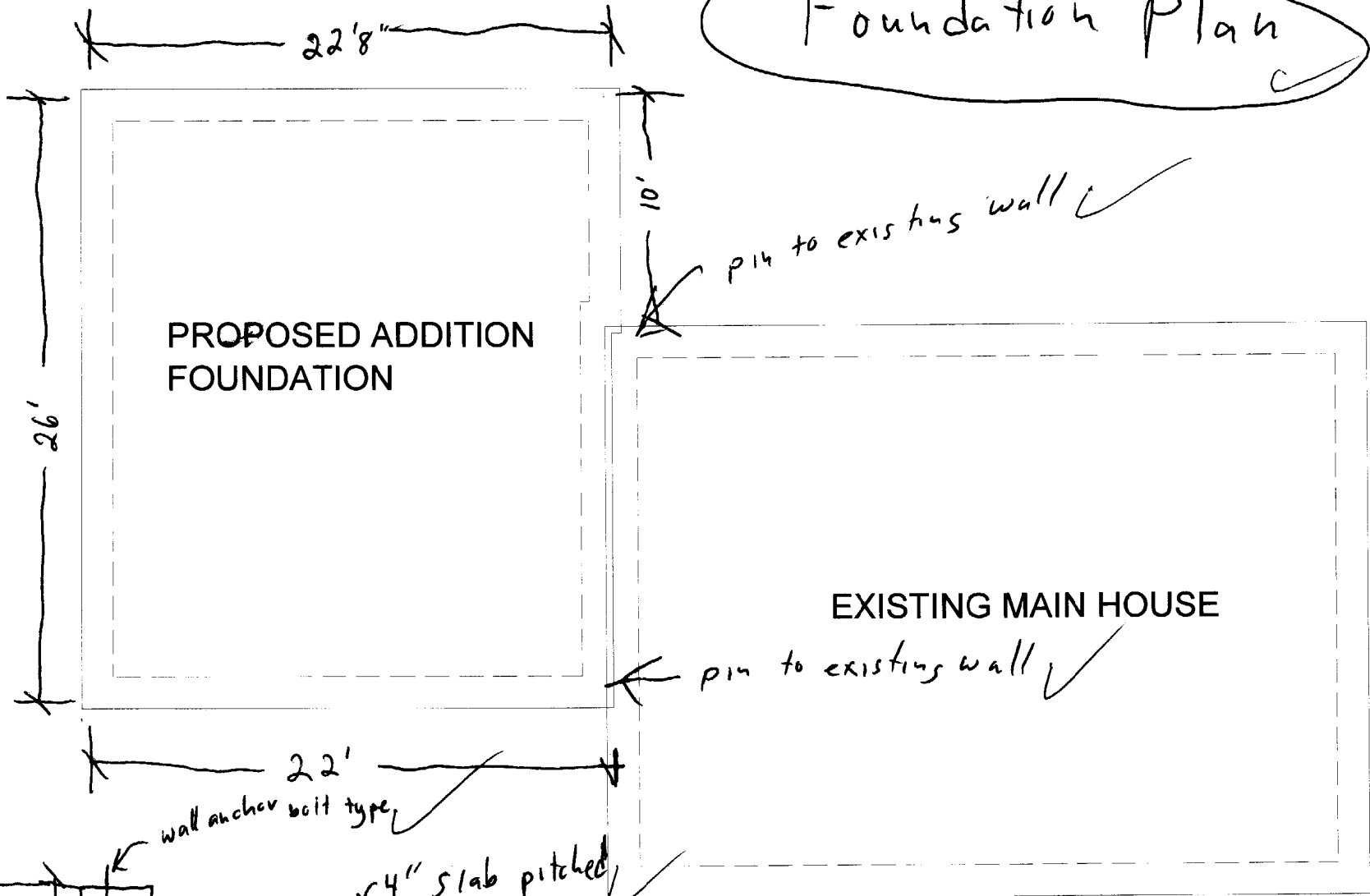


REAR ELEVATION

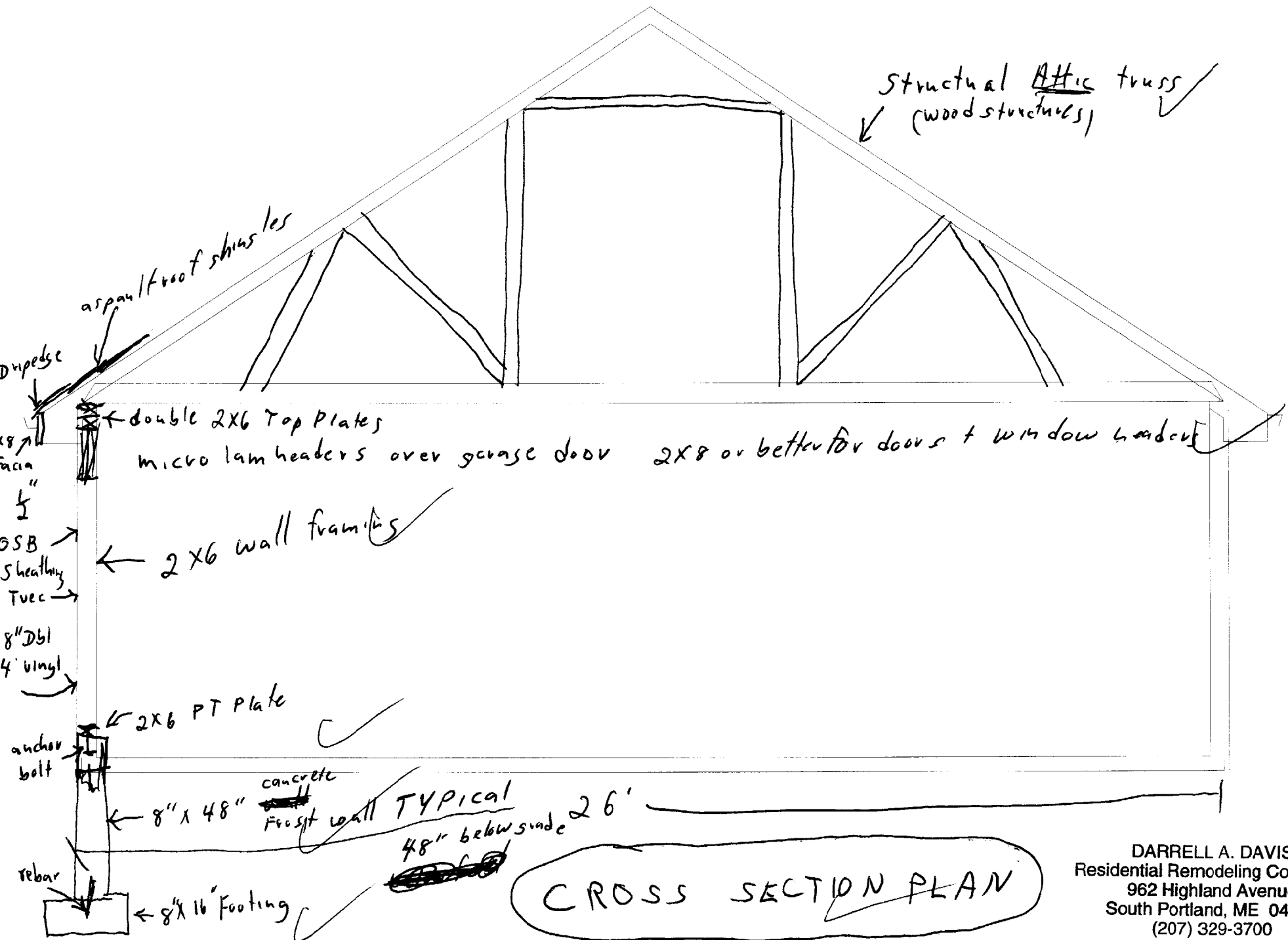


RIGHT ELEVATION

Foundation Plan



DARRELL A. DAVIS
Residential Remodeling Contractor
962 Highland Avenue
South Portland, ME 04106
(207) 329-3700



Structural Attic truss
 (wood structures)

asphalt roof shingles

Drip edge

1/2" OSB

OSB sheathing
 Tvec

8" DBI
 4' vinyl

anchor bolt

rebar

← double 2x6 Top Plates

micro lam headers over garage door 2x8 or better for doors + window headers

← 2x6 wall framing

← 2x6 PT plate

← 8" x 48" ~~concrete~~ Frost wall TYPICAL
 48" below grade

← 8" x 16" Footing

CROSS SECTION PLAN

DARRELL A. DAVIS
 Residential Remodeling Contractor
 962 Highland Avenue
 South Portland, ME 04106
 (207) 329-3700

Window & Door schedule

- Doors:
- 1 2'6" x 6'8" Thermatru 9 lite metal door
 - 1 2'8" x 6'8" Thermatru 6 panel metal door
↳ to replace existing 9 lite in gar/main house
common wall (ref fire code)
 - 1 3'0" x 6'8" Thermatru Metal door
 - 1 7' x 16' overhead door garage door
on electric closer

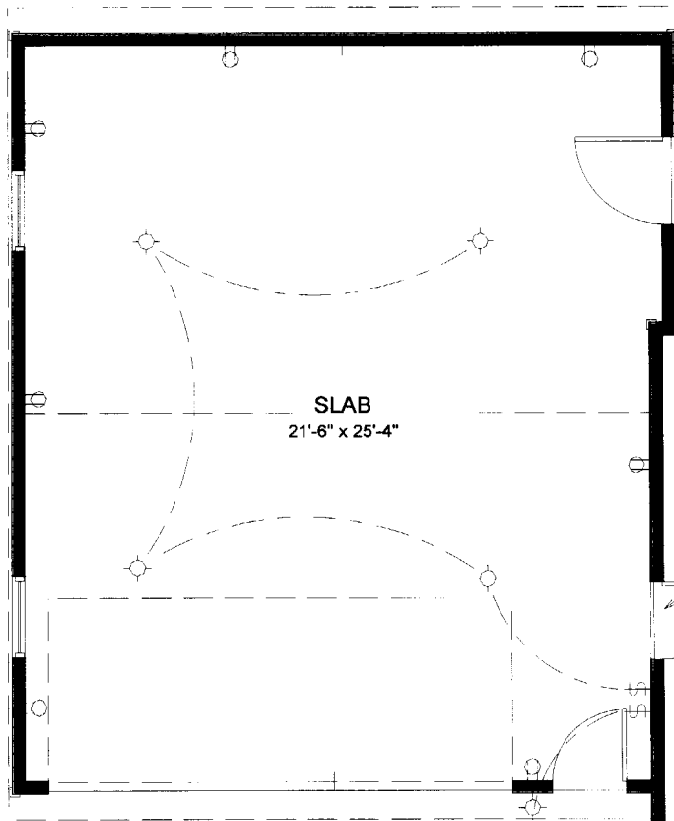
Windows

- 2 Andersen Narvoline 33 5/8" x 56"
Double hung tilt wash windows to
match existing

That's it!

DARRELL A. DAVIS
Residential Remodeling Contractor
962 Highland Avenue
South Portland, ME 04106
(207) 329-3700

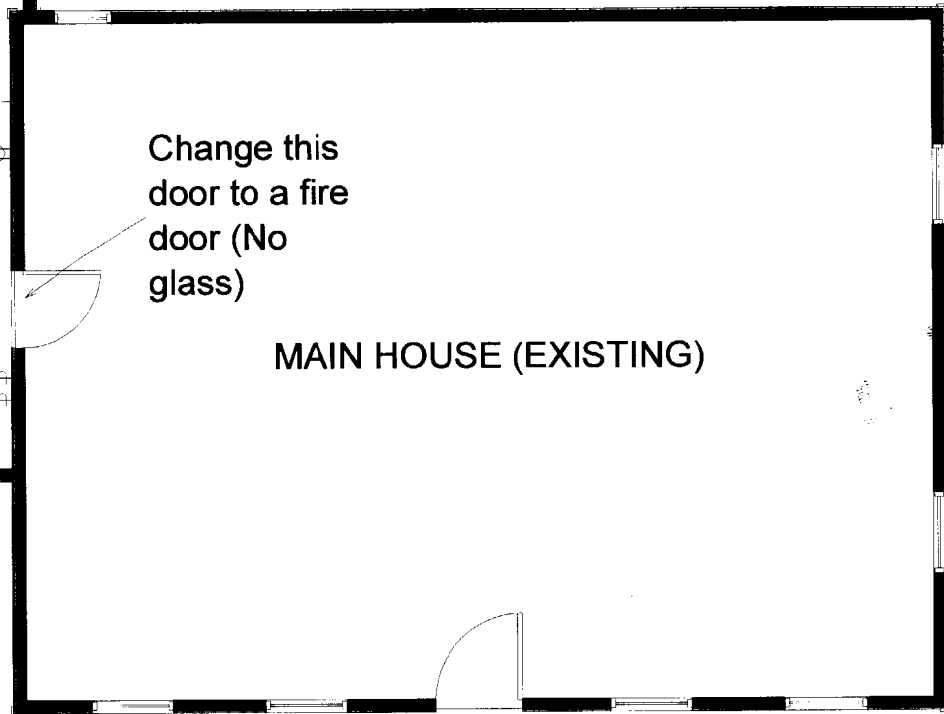
ELECTRICAL PLAN



Change this
door to a fire
door (No
glass)

MAIN HOUSE (EXISTING)

PROPOSED
ATTACHED
GARAGE
ADDITION



Phase 1 Attached Garage

Attached Garage Base Dimensions: 26' 0" L x 22' 0" W x 9' 0" H

Amount

Unit

Plans & Permits

PLANS FOR ALL REMODELING AND RENOVATION WORK

\$350.00 (Credit applied to bid)

PERMITS

Owner shall split evenly the cost of the building permit

With the contractor

1

EA

~~REMOVE EXISTING DRIVEWAY~~

cut driveway with saw and remove 12' x 20' section

1

EA

EXTERIOR WALL COVERING REMOVAL

Vinyl siding removal

320

SF

WINDOW

Remove dbl hung window save for reuse

in garage repair hole (no interior painting)

1

EA

DOOR

Remove existing 9 lite door on side of house (salvage lockset)

1

EA

~~REMOVE EXISTING~~

Relocate oil in pipes (\$200.00 Allowance)

1

EA

STAIRS

Remove garage stairs salvage for reuse if possible

1

EA

Excavation

EXCAVATE BY MACHINE

Dig Foundation with machine

1

EA

BACKFILL AND COMPACT

Backfill exterior of foundation with site materials

Rough grade any extra on lot (no finish grading or seeding)

1

EA

SAND BACKFILL AND COMPACT

(Allowance \$300.00)

Sand backfill for interior of foundation compacted

42

YD

Concrete

CONCRETE FOOTINGS, DIRECT POUR

8" x 16" continuous footings

81

LF

CONCRETE FOUNDATION WALL

Concrete wall 8" thick 48" high pined to existing foundation

81

LF

CONCRETE SLAB

4" concrete slab mesh, 3500 lb mix, sawed & sealed

572

SF

Patrick Johns

Total Price and Quantity

Page #

Floor Framing

~~3187-000~~

1/2" plywood subfloor over attic area 16' x 22' or footprint of attic truss storage area 352 SF

Wall Framing

WOOD STUDS

2" x 4" framed wall 16" OC 674 SF

2" x 6" framed wall on front wall 16" OC 198 SF

SHEATHING

1/2" OSB sheathing on walls 864 SF

~~3188-000~~

Install microlam engineered headers over 16' garage door 16 LF

Roof Framing

~~3189-000~~

Attic storage truss roof, 2 x 4 chords 24" OC 572 SF

PLYWOOD

5/8" plywood roof sheathing (As per original house drawing specs) 782 SF

Roofing, Flashing

FLASH ROOF

Flash new roof to existing gable wall 22 LF

DRIP EDGE

8' Galvanized metal drip edge 100 LF

FIBERGLASS BASE ROOF SHINGLES,
(Match existing roof as close as possible)

Believed to be Bird Sealking Nantucket 782 SF

Exterior Trim, Decks

FASCIA

1 x 6 #3 pine fascia 45 LF

RAKE TRIM

1 x 3 and 1 x 6 & Rake trim #3 pine 48 LF

VINYL SOFFIT

Vinyl soffit 12" perforated 44 LF

WRAP TRIM

Wrap trim with white coil stock 93 EA

Sidings

VINYL SIDING

8" double 4 vinyl siding (Match existing as close as possible)
Believed to be Mastic Brentwood Victorian Gray 680 SF

Windows

SALVAGE WINDOW

Patrick Johns

Total Price and Quantity

Page #

Reinstall salvaged dbl hung window	1		EA
NEW WINDOW			
Provide and install matching Andersen Narroline Dbl hung window	1		EA
Doors and Trim			
ENTRANCE DOORS, METAL			
9 lite 2-6 x 6-8 metal entrance door (front)	1		EA
ENTRANCE DOORS, METAL (rear)			
9 lite 3-0 x 6-8 metal entrance door	1		EA
ENTRANCE DOOR METAL			
Replace side entrance door inside of garage with new metal 6 panel door to comply with local fire code (reuse lockset)			
GARAGE DOOR, METAL			
Overhead Door 190 Series R12.7 insulated raised panel garage door, 1/2 HP Legacy Overhead Door Closer, 2 radio controllers (no glass)			
16-0 x 7-0 metal garage door (no glass)			
FRAME TRIM OPENING WITH 45 DEGREE CORNERS	1		EA
Plumbing			
HOSE BIB			
Re-locate existing hose bib	1		EA
Electrical			
ELECTRICAL			
Code electrical job (Allowance 400.00)	1		EA
Interior Walls			
GYP SUM DRYWALL			
5/8" Firecode drywall on common wall only			
3 coats of drywall compound	242		SF
Millwork, Trim			
WOOD STAIRWAY			
Standard grade Backway Exter folding stairway	1		EA
Clean-up			
GENERAL CLEAN-UP			
General daily cleanup	1		EA
ON SITE DUMPSTER			
Provide dumpster (Allowance \$200.00)	1		EA

Grand Total: \$15000.00

75'

109'

131'3"

R-3

REAR: 25' req - 59' shown
Side: 8' req - 8'6" shown
FRONT: 25' req (at closest point) - 26'8" shown

old

REAR SET BACK

59'7"

PLOT PLAN

69'7"

22'

43'

8'6"

26'

PROPOSED ATTACHED GARAGE ADDITION
21'-0" x 28'-4"

Change this door to a fire door (No glass)

MAIN HOUSE (EXISTING)

12'6"

8'6"

SIDE LINE SET BACK (GARAGE IS PARALLEL TO SIDE LINE)

FRONT LINE SETBACK
26'8"

75'

41'10"

existing driveway

29'

Plan Book 193
page 207
LOT 17
Map 171

Residence of:
patrick & Heidi Johns
20 Felicia Lane
Portland, Maine 04103

agent:
DARRELL A. DAVIS
Residential Remodeling Contractor
962 Highland Avenue
South Portland, ME 04106
(207) 329-3700