

170 F001001

901-901 Washington Ave

Parking lot expansion

J. B. Brown & Sons



NEW BUILDING at
WASHINGTON PARK

901 WASHINGTON AVENUE, PORTLAND, MAINE

CITY OF PORTLAND
 PLANNING BOARD SUBMISSION
 MAY 5, 2000

OWNER:

J. B. BROWN & SONS
 482 CONGRESS STREET
 P.O. BOX 207
 PORTLAND, MAINE 04112
 (207)-774-5908

ARCHITECT:

HKTA / architects

HKTA / architects, inc.
 4 Milk Street
 Portland, Maine 04101
 207 774-6016 Fax: 774-9128

CIVIL ENGINEER:

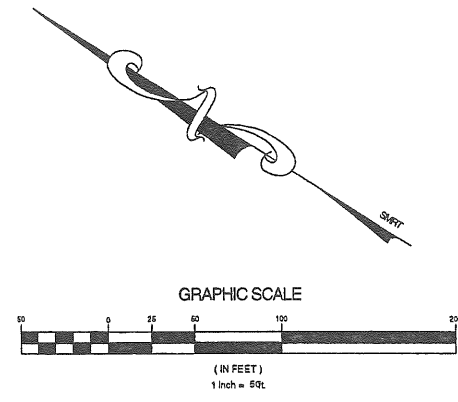
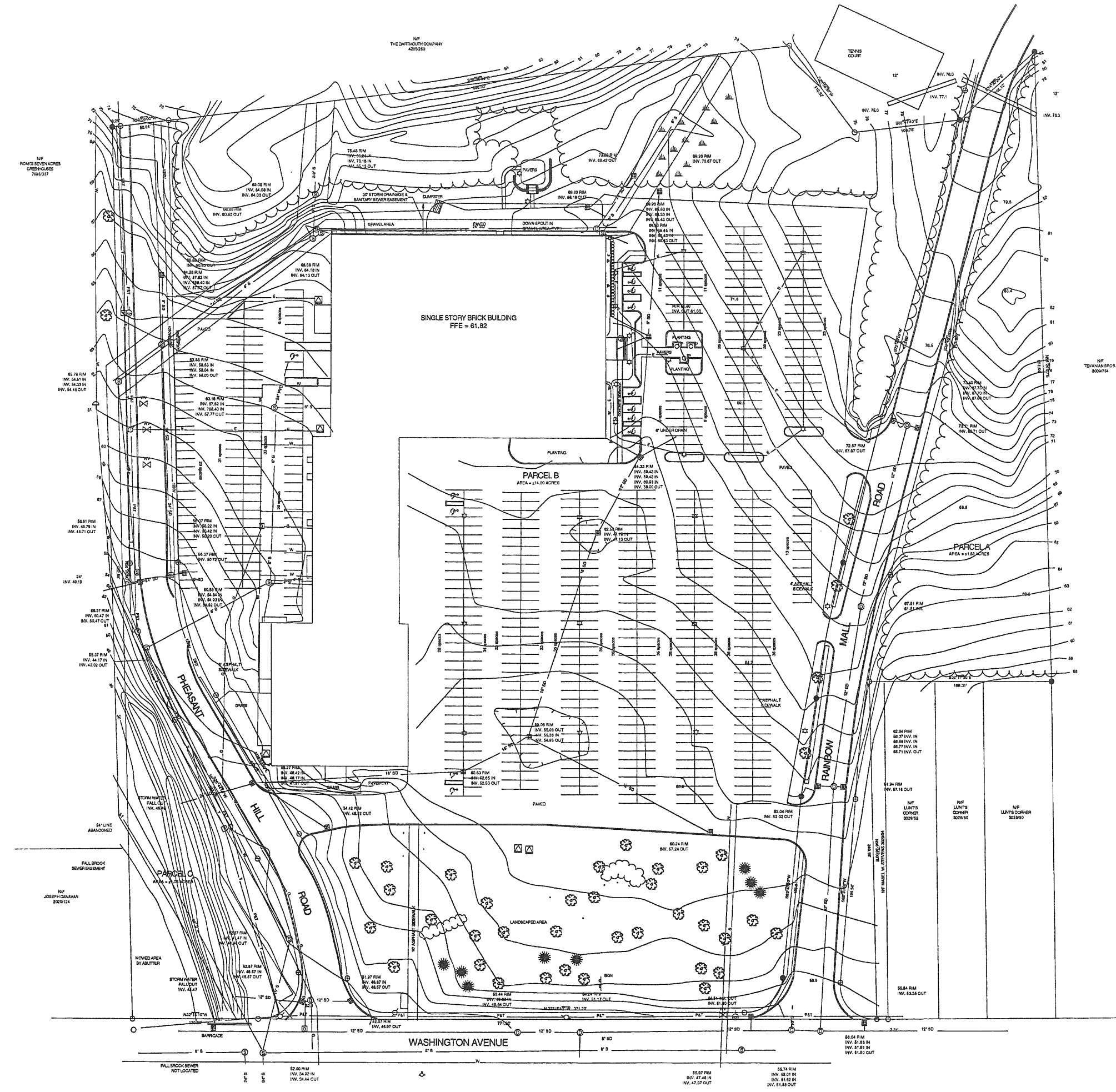
DeLuca Hoffman Associates

DeLuca Hoffman Associates.

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 207-775-1121 Fax: 207-775-4383

DRAWING LIST:

- TITLE SHEET
- SURVEY DRAWING DATED 1987
 UPDATED SURVEY DRAWING
- L1.1 SITE PLAN SCALE 1"=50'
- L1.2 LAYOUT AND GRADING PLAN 1"=20'
- L1.3 SITE DETAILS
- L1.4 PLANTING PLAN 1"=20'
- L2.1 SANITARY SEWER and WATER PROFILE
- L2.2 SITE UTILITY and SIGNAGE DETAILS
- A1.1 BUILDING FLOOR PLAN
- A2.1 BUILDING ELEVATIONS



LEGEND

- 8" REBAR WITH ALUMINUM CAP MARKED "SMRT RLS 1303"
- FOUND REBAR OR IRON ROD
- FOUND IRON PIPE (SIZE AS NOTED)
- ANGLE POINT, NOTHING FOUND OR SET
- LIGHT POLE
- CATCH BASIN
- HYDRANT
- SANITARY SEWER MANHOLE
- WATER VALVE
- TELEPHONE BOX
- GAS VALVE BOX
- SPOT ELEVATION
- DECIDUOUS TREE
- CONIFEROUS TREE
- MARSH OR SWAMP
- UTILITY POLE
- UTILITY POLE WITH GUY ANCHOR
- BOUNDARY LINE
- ABUTTER LINE
- TREE LINE
- CENTERLINE BROOK OR STREAM
- INDEX CONTOURS
- INTERMEDIATE CONTOURS
- PARK BENCH
- ELECTRIC TRANSFORMER BOX
- GAS LINE
- ELECTRIC LINE
- SEWER LINE
- STORM DRAIN
- WATER LINE WITH WITNESS POST
- DRAIN MANHOLE
- EXISTING CULVERT
- TELEPHONE LINE
- WATER LINE
- 12KV ELECTRICAL LINE
- FLAG POLE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD DIST
C1	87.89	35.00	84°48'02"	28.04	S15°28'09"W	81.81
C2	48.71	45.00	84°11'07"	30.56	S7°16'11"E	63.58
C3	80.70	252.48	13°14'54"	30.48	S78°17'54"W	80.58
C4	149.11	1171.67	7°00'08"	71.68	S89°10'04"W	143.03
C5	238.27	1321.87	12°00'13"	117.52	S88°50'00"W	234.54
C6	69.34	40.00	83°33'37"	25.34	S02°21'45"W	63.38
C7	158.58	389.77	24°34'50"	80.52	N29°21'58"E	157.31
C8	144.44	278.22	29°54'44"	73.89	S41°12'12"W	142.82
C9	170.28	328.22	29°44'52"	87.18	S41°12'12"W	168.88
C10	152.74	318.77	22°31'54"	83.10	S38°30'11"E	174.84
C11	72.18	42.00	88°28'04"	48.72	S81°29'12"E	69.82

NOTE

THIS PLAN WAS DEVELOPED BY TRACING A SCANNED IMAGE OF THE ORIGINAL HAND-DRAFTED STANDARD BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY BY STEVEN MORTON, ROSE & THOMPSON DATED DECEMBER 16, 1987, 208 WEST. ADDITIONAL IMPROVEMENTS AT THE SOUTH-EAST CORNER OF THE BUILDING AND PARKING STRIP WERE MADE BY LEWIS & MAINA INC. USING A COMPARISON OF FIELD AND EXISTING PLAN INFORMATION. ANTICIPATED USE OF THIS PLAN FOR GRAPHICAL REPRESENTATION ONLY FOR CITY APPROVAL PROCESS. DUE TO SCANNING AND PRESENT ERRORS IN TRACING SCANNED IMAGES, CARE SHOULD BE TAKEN IF THIS PLAN IS USED FOR DETAILED DESIGN AND CONSTRUCTION PURPOSES.

GENERAL NOTES:

- PROPERTY SURVEY: SEE SURVEY SHEET
- PROPOSED NEW UTILITIES TO BE LOCATED IN THE SAME TRENCH AS UTILITIES ABANDONED AS PART OF PRIOR BUILDING DEMOLITION AT THIS SITE.
- EXISTING EXTERIOR LIGHTING IS ADEQUATE FOR THE PROPOSED DEVELOPMENT. BUILDING MOUNTED LIGHTING TO OCCUR AT POINTS OF BUILDING INGRESS/EGRESS.
- PROPOSED BUILDING TO BE PROVIDED WITH WET SPRINKLER SYSTEM. FIRE DEPARTMENT CONNECTION TO BE PROVIDED.
- LOADING FOR PROPOSED BUILDING TO BE THROUGH ENTRY DOORS OF BUILDING TENANT(S).
- FOR COMPLETE INFORMATION REGARDING EXISTING SITE CONDITIONS SEE SITE SURVEY SHEET.
- NEW UTILITIES FOR PROPOSED OFFICE BUILDING TO INCLUDE:
4" SPRINKLER SERVICE
2" DOMESTIC WATER SERVICE
SEWER CONNECTION TO EXISTING 4" CAST IRON ELECTRICAL SERVICE ON SITE
- REFER TO DRAWING L1.2 FOR LAYOUT, GRADING AND UTILITIES
- NEW DUMPSTER LOCATION SHOWN TO BE SCREENED WITH ENCLOSURE AND GATE. SEE ENCLOSURE DETAIL.
- ALL NEW PLANTING BEDS TO BE EXCAVATED TO A MIN. OF 4". REPLACE SOIL WITH CLEAN TOPSOIL ACCORDING TO SPECIFICATION.
- CONTRACTOR RESPONSIBLE FOR REMOVAL, STORAGE AND RELOCATION OF LIGHT FIXTURES, PER OWNERS INSTRUCTION.

EXISTING SITE INFORMATION:

AREA OF SITE:

PARCEL A	73,188 +/- SF
PARCEL B	631,620 +/- SF
PARCEL C	47,044 +/- SF
TOTAL	751,844 +/- SF 17.26 +/- AC

- EXISTING DEVELOPMENT SEE STORM WATER MANAGEMENT REPORT
 EXISTING GREEN SPACE SEE STORM WATER MANAGEMENT REPORT
 REVISED SITE DEVELOPMENT SEE STORM WATER MANAGEMENT REPORT
 REVISED GREEN SPACE SEE STORM WATER MANAGEMENT REPORT

SOIL TYPES:

- SCANTIC SILT LOAM
 HOLLIS FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES

PARKING REQUIREMENTS:

EXISTING OCCUPANCIES:

MBNA	30,000 SF @ 1/400	= 75
COMMUNITY HEALTH AND OVER COLLEGE	22,500 SF @ 1/400	= 56
CLASSROOM	19,820 SF @ 1/100	= 196
ADMINISTRATION	34,880 SF @ 1/400	= 87

NEW CONSTRUCTION:

NEW BUILDING	27,600 GSF @ 1/400	= 69
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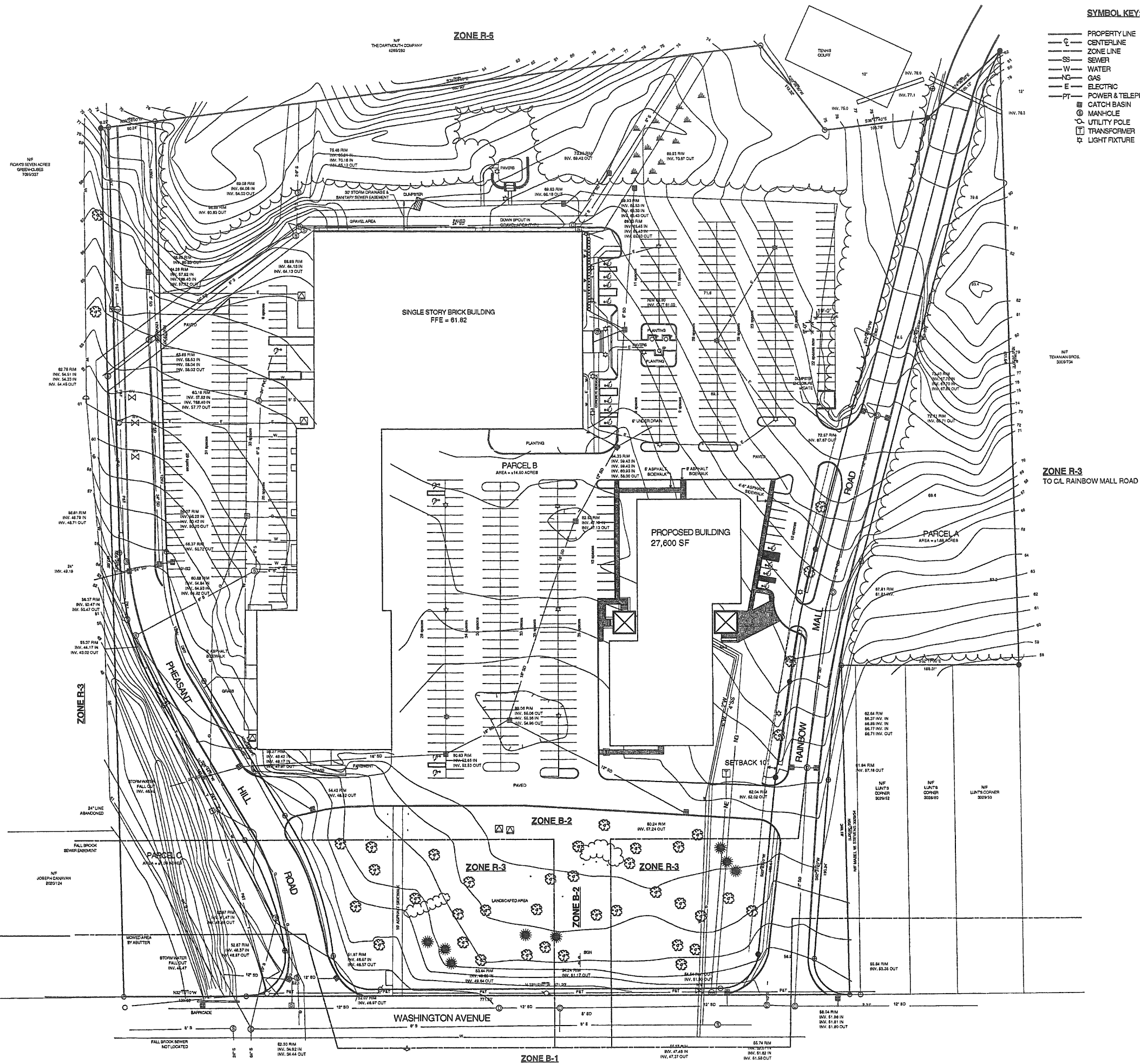
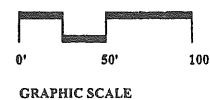
- TOTAL PARKING REQUIRED = 483
 TOTAL PARKING ADDED (UPPER LOT) = 22
 TOTAL EXISTING LOTS AFTER CONSTRUCTION = 500
 TOTAL AFTER CONSTRUCTION = 522
 TOTAL EXCESS PARKING AFTER CONSTRUCTION = 39

ZONING:

- SITE ZONE B-2
 ABUTTING ZONES R-3, R-5, B-1



1
L1.1 **SITE PLAN**
 SCALE 1" = 50'



SYMBOL KEY:

- PROPERTY LINE
- CENTERLINE
- ZONE LINE
- SS SEWER
- W WATER
- NG GAS
- E ELECTRIC
- PT POWER & TELEPHONE
- ⊠ CATCH BASIN
- ⊙ MANHOLE
- UTILITY POLE
- ⊞ TRANSFORMER
- ⊛ LIGHT FIXTURE

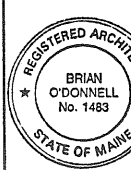
DRAWING NO.
A-4
L1.1
 SITE PLAN

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DATE: 05/05/2000
 REVISIONS:
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WASHINGTON PARK
NEW BUILDING
J. B. Brown & Sons
 Portland, Maine



GENERAL NOTES:

- SEE DRWG FOR BLDG LOCATION, UTILITIES AND GENERAL NOTES.
- ALL PLANTS SHALL MEET OR EXCEED AMERICAN NURSEYMEN'S ASSOCIATION STANDARDS, CURRENT EDITION.
- LIGHTING FOR PROPOSED BUILDING SHALL BE BUILDING MOUNTED, 70 HPS AT EMERGENCY EGRESS. LIGHTS SHALL MEET IES STANDARDS.
- ALL SURFACES NOT OTHERWISE BUILT UPON OR LANDSCAPED SHALL RECEIVE 6" LOAM AND SEEDED IN LAWN.
- PLACE EROSION CONTROL DEVICES AROUND EXISTING CB WITHIN DISTURBED AREAS. SEE DT L DRWG.
- DO NOT SCALE. DRAWING DIMENSIONS CONTROL.

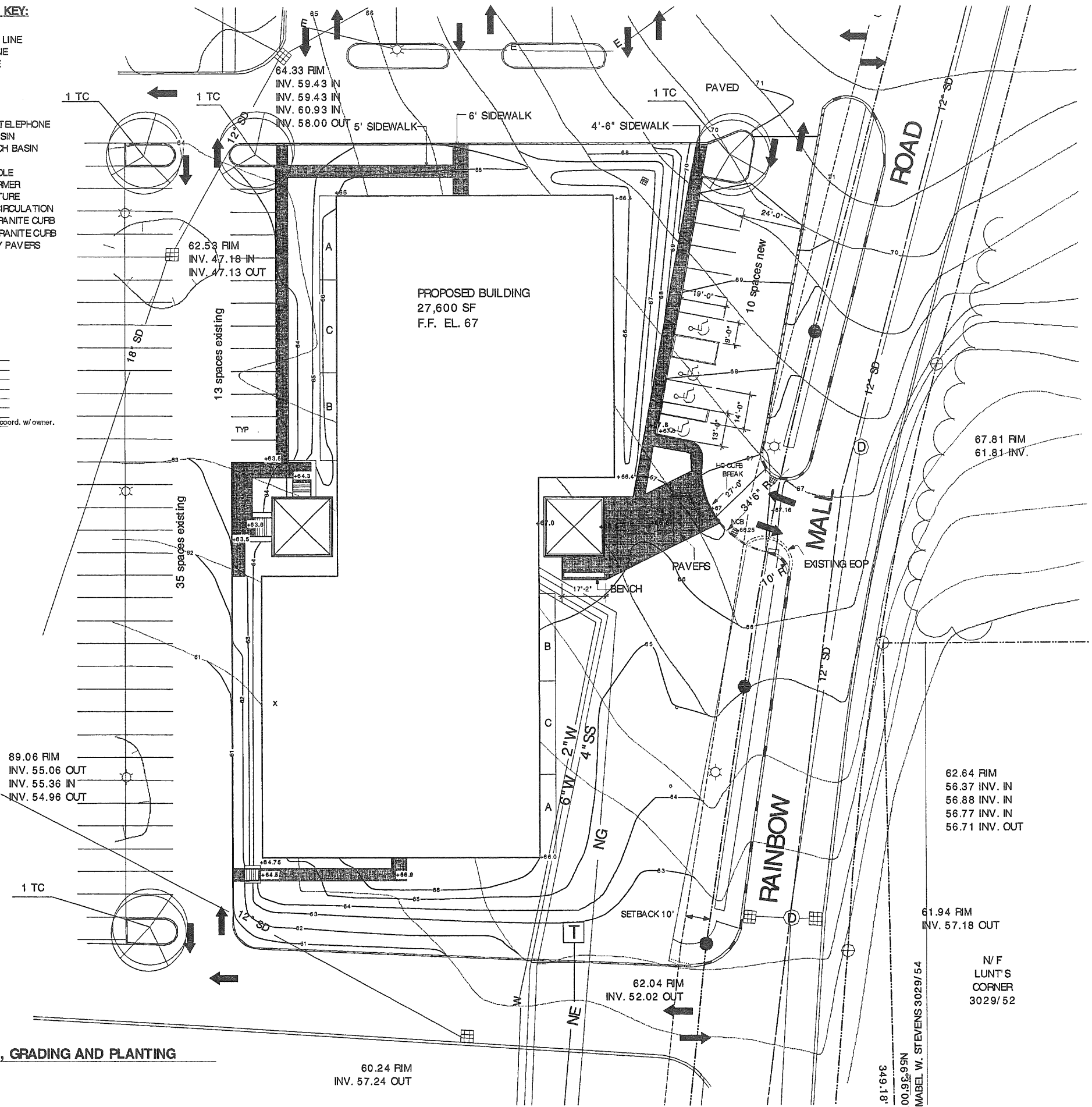
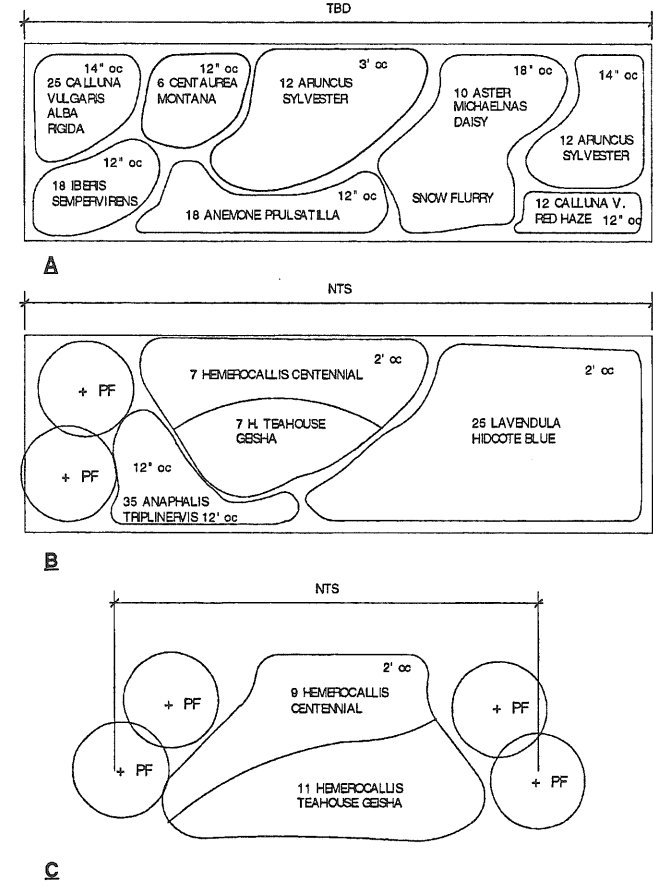
SYMBOL KEY:

- PROPERTY LINE
- CENTERLINE
- ZONE LINE
- SS SEWER
- W WATER
- NG GAS
- E ELECTRIC
- PT POWER & TELEPHONE
- CB CATCH BASIN
- NCB NEW CATCH BASIN
- MANHOLE
- UTILITY POLE
- TRANSFORMER
- LIGHT FIXTURE
- VEHICLE CIRCULATION
- 90 DEG GRANITE CURB
- SLOPED GRANITE CURB
- WALKWAY PAVERS

PLANT LIST:

NO.	KEY	BOT. NAME	COMMON NAME	SIZE	ROOT	NOTES:
4	FP	Fraxinus Lanceolata	Marshall seedless ash	2.5-3' cal	B & B	-
2	BP	Betula Papyrifera	Paper birch	2-2.5' cal	B & B	3 stem clumps
5	MB	Malus Baccata	Siberian crab	2' cal	B & B	Select
4	PC	Pinus Cembra	Swiss stone pine	8-10' Hgt	B & B	Specimen
38	TC	Tilia cordata	Little leaf linden	2.5-3' cal	B & B	Select
25	EA	Eucrymus Alatus Compacta	Dwarf burning bush	2.5-3' ht	B & B	-
126	JS	Juniperus Sabina Arcadia	Arcadia tam juniper	18-24" spaced	B & B	Plant 6" o.c.
440	-	Perennials varies	Mixio perennial	3 year	cont. or division	Established plants coord. w/ owner.
20	-	Pteris floribunda	Mt. Andromeda	15-18"	B & B	-

PERENNIAL PLANTING

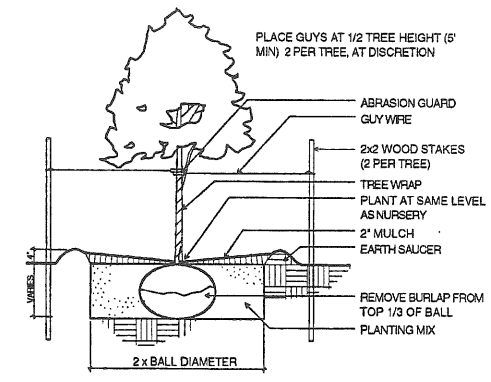


1 SITE PLAN LAYOUT, GRADING AND PLANTING
L2.1 SCALE 1" = 20'

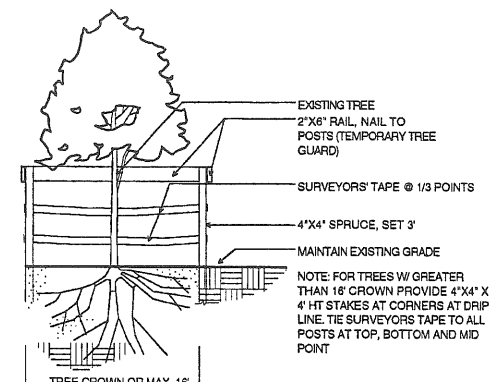
DATE: REVISIONS:
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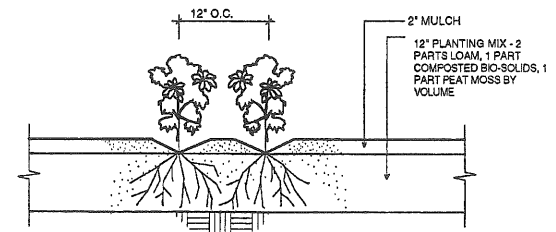
REGISTERED ARCHITECT
BRIAN O'DONNELL
No. 1483
STATE OF MAINE



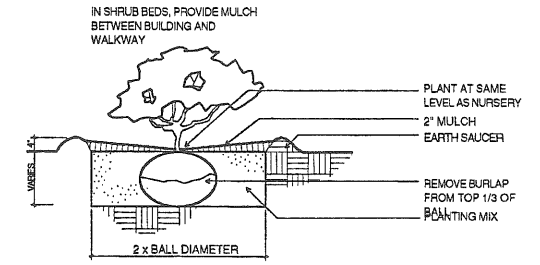
1 DETAIL - DECIDUOUS TREE PLANTING
 L1.3 SCALE: 1/2" = 1'-0"



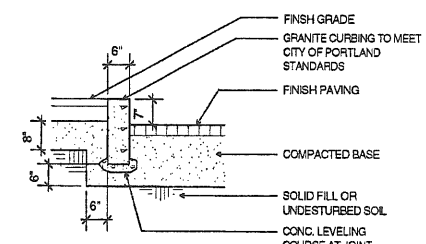
2 DETAIL - TREE PROTECTION BARRIER
 L1.3 SCALE: 1/2" = 1'-0"



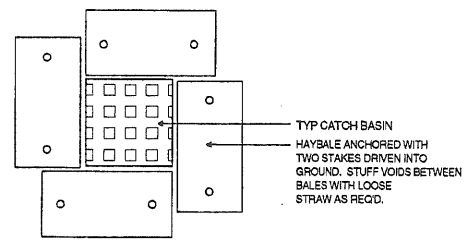
3 DETAIL - PERENNIAL PLANTING
 L1.3 SCALE: 1" = 1'-0"



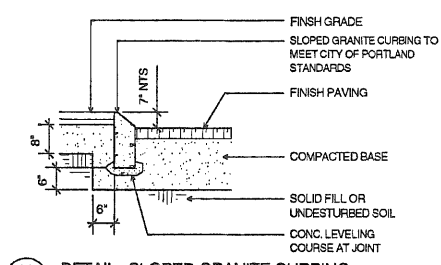
4 DETAIL - SHRUB PLANTING
 L1.3 SCALE: 1/2" = 1'-0"



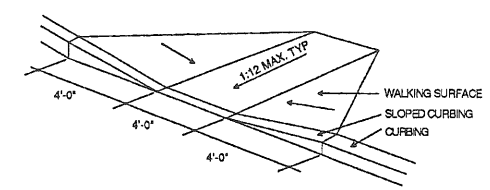
5 DETAIL - VERTICAL GRANITE CURBING
 L1.3 SCALE: 1/2" = 1'-0"



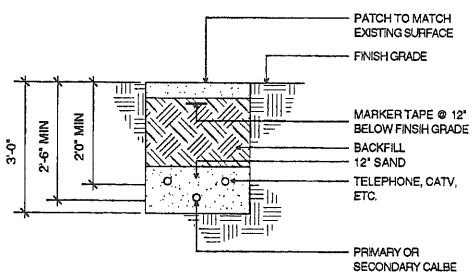
9 PLAN - SEDIMENT CONTROL STRUCTURE
 L1.3 SCALE: 1/2" = 1'-0"



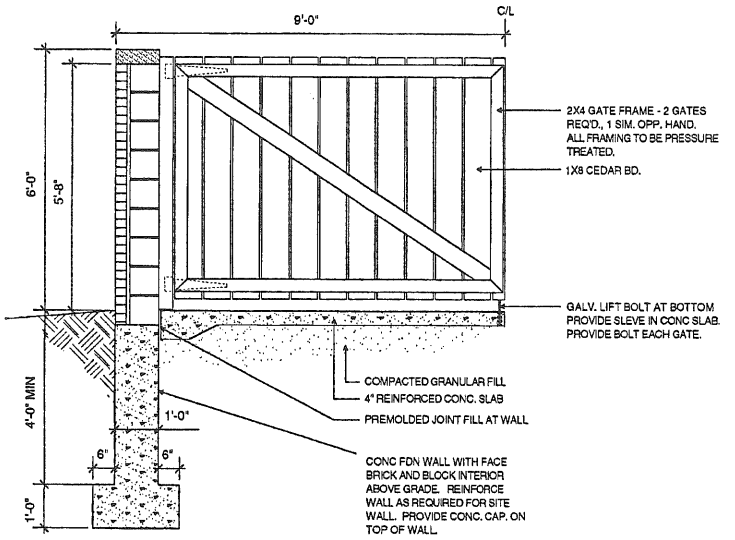
12 DETAIL - SLOPED GRANITE CURBING
 L1.3 SCALE: 1/2" = 1'-0"



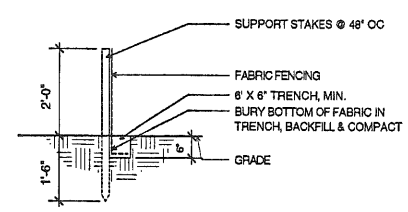
6 DETAIL - HANDICAP RAMP
 L1.3 SCALE: NTS



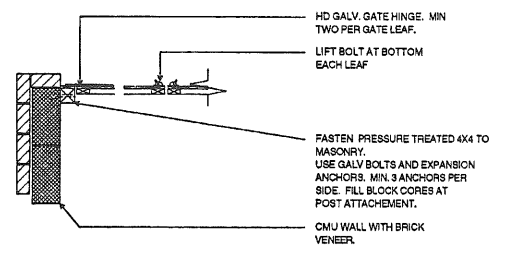
7 DETAIL - ELEC. TRENCH
 L1.3 SCALE: 1/2" = 1'-0"
 NOTE: PROVIDE CONDUIT UNDER ALL WALKS, ROADS, AND PARKING AREAS.



10 DETAIL - ENCLOSURE GATE
 L1.3 SCALE: 1/2" = 1'-0"



8 SECTION - SEDIMENT CONTROL FENCE
 L1.3 SCALE: 1/2" = 1'-0"



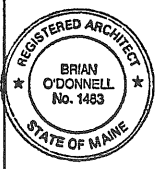
11 DETAIL - HINGE SUPPORT
 L1.3 SCALE: 1/2" = 1'-0"

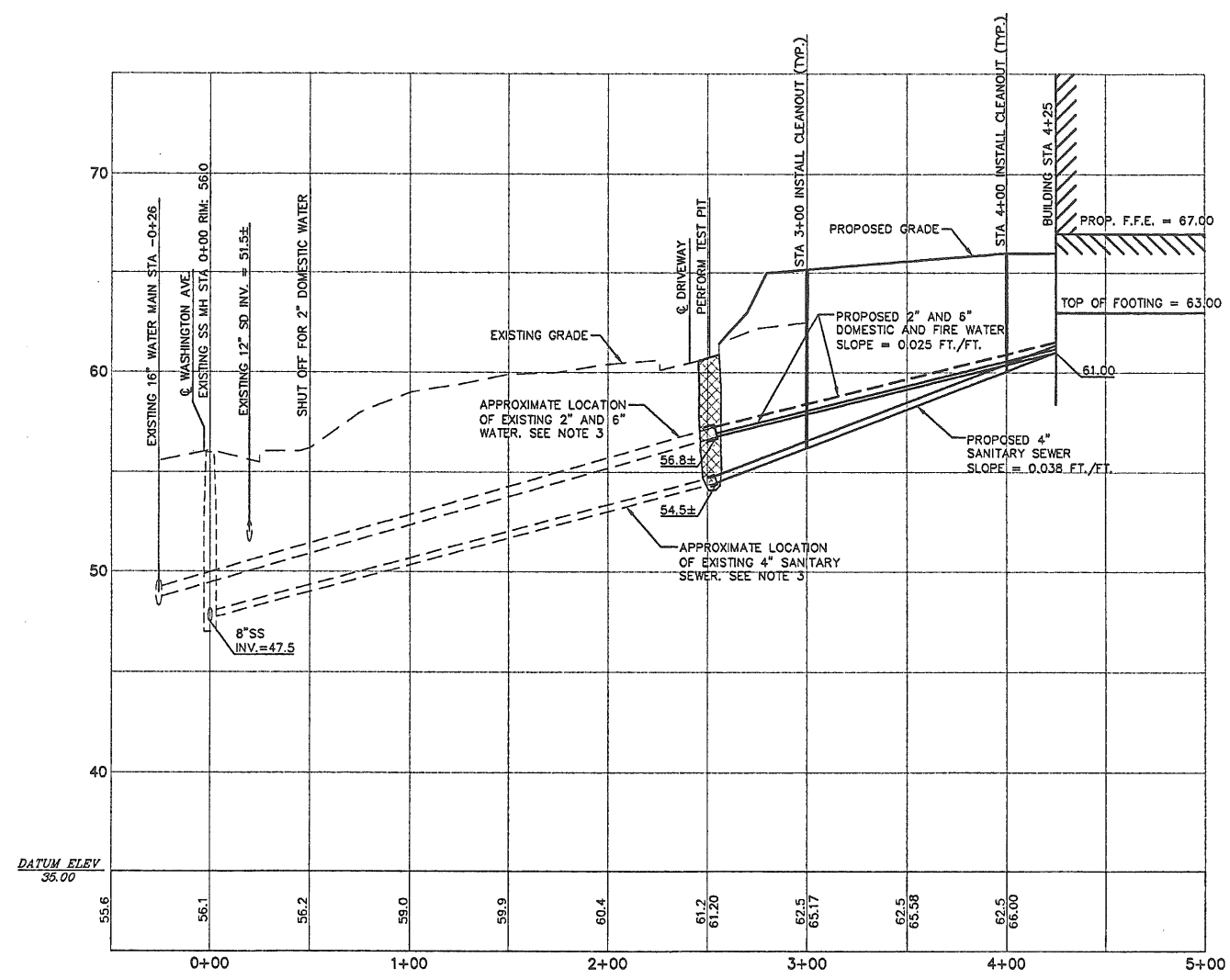
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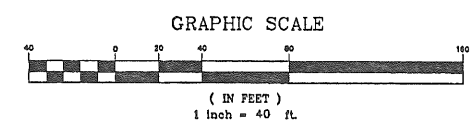


SANITARY SEWER AND WATER PROFILE

HORIZ. SCALE: 1"=40'
 VERT. SCALE: 1"=4'

NOTES:

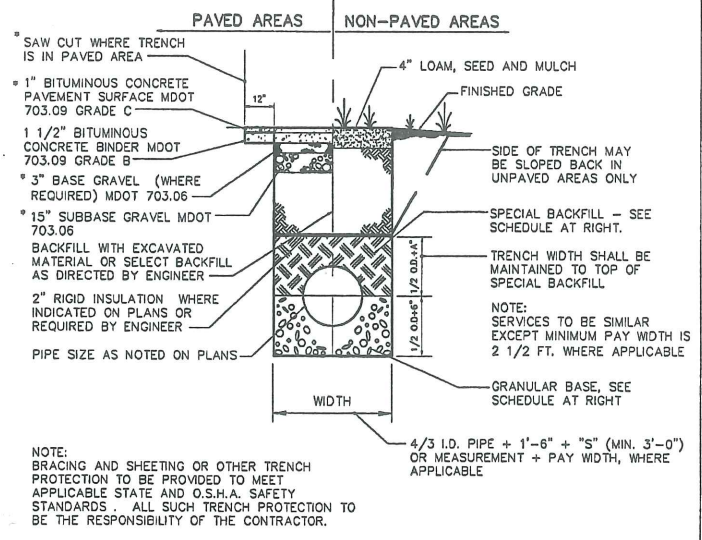
1. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
3. THE EXACT LOCATION AND ELEVATION OF THE EXISTING SANITARY SEWER, DOMESTIC WATER AND SPRINKLER WATER ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. LOCATION OF TEST PIT SHOWN ON PROFILE TO BE VERIFIED.
4. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF BUILDING UTILITY ENTRANCE POINTS.
5. CLEANOUTS TO BE INSTALLED AT CHANGES IN DIRECTION AND EVERY 100 LF ALONG LENGTH OF PROPOSED SANITARY SEWER AS SHOWN ON PLANS.



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 DHAI@MAINE.RR.COM

PROFESSIONAL ENGINEER
 MICHAEL J. DELUCA
 3648

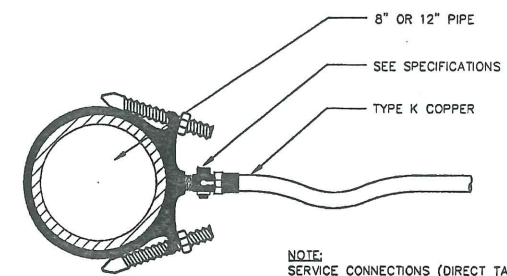
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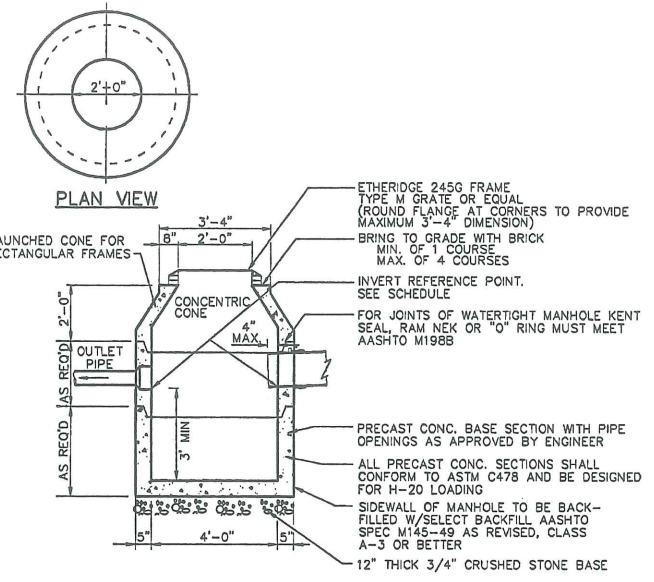
SCHEDULE OF BASE BACKFILL

TYPE OF PIPE	BEDDING MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (IN)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12	GRANULAR AASHTO M145-49 A-3 OR BETTER
PVC	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6	GRANULAR AASHTO M145-49 A-3 OR BETTER
CMP	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6	GRANULAR AASHTO M145-49 A-3 OR BETTER

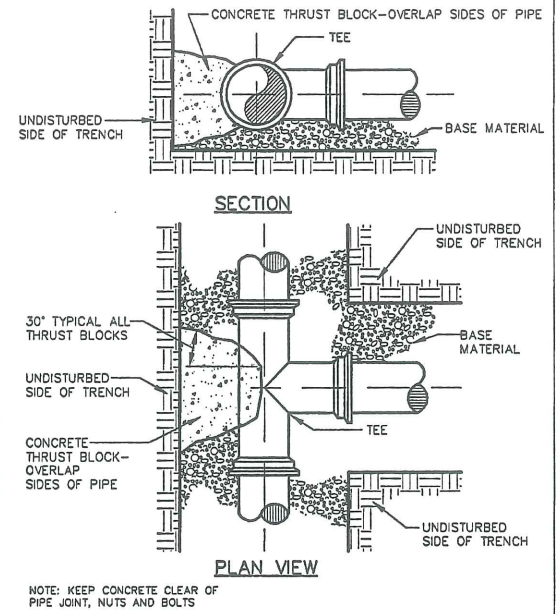
TYPICAL SEWER AND STORM DRAIN TRENCH SECTION
N.T.S.



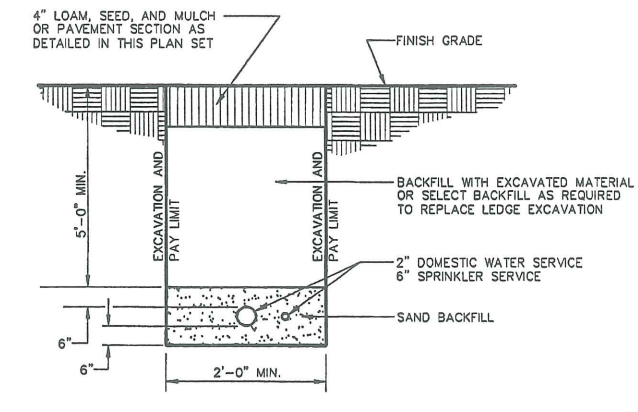
(1 1/2" AND 2 1/2" C.C. OR IRON PIPE THREAD)
SERVICE SADDLE
N.T.S.



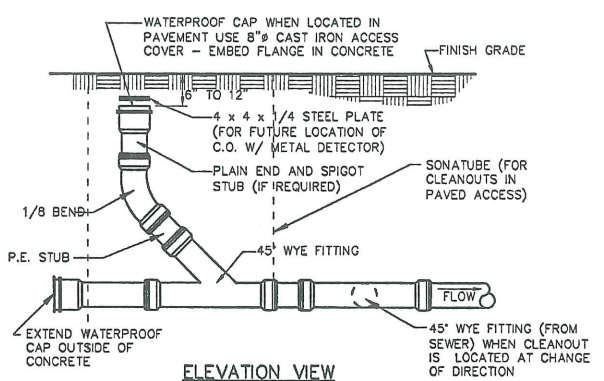
4'-0" PRECAST CATCH BASIN
N.T.S.



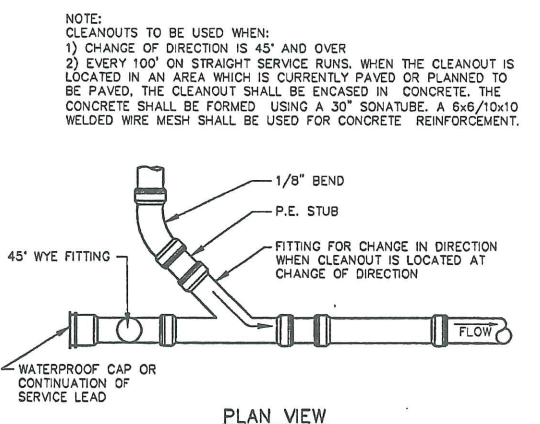
TYPICAL THRUST BLOCK PLACEMENT ON TEES
N.T.S.



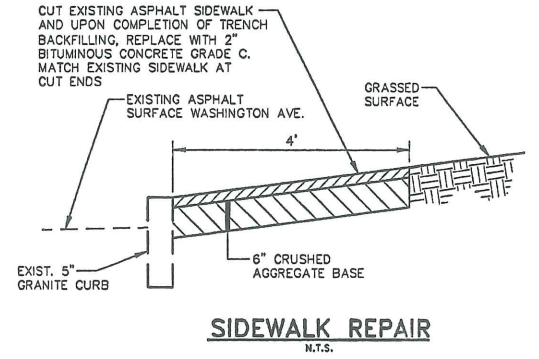
WATER SERVICES TRENCH SECTION
N.T.S.



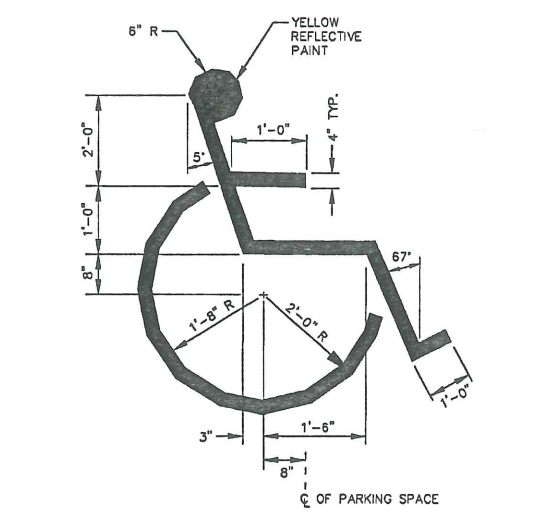
CLEANOUT DETAIL
N.T.S.



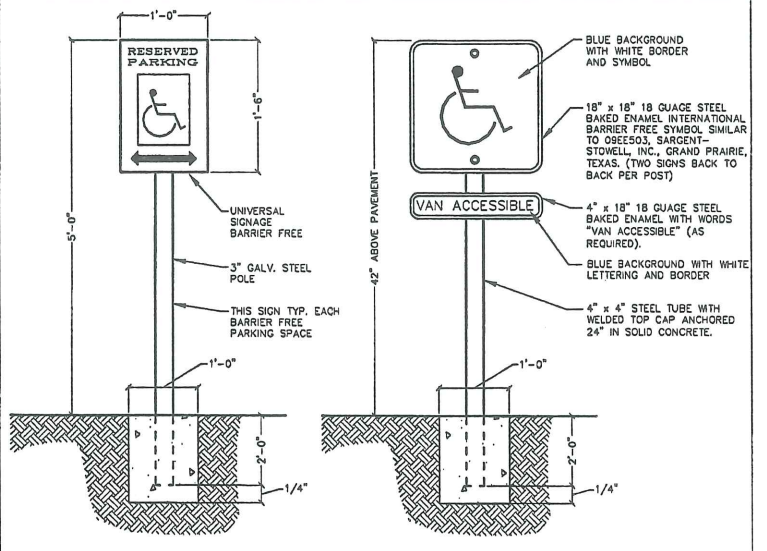
CLEANOUT DETAIL BELOW WYE FITTING OF CLEANOUT
N.T.S.



SIDEWALK REPAIR
N.T.S.



INTERNATIONAL BARRIER FREE SYMBOL
N.T.S.



BARRIER FREE PARKING SIGNS
N.T.S.

STATE OF MAINE
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REGISTERED PROFESSIONAL ENGINEER

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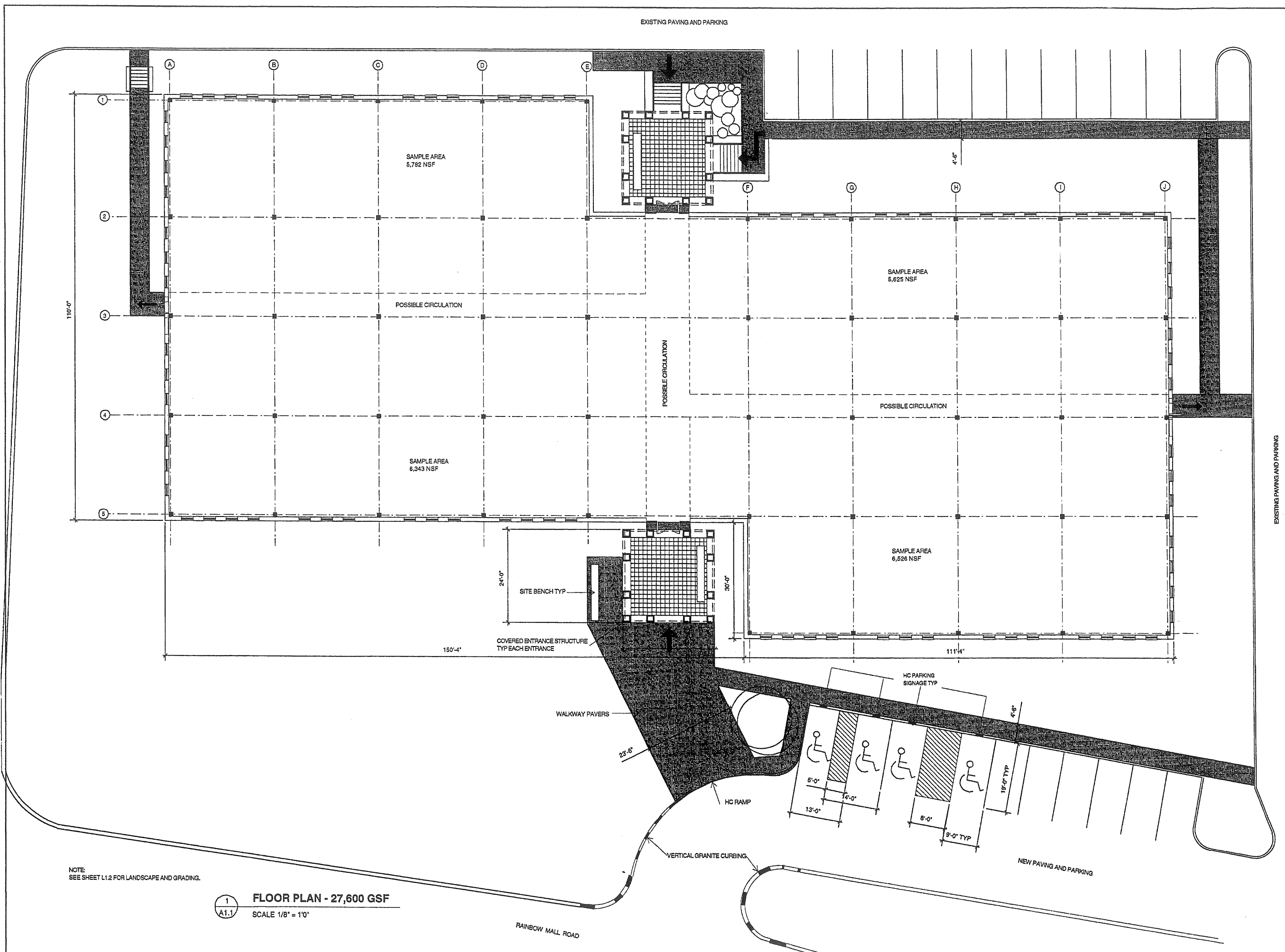
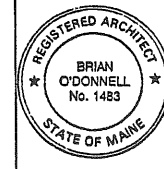
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NOTE:
 SEE SHEET L1.2 FOR LANDSCAPE AND GRADING.

FLOOR PLAN - 27,600 GSF
 SCALE 1/8" = 1'0"

RAINBOW MALL ROAD

EXISTING PAVING AND PARKING

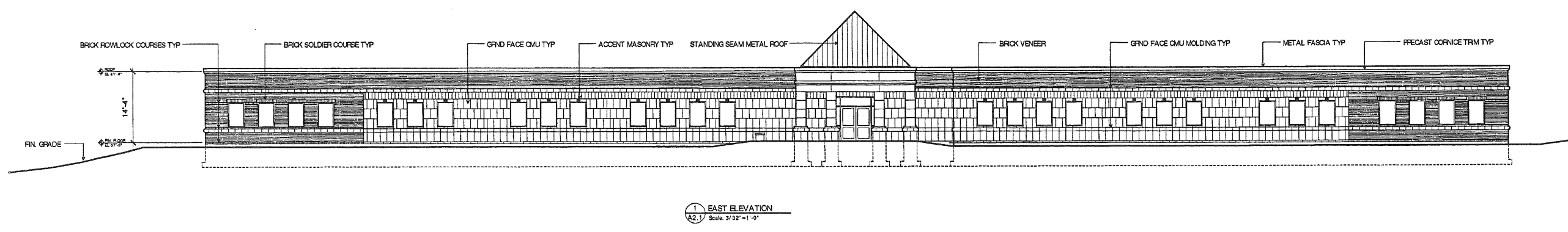
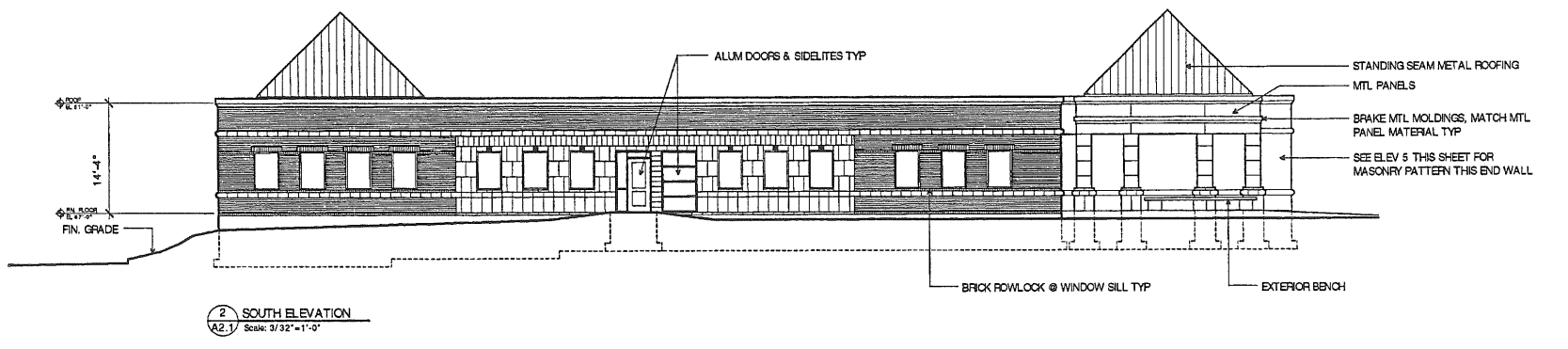
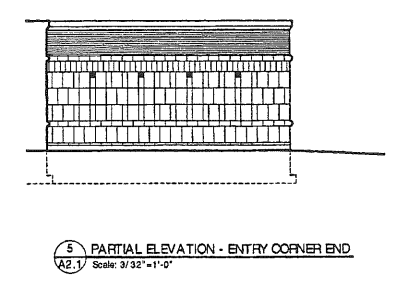
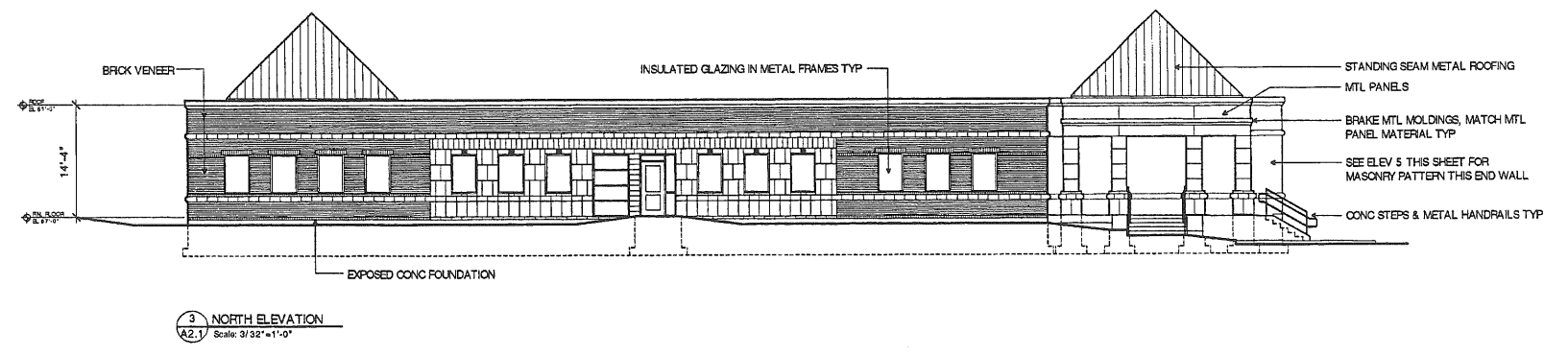
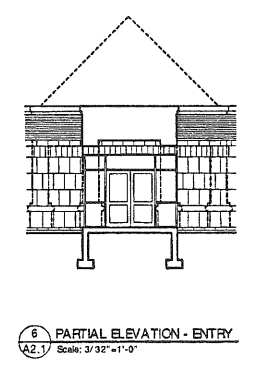
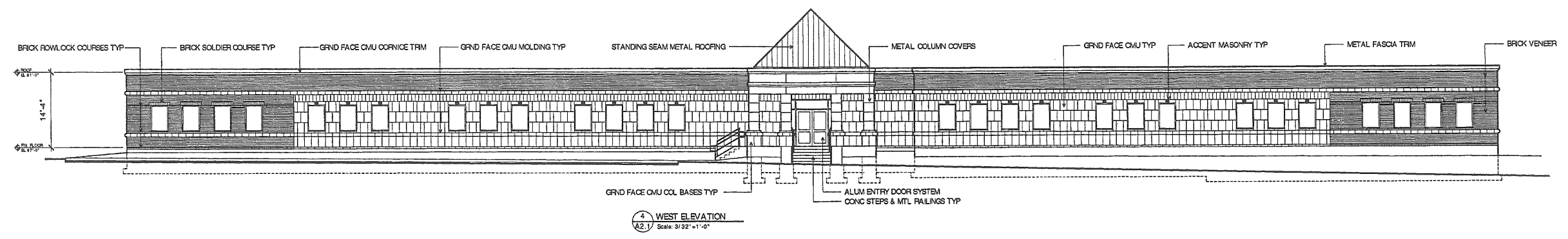
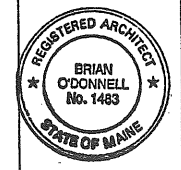
NEW PAVING AND PARKING

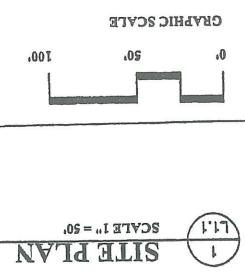
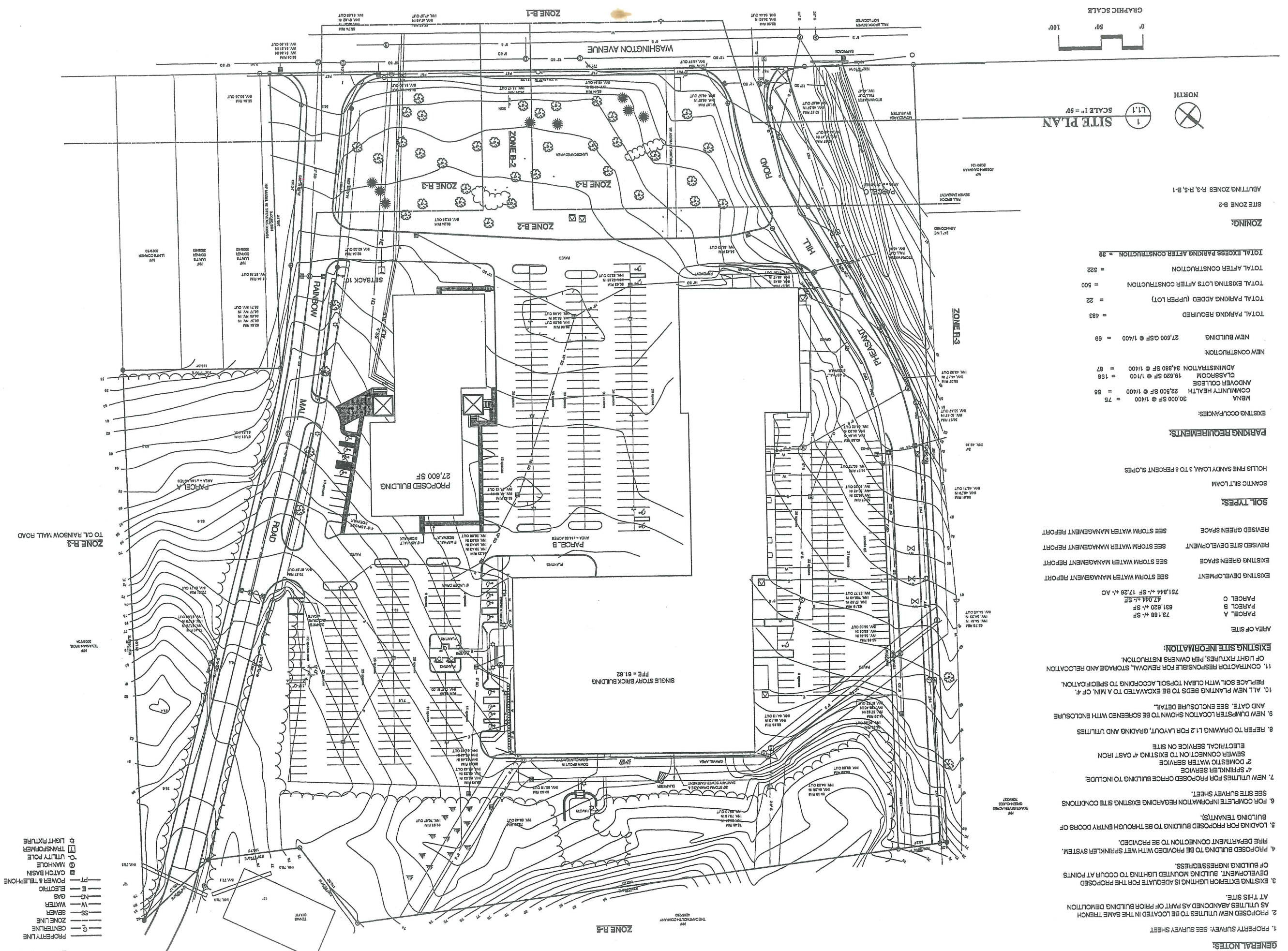
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 Portland, Maine 04101
HKTA / architects
 phone: 207.774.6016
 fax: 207.774.9128
 e-mail: hktai@hktai.com

DATE: 05/5/2000
 REVISIONS:
 08/20/2000

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WASHINGTON PARK
NEW BUILDING STUDY
J. B. Brown & Sons
 Portland, Maine





1 SITE PLAN
SCALE 1" = 50'



ZONING:
SITE ZONE B-2
ABUTTING ZONES R-3, R-5, B-1

EXISTING OCCUPIANCIES:

MNA	30,000 SF @ 1/400	= 75
COMMUNITY HEALTH	22,500 SF @ 1/400	= 56
ANDOVER COLLEGE CLASSROOM	19,020 SF @ 1/100	= 196
ADMINISTRATION	34,890 SF @ 1/400	= 87
NEW BUILDING	27,600 GSF @ 1/400	= 69
TOTAL PARKING REQUIRED		= 483
TOTAL PARKING ADDED (UPPER LOT)		= 22
TOTAL EXISTING LOTS AFTER CONSTRUCTION		= 500
TOTAL AFTER CONSTRUCTION		= 522
TOTAL EXCESS PARKING AFTER CONSTRUCTION		= 39

PARKING REQUIREMENTS:
HOLLIS FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES

SOIL TYPES:
SCANTY SILT LOAM

EXISTING DEVELOPMENT: SEE STORM WATER MANAGEMENT REPORT
EXISTING GREEN SPACE: SEE STORM WATER MANAGEMENT REPORT
REVISED SITE DEVELOPMENT: SEE STORM WATER MANAGEMENT REPORT
REVISED GREEN SPACE: SEE STORM WATER MANAGEMENT REPORT

AREA OF SITE:
PARCEL A 79,188 +/- SF
PARCEL B 631,620 +/- SF
PARCEL C 47,044 +/- SF
751,844 +/- SF 17.28 +/- AC

EXISTING SITE INFORMATION:
11. CONTRACTOR RESPONSIBLE FOR REMOVAL, STORAGE AND RELOCATION OF LIGHT FIXTURES, PER OWNERS INSTRUCTION.

- GENERAL NOTES:**
1. PROPERTY SURVEY; SEE SURVEY SHEET
 2. PROPOSED NEW UTILITIES TO BE LOCATED IN THE SAME TRENCH AS UTILITIES ABANDONED AS PART OF PRIOR BUILDING DEMOLITION AT THIS SITE.
 3. EXISTING EXTERIOR LIGHTING IS ADEQUATE FOR THE PROPOSED DEVELOPMENT; BUILDING MOUNTED LIGHTING TO OCCUR AT POINTS OF BUILDING INGRESS/EGRESS.
 4. PROPOSED BUILDING TO BE PROVIDED WITH WET SPRINKLER SYSTEM, FIRE DEPARTMENT CONNECTION TO BE PROVIDED.
 5. LOADING FOR PROPOSED BUILDING TO BE THROUGH ENTRY DOORS OF BUILDING TENANT(S).
 6. FOR COMPLETE INFORMATION REGARDING EXISTING SITE CONDITIONS SEE SITE SURVEY SHEET.
 7. NEW UTILITIES FOR PROPOSED OFFICE BUILDING TO INCLUDE:
4* SPRINKLER SERVICE
2* DOMESTIC WATER SERVICE
SEWER CONNECTION TO EXISTING 4" CAST IRON ELECTRICAL SERVICE ON SITE
 8. REFER TO DRAWING L1.2 FOR LAYOUT, GRADING AND UTILITIES AND GATE. SEE ENCLOSURE DETAIL.
 9. NEW DUMPSTER LOCATION SHOWN TO BE SCREENED WITH ENCLOSURE AND GATE. SEE ENCLOSURE DETAIL.
 10. ALL NEW PLANTING BEDS TO BE EXCAVATED TO A MIN. OF 4" REPLACE SOIL WITH CLEAN TOPSOIL ACCORDING TO SPECIFICATION.
 11. CONTRACTOR RESPONSIBLE FOR REMOVAL, STORAGE AND RELOCATION OF LIGHT FIXTURES, PER OWNERS INSTRUCTION.

- SYMBOL KEY:**
- PROPERTY LINE
 - CENTRAL LINE
 - ZONE LINE
 - SEWER
 - WATER
 - GAS
 - ELECTRO
 - POWER & TELEPHONE
 - CATCH BASIN
 - MAN-HOLE
 - UTILITY POLE
 - TRANSFORMER
 - LIGHT FIXTURE



WASHINGTON PARK
NEW BUILDING
J. B. Brown & Sons
Portland, Maine

DATE: 05/05/2000
REVISIONS:
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Phone: 207.774.0016
Fax: 207.774.0128
e-mail: Main@hktai.com

DRAWING NO. 1.1
SITE PLAN

GENERAL NOTES:

1. SEE DRAWING FOR BLDG LOCATION, UTILITIES AND GENERAL NOTES.
2. ALL PLANTS SHALL MEET OR EXCEED AMERICAN NURSEMEANS ASSOCIATION STANDARDS, CURRENT EDITION.
3. LIGHTING FOR PROPOSED BUILDING SHALL BE BUILDING MOUNTED. 70 HRS AT BURIED/POLE FIXTURES. LIGHTS SHALL MEET IES STANDARDS.
4. ALL SURFACES NOT OTHERWISE BUILT UPON OR LANDSCAPED SHALL RECEIVE 1" LOMM AND SEEDED IN LAWNS.
5. PLACE EROSION CONTROL DEVICES AROUND EXISTING OR WITHIN DISTURBED AREAS. SEE DETL. DRAWG.
6. DO NOT SCALE. DRAWING DIMENSIONS CONTROL.

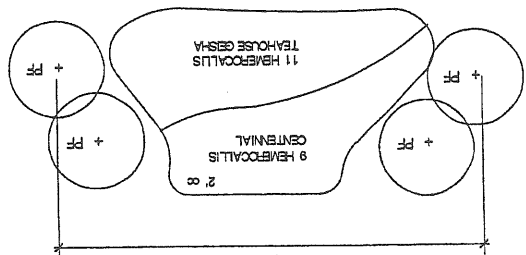
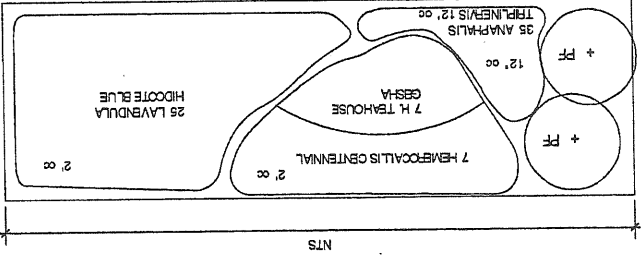
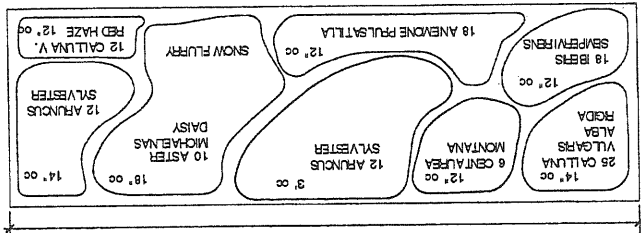
SYMBOL KEY:

---	PROPERTY LINE
—	CENTERLINE
—	ZONE LINE
—	SEWER
—	WATER
—	GAS
—	ELECTRIC
—	POWER & TEL. PHONE
■	CATCH BASIN
■	NEW CATCH BASIN
○	MANHOLE
○	UTILITY POLE
□	TRANSFORMER
☆	LIGHT FIXTURE
→	VEHICLE CIRCULATION
▨	SLOPED GRANITE CURB
▧	90 DEG GRANITE CURB
▩	SLOPED GRANITE CURB
▩	WALKWAY PAVING

PLANT LIST:

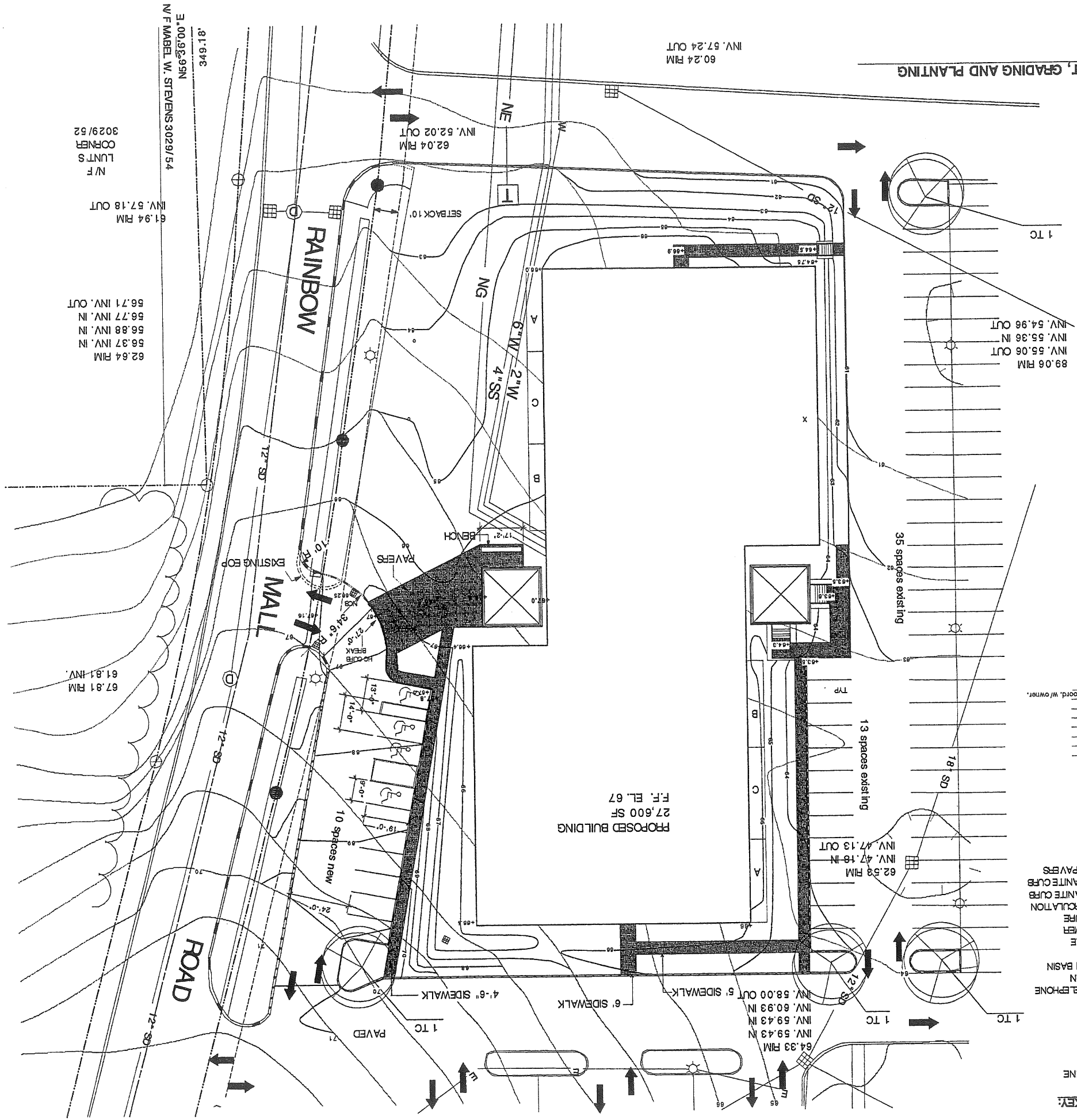
NO.	KEY	BOT. NAME	COMMON NAME	SIZE	ROOT	NOTES:
4	FP	Fraxinus Lanceolata	White-barked Paper Birch	2.5-3' cal.	B & B	
2	MB	Morus Betula	Black Mulberry	2' cal.	B & B	3 stem clumps
5	MB	Morus Betula	Black Mulberry	4-10' Hgt.	B & B	Specimen
4	PC	Pinus Cambia	White Pine	2.5-3' cal.	B & B	Select
38	TC	Tilia cordata	Small-leafed Linden	2.5-3' cal.	B & B	Select
26	EA	Eurotia Alnus Composita	White Birch	18-24' spaced	B & B	Plant 6' o.c.
126	JS	Juniperus Sibirica	Siberian Juniper	3 year	B & B	cont. or division
20	-	Philadelphus	Mt. Andromeda	15-18'	B & B	

PERENNIAL PLANTING



1 SITE PLAN LAYOUT, GRADING AND PLANTING

SCALE 1" = 20'



DRAWING NO. **L1.2**
SITE PLAN

DATE:
REVISIONS:
DATE:

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Portland, Maine
J. B. Brown & Sons

WASHINGTON PARK
NEW BUILDING
J. B. Brown & Sons



62.64 RIM
56.87 INV. IN
56.88 INV. IN
56.71 INV. IN
61.94 RIM
57.18 OUT
N/F
CORNER
LUNTS
3029/52
E. 00.96, 95N
N/F MABEL W. STEVENS 3029/54
349.18

67.81 RIM
61.81 INV.

60.24 RIM
57.24 OUT

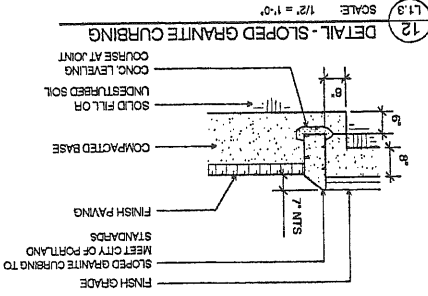
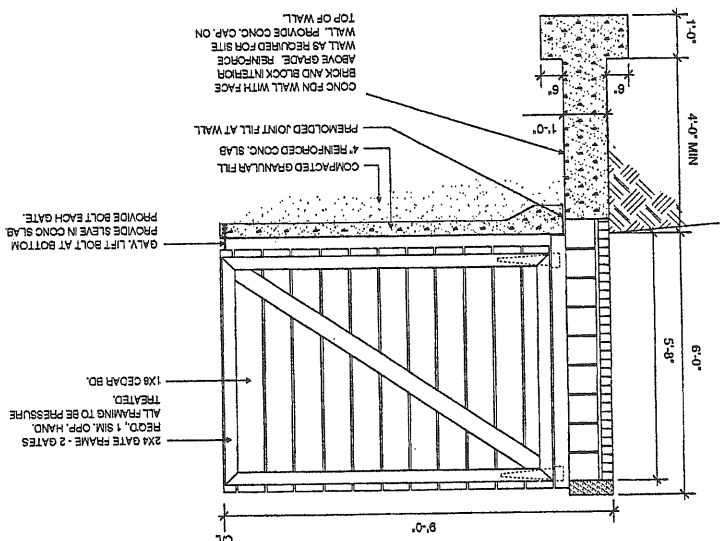
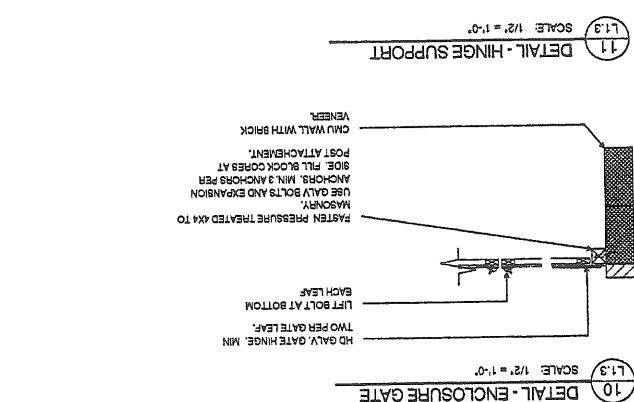
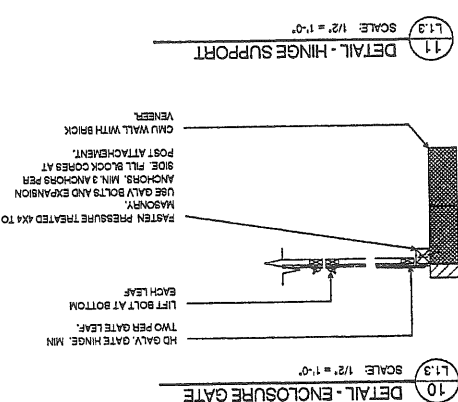
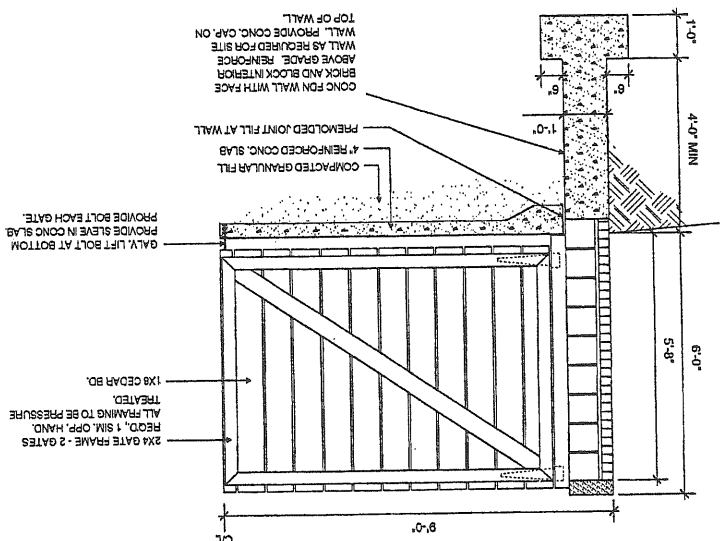
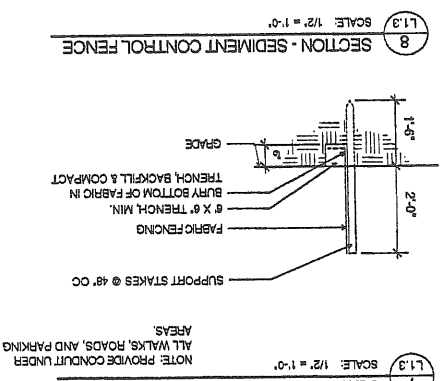
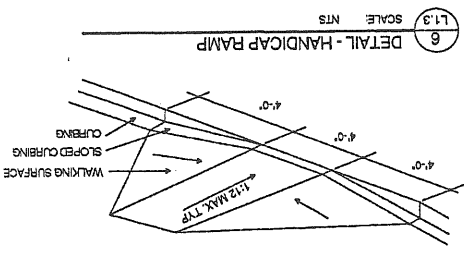
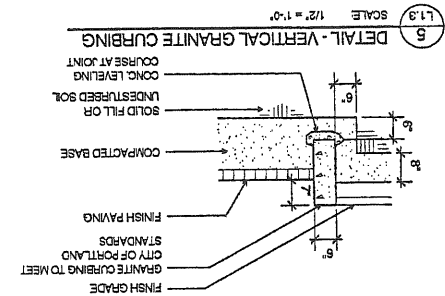
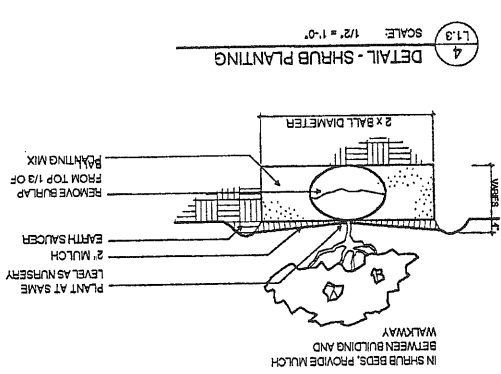
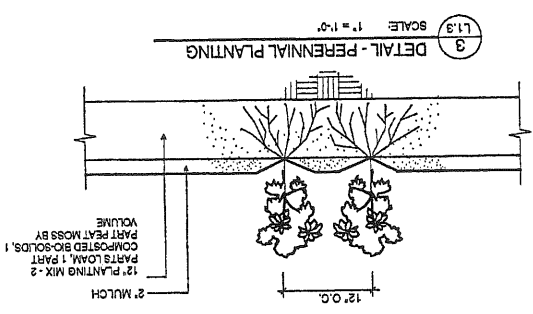
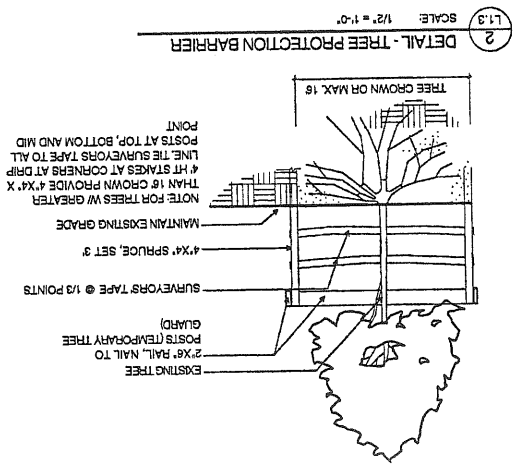
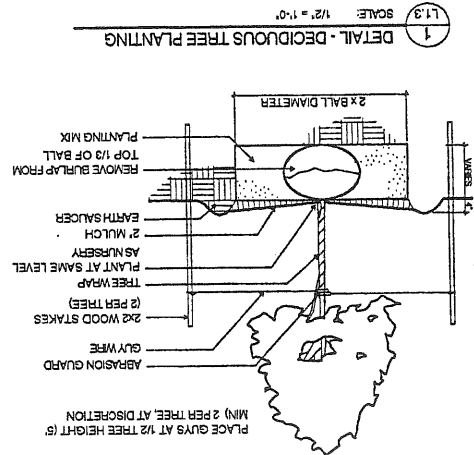
PROPOSED BUILDING
27,600 SF
F.F. EL. 67

62.59 RIM
47.13 OUT
INV.

64.33 RIM
59.43 IN
59.43 IN
60.93 IN
58.00 OUT
INV.

89.06 RIM
55.06 OUT
55.36 IN
54.96 OUT
INV.

62.04 RIM
52.02 OUT
INV.



WASHINGTON PARK
 NEW BUILDING
 J. B. Brown & Sons
 Portland, Maine

DATE: 05/05/2000
 REVISIONS:
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SITE DETAILS
 L1.3

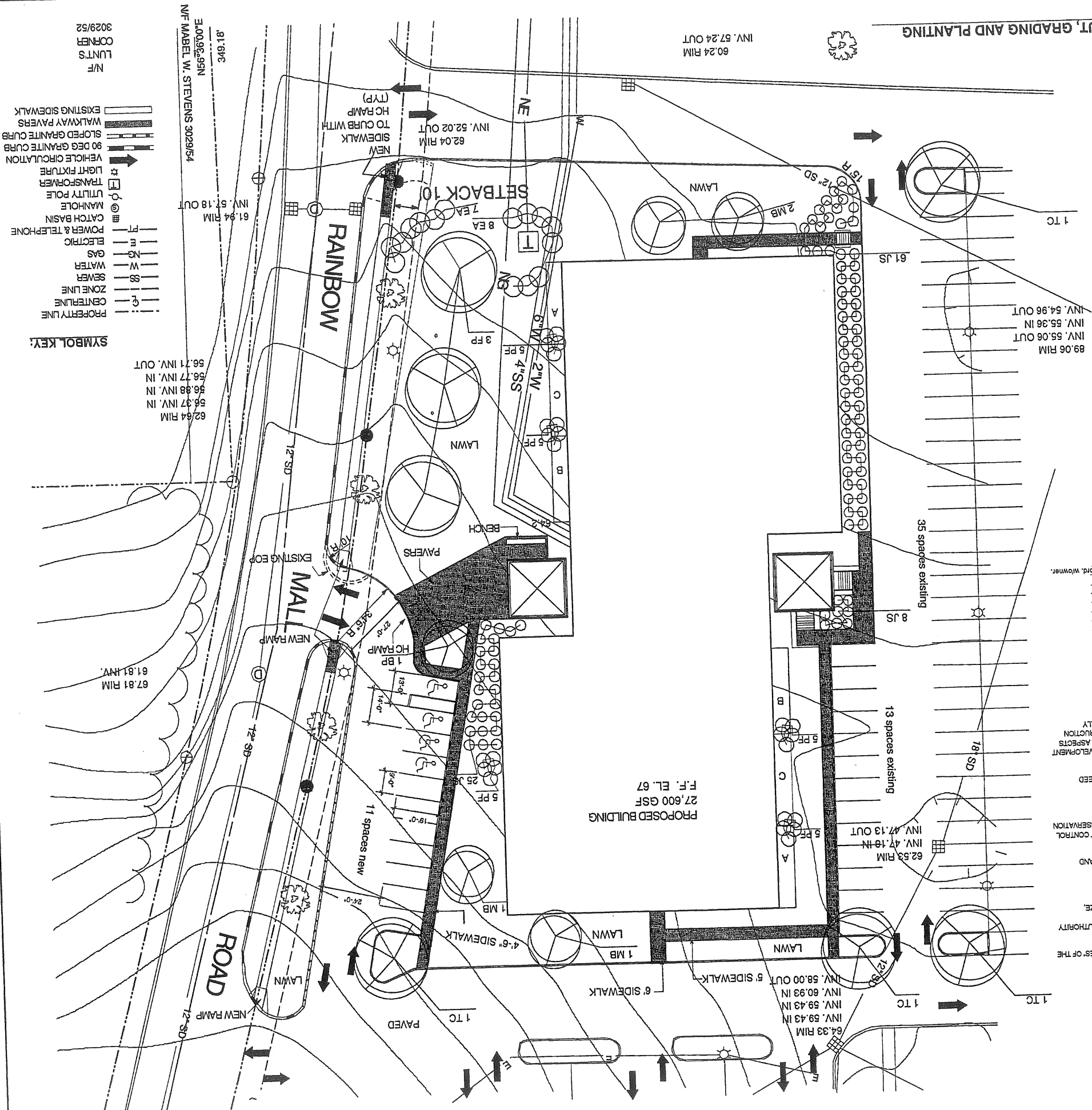


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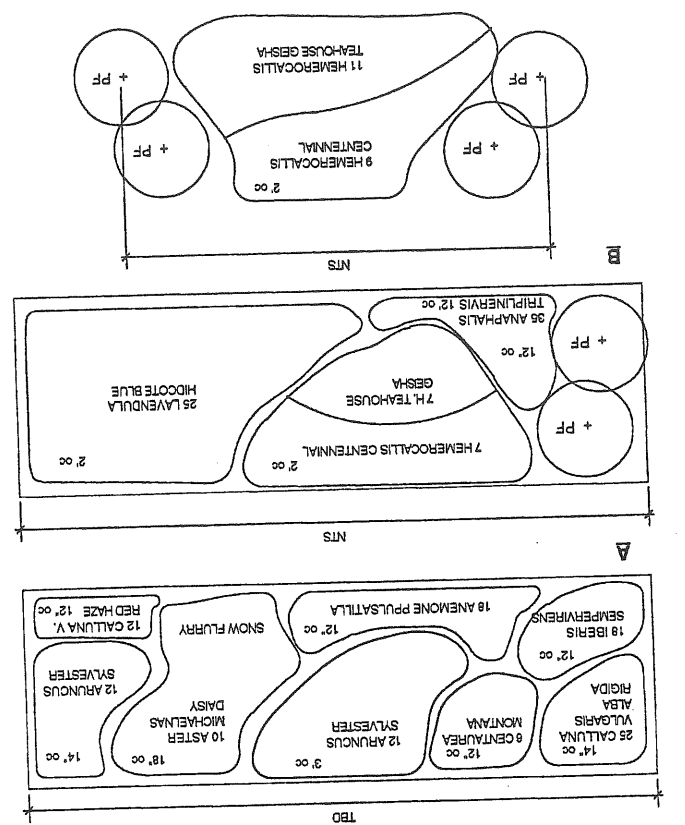
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L1.4
 PLANTING PLAN



SCALE 1" = 20'

1 SITE PLAN LAYOUT, GRADING AND PLANTING

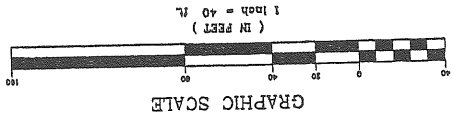
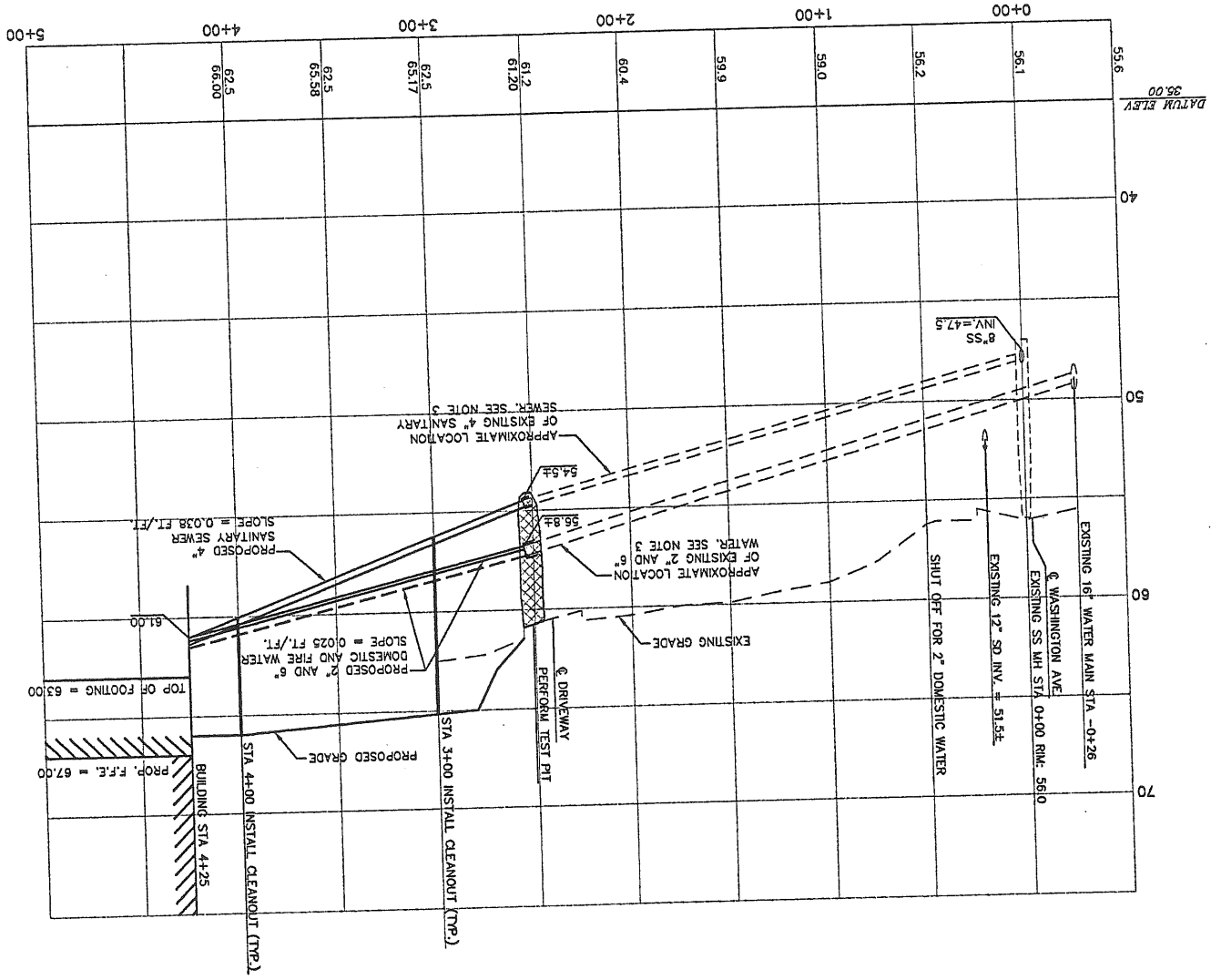


PLANT LIST:

NO.	KEY	BOT. NAME	COMMON NAME	SIZE	ROOT	NOTES:
1	FP	Fraxinus lankeolata	Marshal saadess ash	2.5-3' cal	B & B	
3	FP	Salix pyralis	Paper birch	2-2.5' cal	B & B	
4	MB	Malva bacata	Siberian crab	2' cal	B & B	Select
4	MB	Malva bacata	Siberian crab	2' cal	B & B	Select
0	TC	Tilia cordata	Little leaf linden	2.5-3' cal	B & B	
15	BA	Eunymia alata	Dwarf burning bush	2-2.5' ht.	B & B	
15	JS	Juniperus Sabina	Arcadia	18-24" spaced	B & B	Plant 5' o.c.
84	JS	Juniperus Sabina	Arcadia	18-24" spaced	B & B	Established plants coord. w/owner.
37	PF	Platanus occidentalis	Mt. Andromeda	15-18"	B & B	

- GENERAL NOTES:**
- SEE DRAW FOR BUA LOG LOCATION, UTILITIES AND GENERAL NOTES.
 - ALL PLANTS SHALL MEET OR EXCEED AMERICAN NURSERYMAN'S ASSOCIATION STANDARDS, CURRENT EDITION.
 - LIGHTING FOR PROPOSED BUILDING SHALL BE BUILDING MOUNTED, 70 FPS AT EMERGENCY HEIGHTS. LIGHTS SHALL MEET ISS STANDARDS.
 - ALL SURFACES NOT OTHERWISE BUILT UPON OR LANDSCAPED SHALL RECEIVE 6" LOAM AND SEEDS IN LAWN.
 - PLACE EROSION CONTROL DEVICES AROUND EXISTING OB WITHIN DISTURBED AREAS. SEE DETL DRAWG.
 - DO NOT SCALE. DRAWING DIMENSIONS CONTROL.
 - LANDSCAPING SHALL MEET THE APPLICABLE TECHNICAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES OF THE CITY OF PORT AND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 - THE ENTIRE SITE SHALL BE DEVELOPED AND MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN.
 - INCLUDING WITHOUT LIMITATION: TOPOGRAPHY; DRAINAGE; LANDSCAPING; RETENTION OF WOODED OR LAWN AREAS; ACCESS; SIZE, LOCATION, AND SURFACING OF PARKING AREAS; LOCATION AND SIZE OF BUILDINGS.
 - ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
 - ALL DRIVEWAYS AND CURBS SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORT AND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
 - ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION. BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.
 - ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
 - ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OF OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES. (SEE ABOVE)
 - PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE WORK. AT THAT TIME, THE SITE BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.

SANITARY SEWER AND WATER PROFILE



DH
 DeLuca-Hoffman
 Associates, Inc.
 778 Main Street, Suite 8
 South Portland, ME 04106
 (207) 775-1121
 D:\H\A\ME\ROOM



- NOTES:**
1. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
 2. THE CONTRACTOR IS SPECIALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 3. THE EXACT LOCATION AND ELEVATION OF THE EXISTING SANITARY SEWER, DOMESTIC WATER AND SPRINKLER WATER ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. LOCATION OF TEST PIT SHOWN ON PROFILE TO BE VERIFIED.
 4. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF BUILDING UTILITY ENTRANCE POINTS.
 5. CLEANOUTS TO BE INSTALLED AT PROPOSED SANITARY SEWER AS EVERY 100 FT ALONG LENGTH OF PROPOSED SANITARY SEWER AS SHOWN ON PLANS.

WASHINGTON PARK
 NEW BUILDING
 J. B. Brown & Sons

Portland, Maine

DATE: 04/05/2000
 REVISIONS:

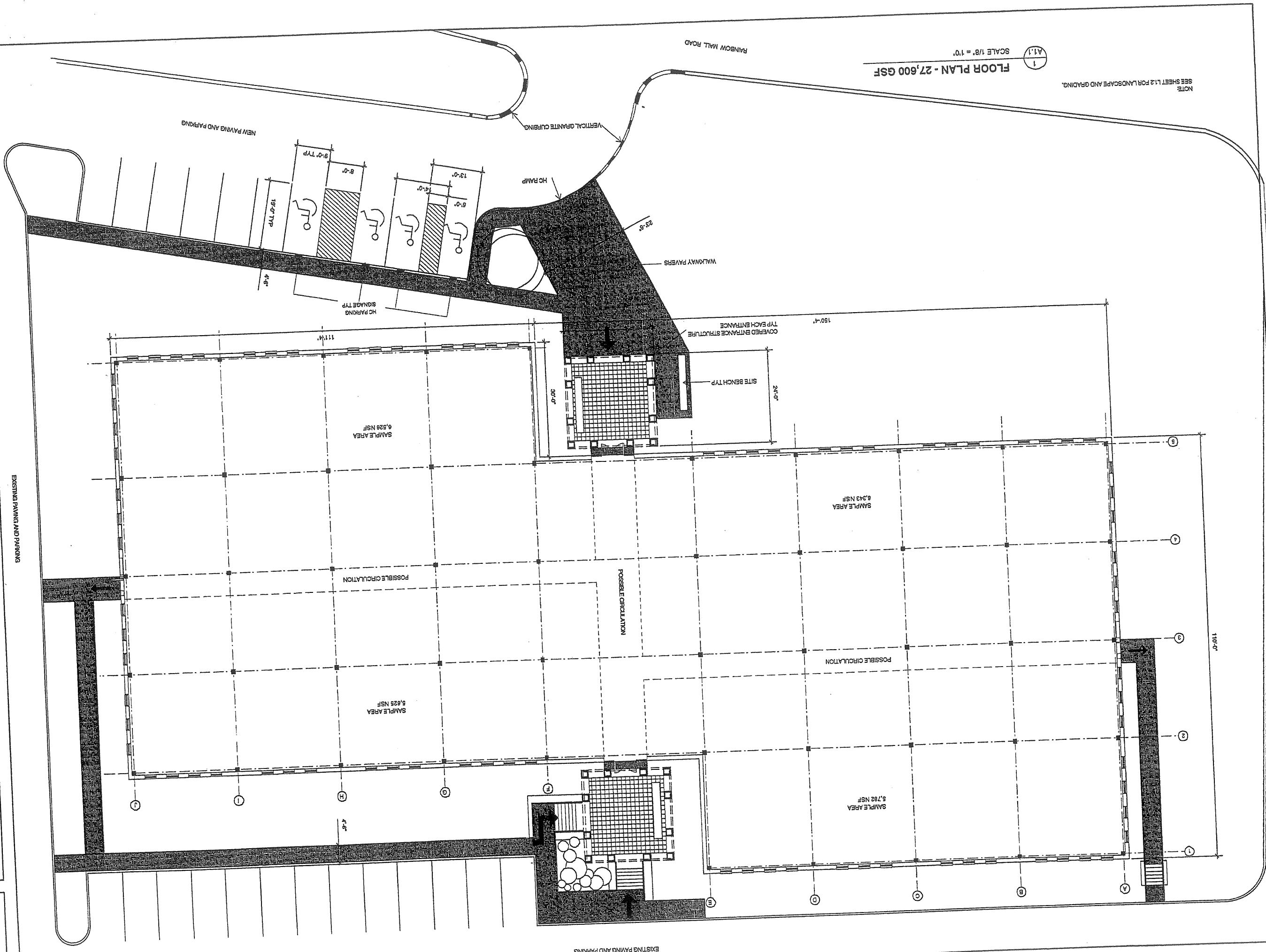
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 phone: 207.774.6016
 fax: 207.774.9126
 e-mail: info@hkta.com

SANITARY SEWER AND WATER PROFILE

12.1

NOTE
SEE SHEET L12 FOR LANDSCAPE AND GRADING.

1
SCALE 1/8" = 10'
FLOOR PLAN - 27,600 GSF



WASHINGTON PARK
NEW BUILDING
J. B. Brown & Sons
Portland, Maine

DATE: 05/08/2000
REVISIONS:
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FLOOR PLAN
A1.1

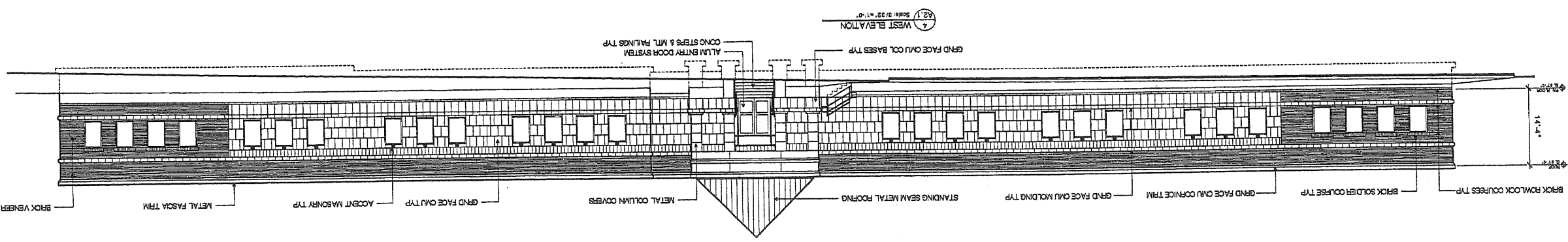
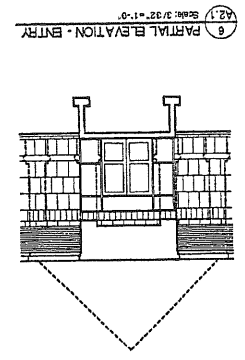
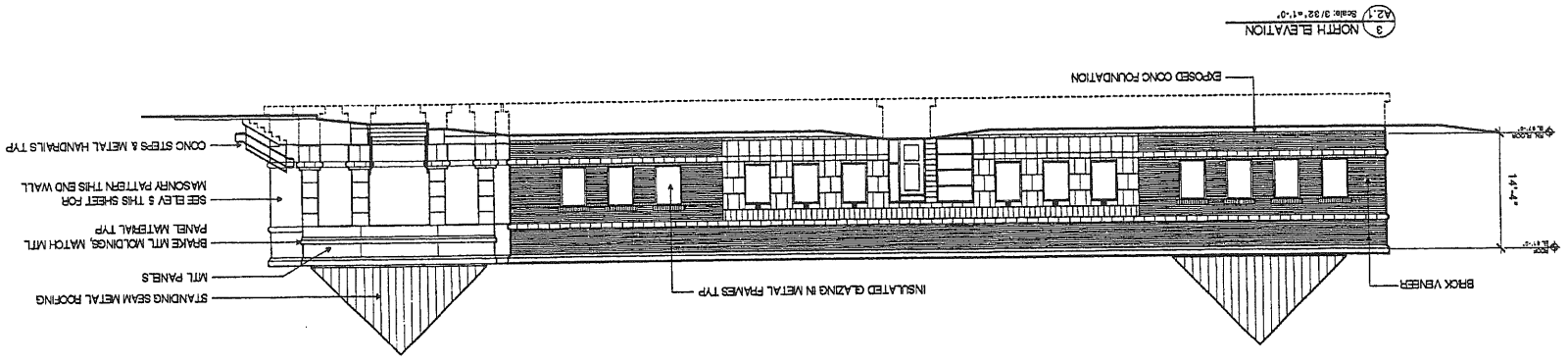
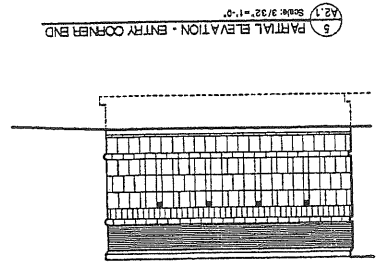
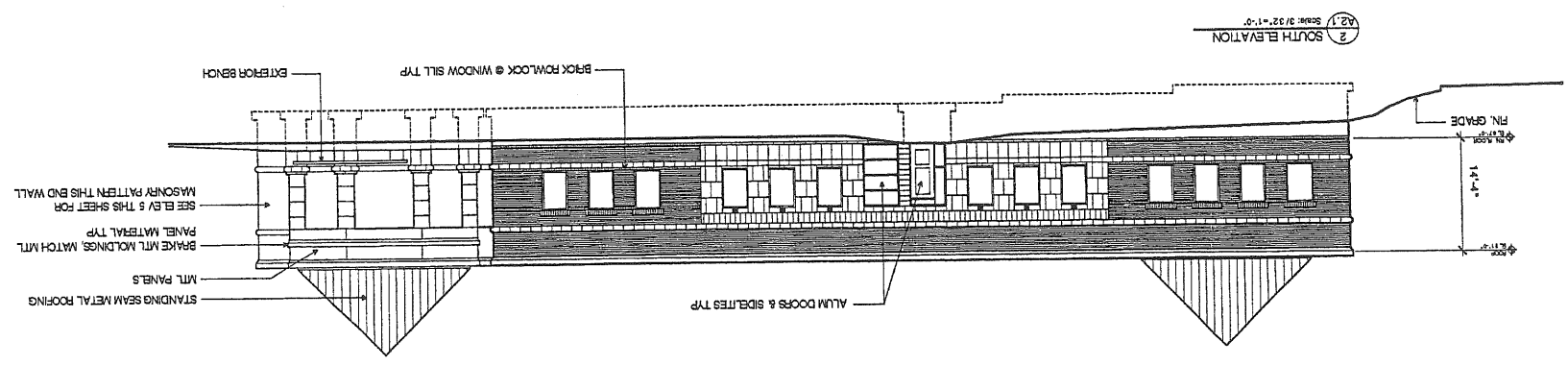
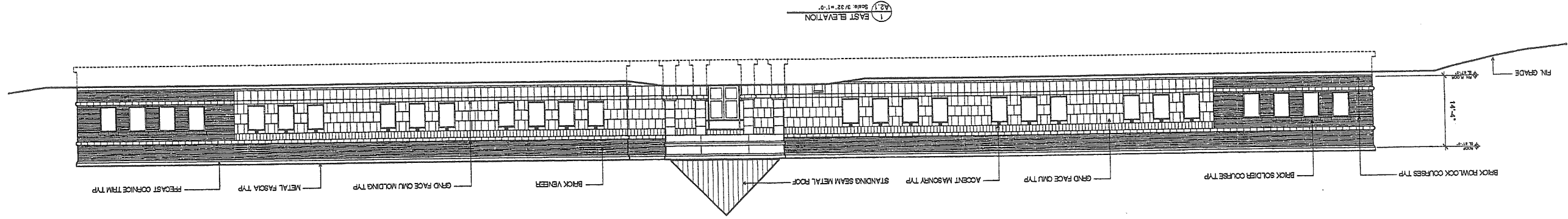


WASHINGTON PARK
NEW BUILDING STUDY
J. B. Brown & Sons
Portland, Maine

DATE: 06/5/2000
REVISIONS:
06/20/2000

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Portland, Maine 04101
Phone: 773/3000
Fax: 773/3000
Email: Hank@out.com

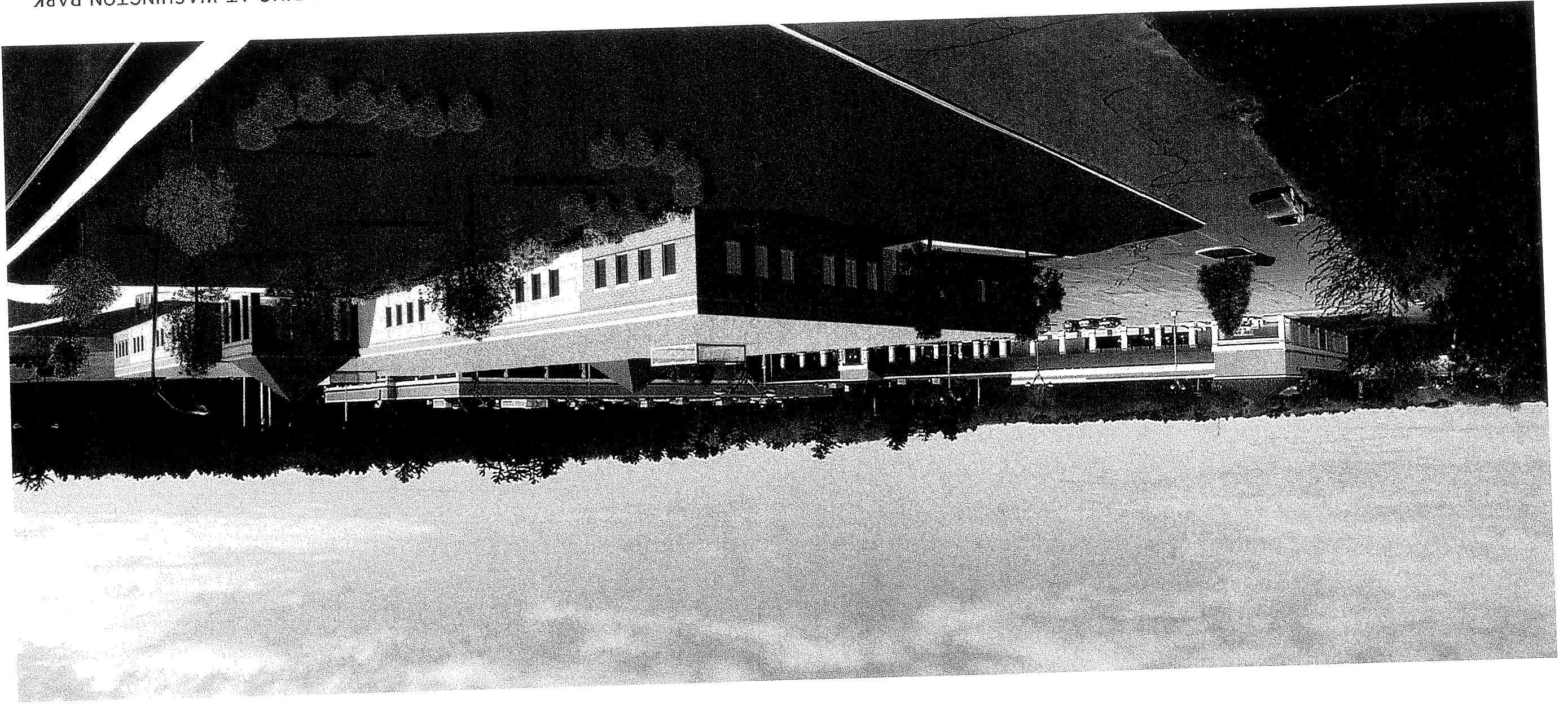
DRAWING NO. A2.1
BUILDING ELEVATIONS



Labels for West Elevation: BRICK ROWLOCK COURSES TYP, BRICK SOLDIER COURSE TYP, GRAND FACE OAU CORNICE TRIM, GRAND FACE OAU MOLDING TYP, GRAND FACE OAU COOL BASES TYP, ALUM ENTRY DOOR SYSTEM, CONG STERS & MTL PANELS TYP, MTL PANELS, INSULATED GLAZING IN METAL FRAMES TYP, BRICK VENEER, EXPOSED CONG FOUNDATION, BRICK ROWLOCK @ WINDOW SILL TYP, EXTERIOR BENCH, MASONRY PATTERN THIS END WALL, SEE ELV 5 THIS SHEET FOR PANEL MATERIAL TYP, BRASS MTL MOLDINGS, MATCH MTL, MTL PANELS, STANDING SEAM METAL ROOFING

HKTA / architects

NEW OFFICE BUILDING AT WASHINGTON PARK
J.B. BROWN AND SONS, PORTLAND, MAINE



CITY OF PORTLAND
PLANNING BOARD SUBMISSION
MAY 5, 2000

NEW BUILDING at

WASHINGTON PARK

901 WASHINGTON AVENUE, PORTLAND, MAINE

OWNER:

J. B. BROWN & SONS
482 CONGRESS STREET
P.O. BOX 207
PORTLAND, MAINE 04112
(207)-774-5908

ARCHITECT:

HKTA / architects

HKTA / architects, inc.

4 Milk Street
Portland, Maine 04101
207 774-6016
Fax: 774-9128

CIVIL ENGINEER:

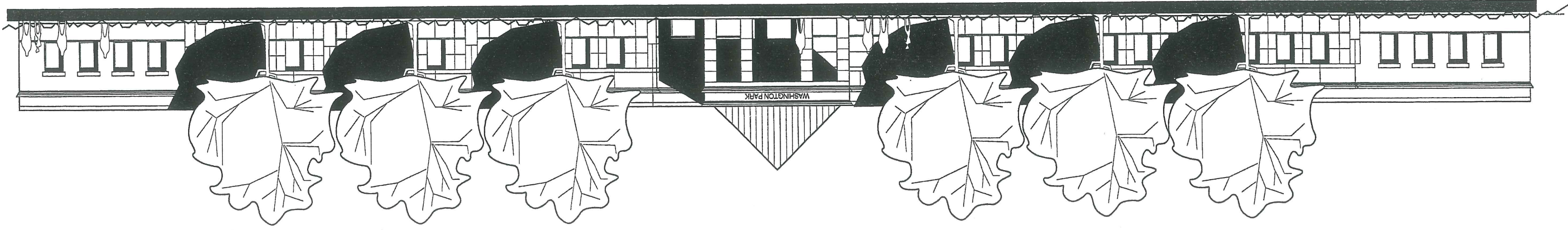
Deluca Hoffman Associates

Deluca Hoffman Associates.

778 Main Street, Suite 8
So. Portland, Maine 04106
207-775-1121
Fax: 207-775-4383

DRAWING LIST:

- TITLE SHEET
- SURVEY DRAWING DATED 1987
UPDATED SURVEY DRAWING
- L1.1 SITE PLAN SCALE 1"=50'
- L1.2 LAYOUT AND GRADING PLAN 1"=20'
- L1.3 SITE DETAILS
- L1.4 PLANTING PLAN 1"=20'
- L2.1 SANITARY SEWER AND WATER PROFILE
- L2.2 SITE UTILITY AND SIGNAGE DETAILS
- A1.1 BUILDING FLOOR PLAN
- A2.1 BUILDING ELEVATIONS



ATTACHMENT A-1



NEW BUILDING at
WASHINGTON PARK

901 WASHINGTON AVENUE, PORTLAND, MAINE

CITY OF PORTLAND
 PLANNING BOARD SUBMISSION
 JULY 6, 2000

OWNER:

J. B. BROWN & SONS
 482 CONGRESS STREET
 P.O. BOX 207
 PORTLAND, MAINE 04112
 (207)-774-5908

ARCHITECT:

HKTA / architects

HKTA / architects, inc.
 4 Milk Street
 Portland, Maine 04101
 207 774-6016 Fax: 774-9128

CIVIL ENGINEER:

DeLuca Hoffman Associates

DeLuca Hoffman Associates.

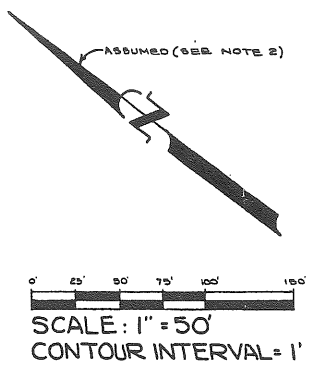
778 Main Street, Suite 8
 So. Portland, Maine 04106
 207-775-1121 Fax: 207-775-4383

DRAWING LIST:

- TITLE SHEET
- SURVEY DRAWING DATED 1987
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- L1.1 SITE PLAN SCALE 1"=50'
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- L1.3 SITE DETAILS
- L1.4 PLANTING PLAN 1"=20'
- L2.1 SANITARY SEWER and WATER PROFILE
- L2.2 SITE UTILITY and SIGNAGE DETAILS
- A1.1 BUILDING FLOOR PLAN
- A2.1 BUILDING ELEVATIONS
- A5.1 REFLECTED CEILING PLAN

IMPROVEMENTS WITHIN PRESABANT HILL ROAD R.O.W.
E.G. STREET LIGHTS, SMALL TREES ETC.

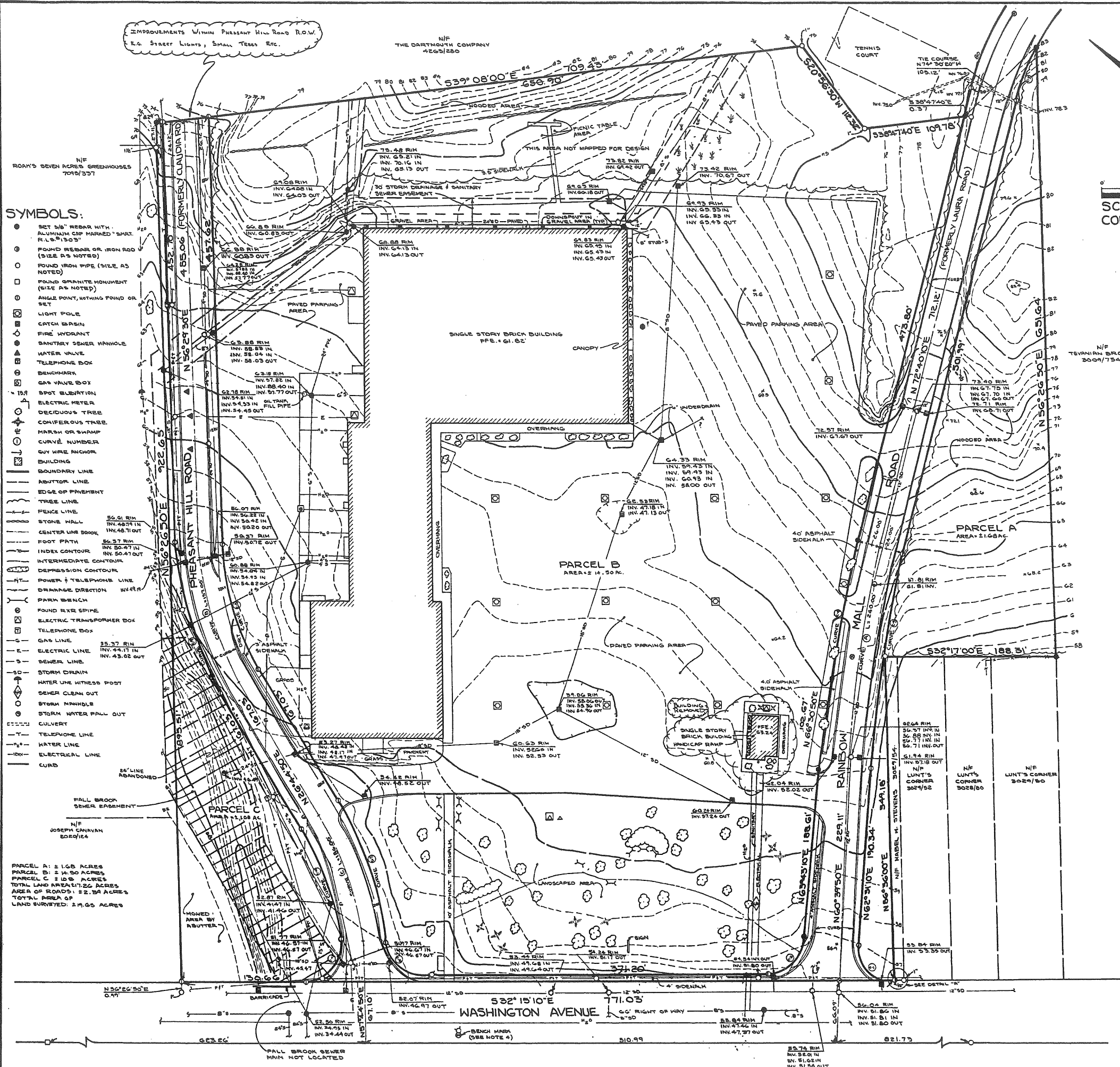
N/E THE DARTMOUTH COMPANY
42651280



SYMBOLS:

- SET 5/8" REBAR WITH ALUMINUM CAP MARKED "S.M.T. R.L.S. 1903"
- FOUND REBAR OR IRON ROD (SIZE AS NOTED)
- FOUND IRON PIPE (SIZE AS NOTED)
- FOUND GRANITE MONUMENT (SIZE AS NOTED)
- ANGLE POINT, NOTHING FOUND OR SET
- LIGHT POLE
- CATCH BASIN
- FIRE HYDRANT
- SANITARY SEWER MANHOLE
- WATER VALVE
- TELEPHONE BOX
- BENCHMARK
- GAS VALVE BOX
- SPOT ELEVATION
- ELECTRIC METER
- DECIDUOUS TREE
- CONIFEROUS TREE
- MARSH OR SWAMP
- CURVE NUMBER
- GUY WIRE ANCHOR
- BUILDING
- BOUNDARY LINE
- SUBTANT LINE
- EDGE OF PAVEMENT
- TREE LINE
- FENCE LINE
- STONE WALL
- CENTER LINE BOUNDARY
- FOOT PATH
- INDEX CONTOUR
- INTERMEDIATE CONTOUR
- DEPRESSION CONTOUR
- POWER & TELEPHONE LINE
- DRAINAGE DIRECTION
- PARK BENCH
- FOUND R/S SPIKE
- ELECTRIC TRANSFORMER BOX
- TELEPHONE BOX
- GAS LINE
- ELECTRIC LINE
- SEWER LINE
- STORM DRAIN
- WATER LINE WITNESS POST
- SEWER CLEAN OUT
- STORM MANHOLE
- STORM WATER PALL OUT
- CULVERT
- TELEPHONE LINE
- WATER LINE
- ELECTRICAL LINE
- CURB

PARCEL A: 2.168 ACRES
PARCEL B: 2.450 ACRES
PARCEL C: 2.105 ACRES
TOTAL LAND AREA: 4.723 ACRES
AREA OF ROADS: 22.59 ACRES
TOTAL AREA OF LAND SURVEYED: 24.65 ACRES

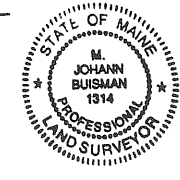
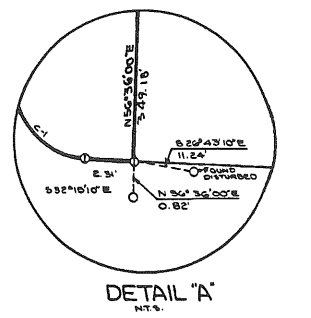


NOTES:

- 1) OWNERSHIP OF RECORD FOR THE SUBJECT PARCELS: J. B. BROWN & SONS, ONE PORTLAND SQUARE, P.O. BOX 584, PORTLAND, MAINE 04112, CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 918, PAGE 54, (SEE BK 449, P. 11) THE BASIS OF BEARING FOR THIS SURVEY IS ON ASSUMED BEARING WHICH IS 6°50' DEGREES CLOCKWISE OF THE SURVEYS REFERENCED IN NOTE 2, BELOW.
- 2) REFERENCE IS MADE TO THE "REPORT OF SURVEY FOR J.B. BROWN AND SONS" PREPARED BY STEVENS, MORTON, ROSE & THOMPSON INC., PORTLAND MAINE, DATED NOV. 1987 (JOB NO. 87087).
- 3) REFERENCE IS MADE TO THE "REPORT OF SURVEY FOR J.B. BROWN AND SONS" PREPARED BY STEVENS, MORTON, ROSE & THOMPSON INC., PORTLAND MAINE, DATED NOV. 1987 (JOB NO. 87087).
- 4) THE BASIS OF ELEVATION FOR THIS SURVEY IS THE TOP OF A FIRE HYDRANT ALONG THE SOUTHWESTERLY SIDEWALK OF WASHINGTON AVENUE 2.105' SOUTHEASTERLY FROM THE CENTERLINE OF CLAUDIA STREET PER CITY OF PORTLAND DRG. NO. 489-71. CITY DATUM ELEVATION = 66.69'.
- 5) THE AREA OF THE SURVEYED PARCEL IS 2.168 ACRES.
- 6) REGARDING EASEMENTS AND RIGHT-OF-WAYS FOR THE SUBJECT PARCELS, REFERENCE IS MADE TO THE FOLLOWING:
 - a. "THIRTY FOOT RIGHT OF WAY SEWER TAKING BY CITY OF PORTLAND AS REPORTED IN PORTLAND CITY COUNCIL RECORDS, VOLUME 45, PAGE 82, AS LIMITED BY RELEASE DEED DATED JAN. 23, 1922, RECORDED IN CUMBERLAND COUNTY REGISTRY OF DEEDS IN BOOK 3049, PAGE 84, CITY COUNCIL RECORDS, VOLUME 70, PAGE 581, AS LIMITED BY RELEASE DEED DATED JAN. 23, 1922 RECORDED IN SAID REGISTRY IN BOOK 3049, PAGE 84.
 - b. EASEMENTS ACCEPTED BY CITY OF PORTLAND IN WASHINGTON AVENUE, LUNA ROAD, AND CLAUDIA STREET BY ORDERS RECORDED IN BOOK 3152, PAGE 41, 42, AND 43.
 - c. SET BACK LIMITATION ON PORTION OF PREMISES DESCRIBED IN INSTRUMENT DATED AUG. 22, 1919 RECORDED IN BOOK 1023, PAGE 75.
 - d. RIGHTS, EASEMENTS AND PRIVILEGES RESERVED IN DEED FROM LUNT'S CORNER, INC. TO SAUL J. COPELLMAN DATED OCT. 20, 1972 AND RECORDED WITH SAID DEEDS IN BOOK 3517, PAGE 186.
- 7) ZONING FOR THIS PARCEL IS CURRENTLY B1, SETBACK RESTRICTIONS ARE: 10' WERE BUILDING FEET TO A STREET OR RESIDENTIAL ZONE, 15' FRONT, 20' REAR, MINIMUM HEIGHT 3 STORES, NOT TO EXCEED 35' REFERENCE: PORTLAND LAND USE CODE, SECTION 14-102.
- 8) REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a. "LEDGEMOOD" REVISED FINAL PLAN, PREPARED BY LAND USE CONSULTANTS, BOSTON, MAINE MAY 1979, PLAN BOOK 123, PAGE 61.
 - b. "PLAN OF LOTS 314 FOR THE ESTATE OF MARY S. LUNT" PREPARED BY EDWIN C. THOMPSON, MARCH 1877, PLAN BOOK 4, PAGE 4.
 - c. "PLAN OF PROPERTY ON WASHINGTON AVENUE, BOSTON, MAINE FOR SAUL J. COPELLMAN" PREPARED BY WRIGHT, PIERCE, BARNES & WYMAN, TOPSHAM, MAINE, OCT. 1971.
 - d. "WASHINGTON AVENUE RELOCATION" PREPARED BY THE CITY OF PORTLAND, APRIL 1928, DRG. NO. 434-41.
 - e. "RIGHT OF WAY PLAN FOR A PORTION OF WASHINGTON AVENUE, PREPARED BY OWEN HASKELL INC., PORTLAND, MAINE, SEPT. 1929 CITY OF PORTLAND DRG. NO. 489-71 THRU 489-73.
- 9) UNDERGROUND UTILITY LINE LOCATIONS AS SHOWN ARE FIELD INDICATIONS ONLY. ACTUAL FIELD LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY IN THE AREA (201-774-5860).
- 10) FALL BROOK SEWER WAS NOT LOCATED.

CURVE DATA:

No.	RADIUS	Δ	LENGTH	TANGENT	CHORD	CHORD BRNG.
A	1145.57	12-00-13	240.00	120.44	239.96	N41-27-11E
B	304.22	21-44-41	157.00	80.74	156.17	S34-30-10W
C-1	35.00	14-46-20	37.59	38.04	81.51	S15-08-12W
C-2	60.00	24-01-41	68.70	56.06	53.58	S74-15-58E
C-3	252.42	13-14-13	60.69	30.48	60.74	N74-17-34E
C-4	1171.57	07-00-08	143.18	71.68	143.09	S09-10-06W
C-5	1121.57	12-00-13	240.00	117.92	234.84	N66-40-00E
C-6	35.00	14-46-20	37.59	38.04	81.51	S15-08-12W
C-7	35.00	14-46-20	37.59	38.04	81.51	S15-08-12W
C-8	278.22	21-44-41	144.44	73.98	152.82	N41-27-11E
C-9	328.22	21-44-41	170.37	87.16	168.49	S41-27-11E
C-10	319.77	22-31-53	125.78	63.77	124.44	S38-50-14W
C-11	42.00	18-28-05	72.18	48.72	63.22	N81-27-12W



THIS SURVEY CONFORMS TO THE MAINE STATE BOARD OF LAND SURVEYORS STANDARDS, CATEGORY NO. 2, CONDITION NO. 2, "STANDARD BOUNDARY SURVEY".
RECORDING
M. JOHANN BUISMAN
MAINE P.L.S. # 1314
07/24/1992
DATE

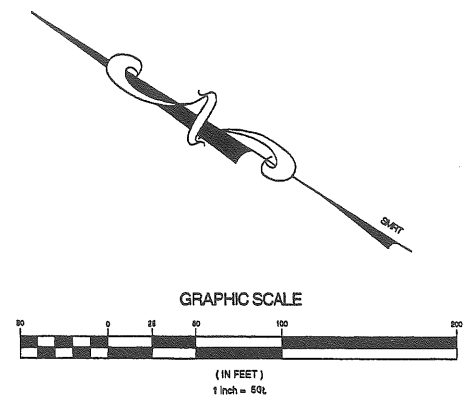
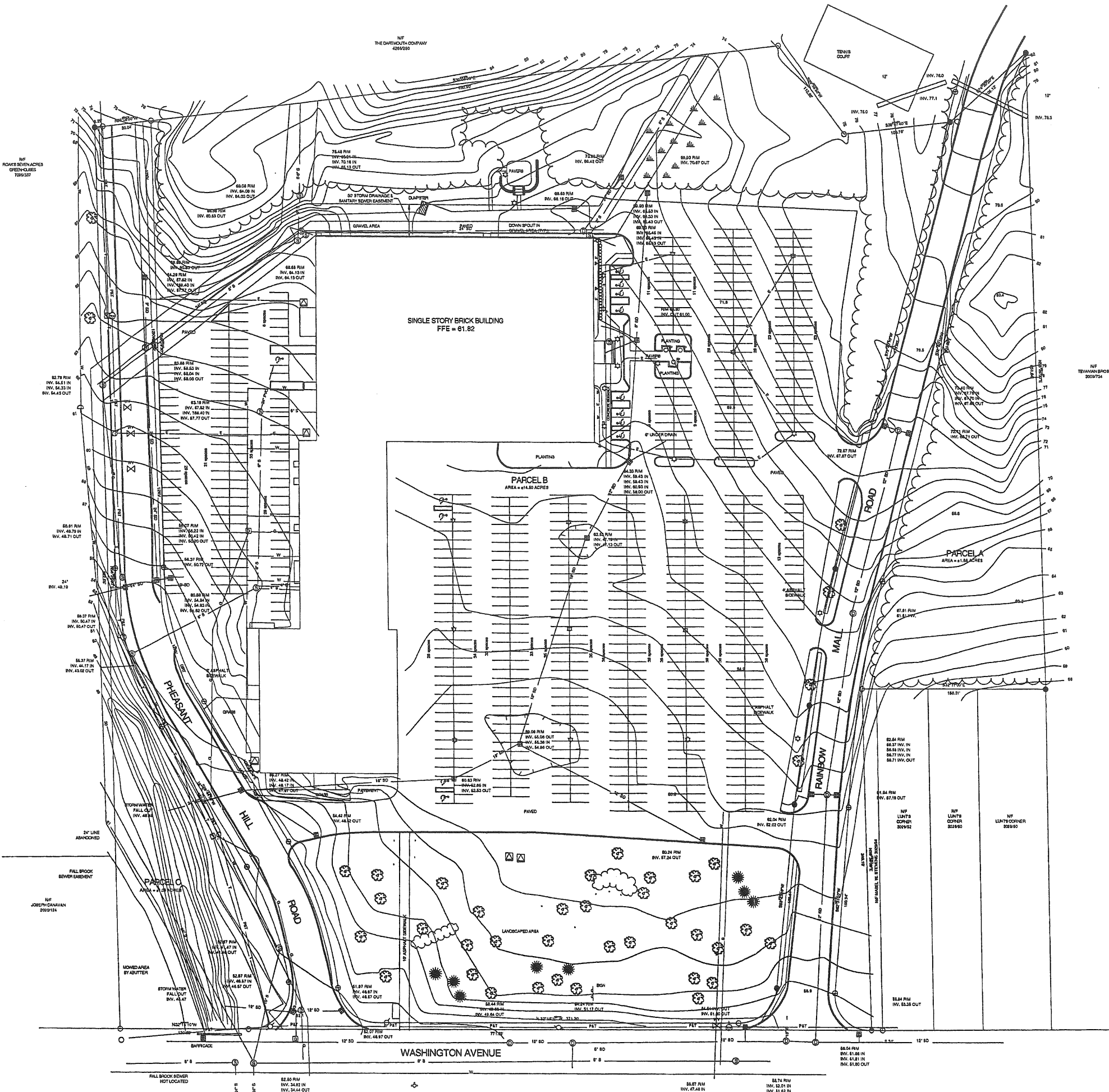
SMT RT

STEVENS MORTON ROSE & THOMPSON
73 OAK STREET
PORTLAND, ME 04101
207-772-3846

FOR J. B. BROWN & SONS
WASHINGTON PARK
CITY OF PORTLAND, STATE OF MAINE
Job No. 87087

Project Name: J. B. BROWN & SONS
WASHINGTON PARK
CITY OF PORTLAND, STATE OF MAINE

Drawing Name: STANDARD BOUNDARY SURVEY AND TOPOGRAPHIC SURVEY PLAN
Scale: 1" = 50'
Date: 07/24/1992
Drawn By: S.L.S. Checked By:



LEGEND

- 6" REBAR WITH ALLUMINIUM CAP MARKED "SMART FLS 100"
- FOUND REBAR OR PCH FCD
- FOUND IRON PIPE (SIZE AS NOTED)
- ANGLE POINT, NOTHING FOUND OR SET
- LIGHT POLE
- CATCH BASIN
- HYDRANT
- SANITARY SEWER MANHOLE
- WATER VALVE
- TELEPHONE BOX
- GAS VALVE BOX
- SPOT ELEVATION
- DECIDUOUS TREE
- CONIFEROUS TREE
- HURSH OR SHRUB
- UTILITY POLE
- UTILITY POLE WITH GUY AND/OR
- BOUNDARY LINE
- ABUTTER LINE
- TREE LINE
- CENTERLINE BROOK OR STREAM
- 150 INDEX CONTOURS
- 100 INTERMEDIATE CONTOURS
- PARK BENCH
- ELECTRIC TRANSFORMER BOX
- GAS LINE
- ELECTRIC LINE
- BEVERLINE
- STORM DRAIN
- WATER LINE WITNESS POST
- DRAIN MANHOLE
- EXISTING CULVERT
- TELEPHONE LINE
- WATER LINE
- ELECTRICAL LINE
- FLAG POLE

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD BRG	CHORD DIST
C1	87.89	38.00	84°46'32"	38.04	81°38'39"O	81.81
C2	38.70	40.00	84°11'07"	36.00	87°18'17"O	30.59
C3	80.70	262.48	3°21'56"	30.68	378°17'24"O	80.56
C4	143.18	1171.87	7°00'00"	71.68	888°16'06"O	145.08
C5	234.87	1121.87	12°00'32"	117.82	858°40'00"O	234.54
C6	58.34	40.00	80°30'32"	36.74	820°31'18"O	59.30
C7	158.65	368.71	38°24'00"	80.82	108°33'56"O	157.31
C8	144.44	278.22	28°44'32"	73.88	841°37'12"O	142.82
C9	170.38	328.22	28°44'32"	87.16	841°37'12"O	168.18
C10	128.78	318.77	32°24'56"	63.70	128°30'47"O	128.64
C11	78.18	42.00	88°28'00"	48.22	881°29'12"O	83.82

NOTE

THIS PLAN WAS DEVELOPED BY TRACKING A SCANNED IMAGE OF THE ORIGINAL HAND-DRAWN STANDARD GRADE PLAN AND TOPOGRAPHIC SURVEY BY REVISED NORTH, ROSE & THOMPSON DATED DECEMBER 16, 1997, JOB #878. ADDITIONAL IMPROVEMENTS AT THE SOUTHERLY END OF THE BUILDING AND PARKING & TRIPWAYS WERE MAPPED BY LINDA A. WARRICK, USING A COMBINATION OF FIELD AND EXISTING PLAN INFORMATION. ANTICIPATED USE OF THIS PLAN'S GRAPHICAL REPRESENTATION ONLY FOR CITY APPROVAL PURPOSES. DUE TO SCAN COVER AND INHERENT ERRORS IN TRACKING SCANNED IMAGES, CARE SHOULD BE TAKEN IF THIS PLAN IS USED FOR DETAILED DESIGN AND CONSTRUCTION PURPOSES.

GENERAL NOTES:

- PROPERTY SURVEY: SEE SURVEY SHEET
- PROPOSED NEW UTILITIES TO BE LOCATED IN THE SAME TRENCH AS UTILITIES ABANDONED AS PART OF PRIOR BUILDING DEMOLITION AT THIS SITE.
- EXISTING EXTERIOR LIGHTING IS ADEQUATE FOR THE PROPOSED DEVELOPMENT. BUILDING MOUNTED LIGHTING TO OCCUR AT POINTS OF BUILDING INGRESS/EGRESS.
- PROPOSED BUILDING TO BE PROVIDED WITH WET SPRINKLER SYSTEM. FIRE DEPARTMENT CONNECTION TO BE PROVIDED.
- LOADING FOR PROPOSED BUILDING TO BE THROUGH ENTRY DOORS OF BUILDING TENANT(S).
- FOR COMPLETE INFORMATION REGARDING EXISTING SITE CONDITIONS SEE SITE SURVEY SHEET.
- NEW UTILITIES FOR PROPOSED OFFICE BUILDING TO INCLUDE:
4" SPRINKLER SERVICE
2" DOMESTIC WATER SERVICE
SEWER CONNECTION TO EXISTING 4" CAST IRON ELECTRICAL SERVICE ON SITE
- REFER TO DRAWING L1.2 FOR LAYOUT, GRADING AND UTILITIES
- NEW DUMPSTER LOCATION SHOWN TO BE SCREENED WITH ENCLOSURE AND GATE. SEE ENCLOSURE DETAIL.
- ALL NEW PLANTING BEDS TO BE EXCAVATED TO A MIN. OF 4". REPLACE SOIL WITH CLEAN TOPSOIL ACCORDING TO SPECIFICATION.
- CONTRACTOR RESPONSIBLE FOR REMOVAL, STORAGE AND RELOCATION OF LIGHT FIXTURES, PER OWNERS INSTRUCTION.

EXISTING SITE INFORMATION:

AREA OF SITE:

PARCEL A	73,188 +/- SF
PARCEL B	631,820 +/- SF
PARCEL C	47,044 +/- SF
	751,844 +/- SF 17.28 +/- AC

EXISTING DEVELOPMENT	SEE STORM WATER MANAGEMENT REPORT
EXISTING GREEN SPACE	SEE STORM WATER MANAGEMENT REPORT
REVISED SITE DEVELOPMENT	SEE STORM WATER MANAGEMENT REPORT
REVISED GREEN SPACE	SEE STORM WATER MANAGEMENT REPORT

SOIL TYPES:

- SCANTIC SILT LOAM
- HOLLIS FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES

PARKING REQUIREMENTS:

EXISTING OCCUPANCIES:

MBNA	30,000 SF @ 1/400	= 75
COMMUNITY HEALTH	22,500 SF @ 1/400	= 56
ANDOVER COLLEGE		
CLASSROOM	19,820 SF @ 1/100	= 198
ADMINISTRATION	34,880 SF @ 1/400	= 87

NEW CONSTRUCTION:

NEW BUILDING	27,600 GSF @ 1/400	= 69
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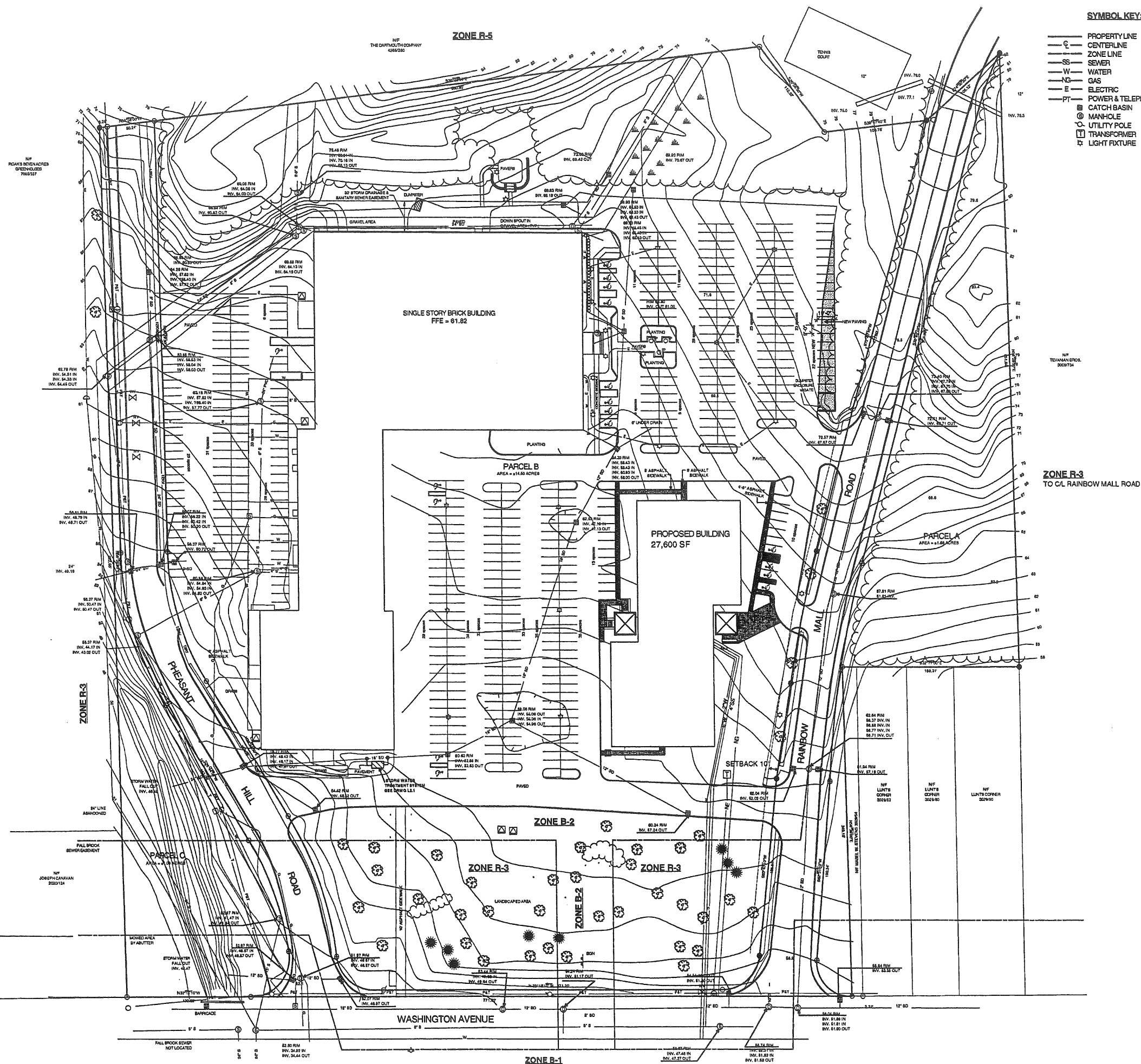
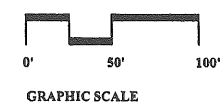
TOTAL PARKING REQUIRED	= 483
TOTAL PARKING ADDED (UPPER LOT)	= 22
TOTAL EXISTING LOTS AFTER CONSTRUCTION	= 500
TOTAL AFTER CONSTRUCTION	= 522
TOTAL EXCESS PARKING AFTER CONSTRUCTION	= 39

ZONING:

SITE ZONE B-2
ABUTTING ZONES R-3, R-5, B-1



1 SITE PLAN
L1.1 SCALE 1" = 50'



SYMBOL KEY:

- PROPERTY LINE
- CENTERLINE
- ZONE LINE
- S— SEWER
- W— WATER
- G— GAS
- E— ELECTRIC
- PT— POWER & TELEPHONE
- CATCH BASIN
- MANHOLE
- UTILITY POLE
- TRANSFORMER
- LIGHT FIXTURE

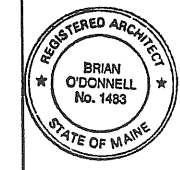
DRAWING NO.
L1.1
SITE PLAN

HKTA / architects, inc.
100 Main Street
Portland, Maine 04101
HKTA / architects
phone: 207.775.0016
e-mail: hktai@hktai.com

DATE: 05/05/2000
REVISIONS:
A 07/06/2000

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WASHINGTON PARK
NEW BUILDING
J. B. Brown & Sons
Portland, Maine

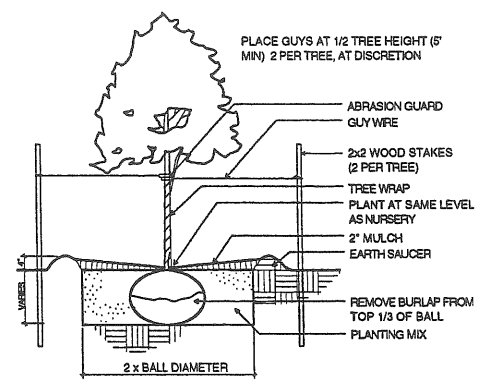


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4 Milk Street
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HKTA / architects
phone: 207.774.6016
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e-mail: hktai@aol.com

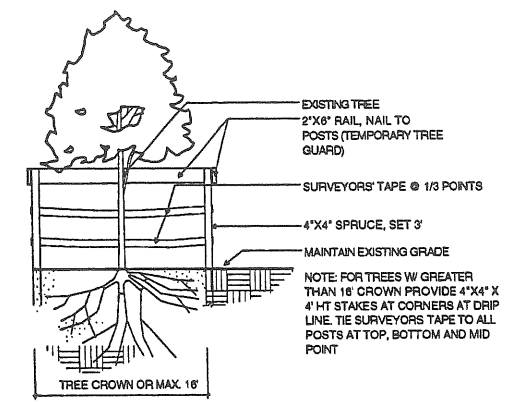
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A 07/08/2000
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WASHINGTON PARK
NEW BUILDING
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Portland, Maine

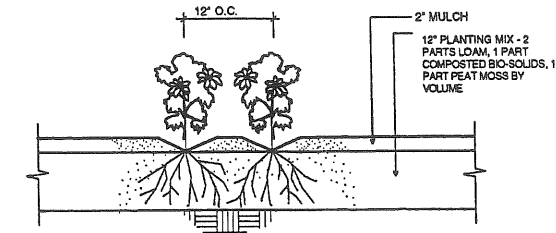
REGISTERED ARCHITECT
BRIAN O'DONNELL
No. 1483
STATE OF MAINE



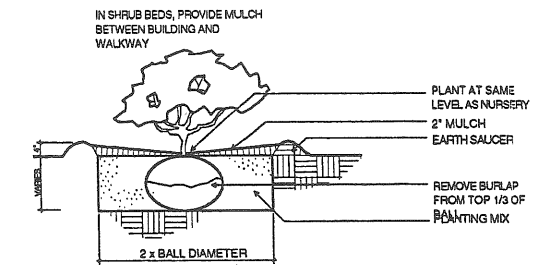
1 DETAIL - DECIDUOUS TREE PLANTING
L1.3 SCALE: 1/2" = 1'-0"



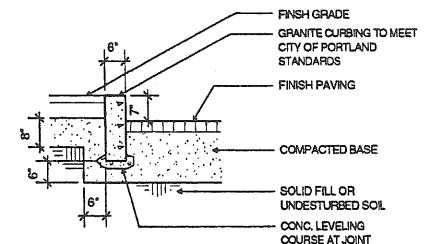
2 DETAIL - TREE PROTECTION BARRIER
L1.3 SCALE: 1/2" = 1'-0"



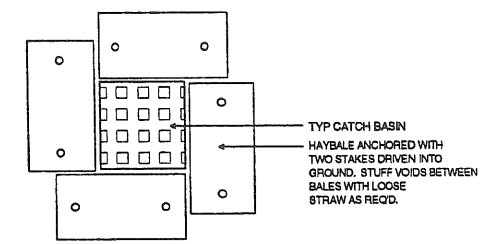
3 DETAIL - PERENNIAL PLANTING
L1.3 SCALE: 1" = 1'-0"



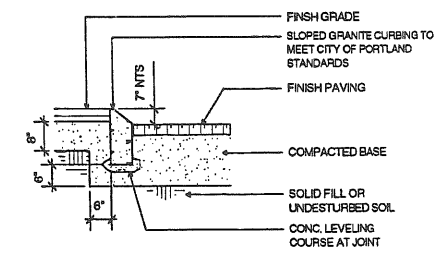
4 DETAIL - SHRUB PLANTING
L1.3 SCALE: 1/2" = 1'-0"



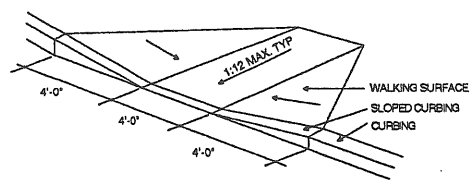
5 DETAIL - VERTICAL GRANITE CURBING
L1.3 SCALE: 1/2" = 1'-0"



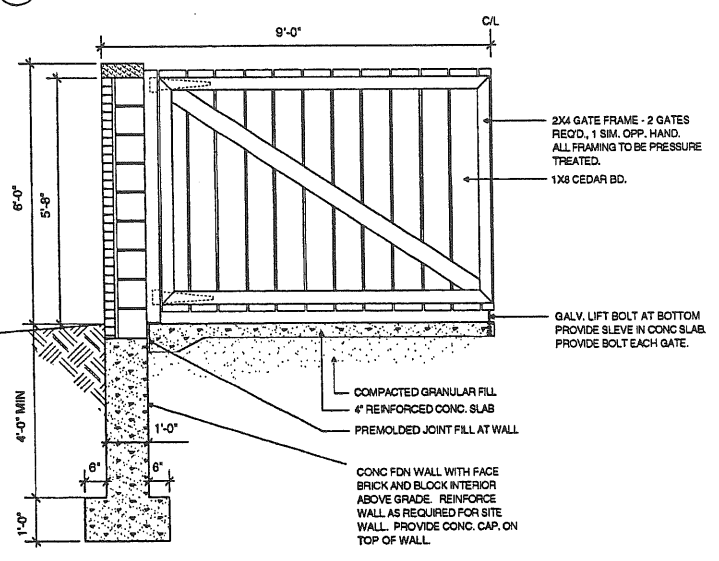
9 PLAN - SEDIMENT CONTROL STRUCTURE
L1.3 SCALE: 1/2" = 1'-0"



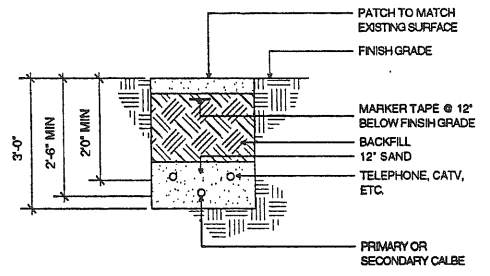
12 DETAIL - SLOPED GRANITE CURBING
L1.3 SCALE: 1/2" = 1'-0"



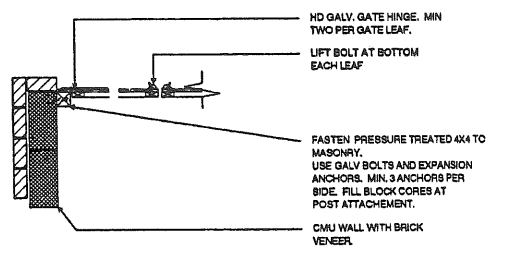
6 DETAIL - HANDICAP RAMP
L1.3 SCALE: NTS



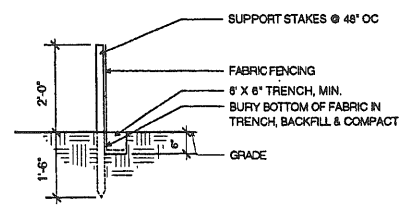
10 DETAIL - ENCLOSURE GATE
L1.3 SCALE: 1/2" = 1'-0"



7 DETAIL - ELEC. TRENCH
L1.3 SCALE: 1/2" = 1'-0"
NOTE: PROVIDE CONDUIT UNDER ALL WALKS, ROADS, AND PARKING AREAS.



11 DETAIL - HINGE SUPPORT
L1.3 SCALE: 1/2" = 1'-0"



8 SECTION - SEDIMENT CONTROL FENCE
L1.3 SCALE: 1/2" = 1'-0"

HKTA / architects, inc.
4 Mill Street
Portland, Maine 04101
H K T A / a r c h i t e c t s
phone: 207.764.6016
fax: 207.764.6016
e-mail: hktai@earthlink.net

DATE: 05/05/2000
REVISIONS:
- A 07/06/2000
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WASHINGTON PARK
NEW BUILDING
J. B. Brown & Sons
Portland, Maine

REGISTERED ARCHITECT
BRIAN O'DONNELL
No. 1463
STATE OF MAINE

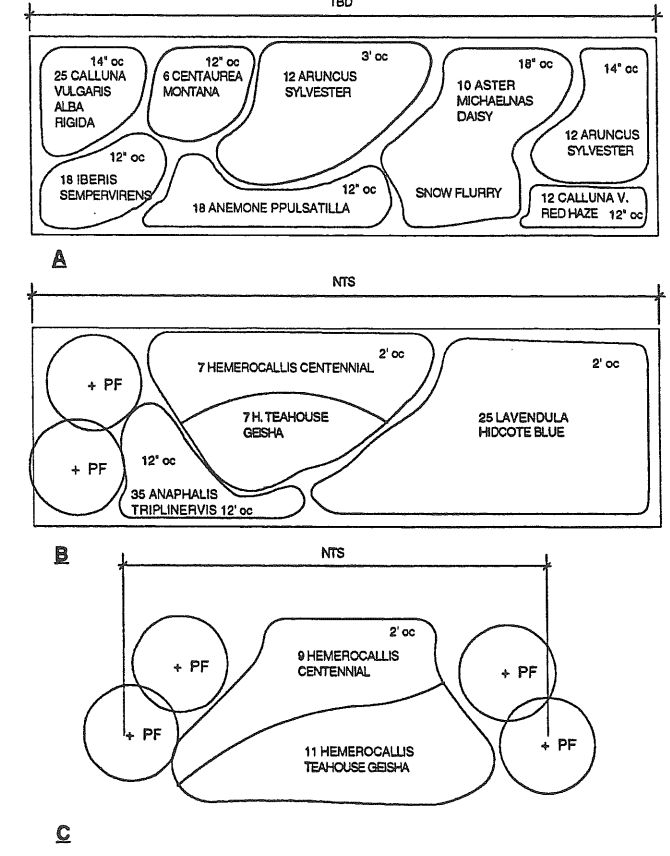
GENERAL NOTES:

- SEE DRWG FOR BLDG LOCATION, UTILITIES AND GENERAL NOTES.
- ALL PLANTS SHALL MEET OR EXCEED AMERICAN NURSEYMEN'S ASSOCIATION STANDARDS, CURRENT EDITION.
- LIGHTING FOR PROPOSED BUILDING SHALL BE BUILDING MOUNTED, 70 HPS AT EMERGENCY EGRESS. LIGHTS SHALL MEET IES STANDARDS.
- ALL SURFACES NOT OTHERWISE BUILT UPON OR LANDSCAPED SHALL RECEIVE 6" LOAM AND SEEDED IN LAWN.
- PLACE EROSION CONTROL DEVICES AROUND EXISTING C&B WITHIN DISTURBED AREAS. SEE DTL DRWG.
- DO NOT SCALE. DRAWING DIMENSIONS CONTROL.
- LANDSCAPING SHALL MEET THE "ARBOICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING WITHOUT LIMITATION: TOPOGRAPHY; DRAINAGE; LANDSCAPING; RETENTION OF WOODED OR LAWN AREAS; ACCESS; SIZE, LOCATION, AND SURFACING OF PARKING AREAS; LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES SHALL BE UNDERGROUND.
- SIDEWALKS AND CURBING SHALL BE DESIGNED AND BUILT WITH TIP DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED IN ACCORDANCE WITH MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION. BEST MANAGEMENT PRACTICES PUBLISHED BY THE CUMBERLAND COUNTY SOIL AND WATER CONSERVATION DISTRICT AND MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 1991 OR LATEST EDITION.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES. (SEE ABOVE)
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.

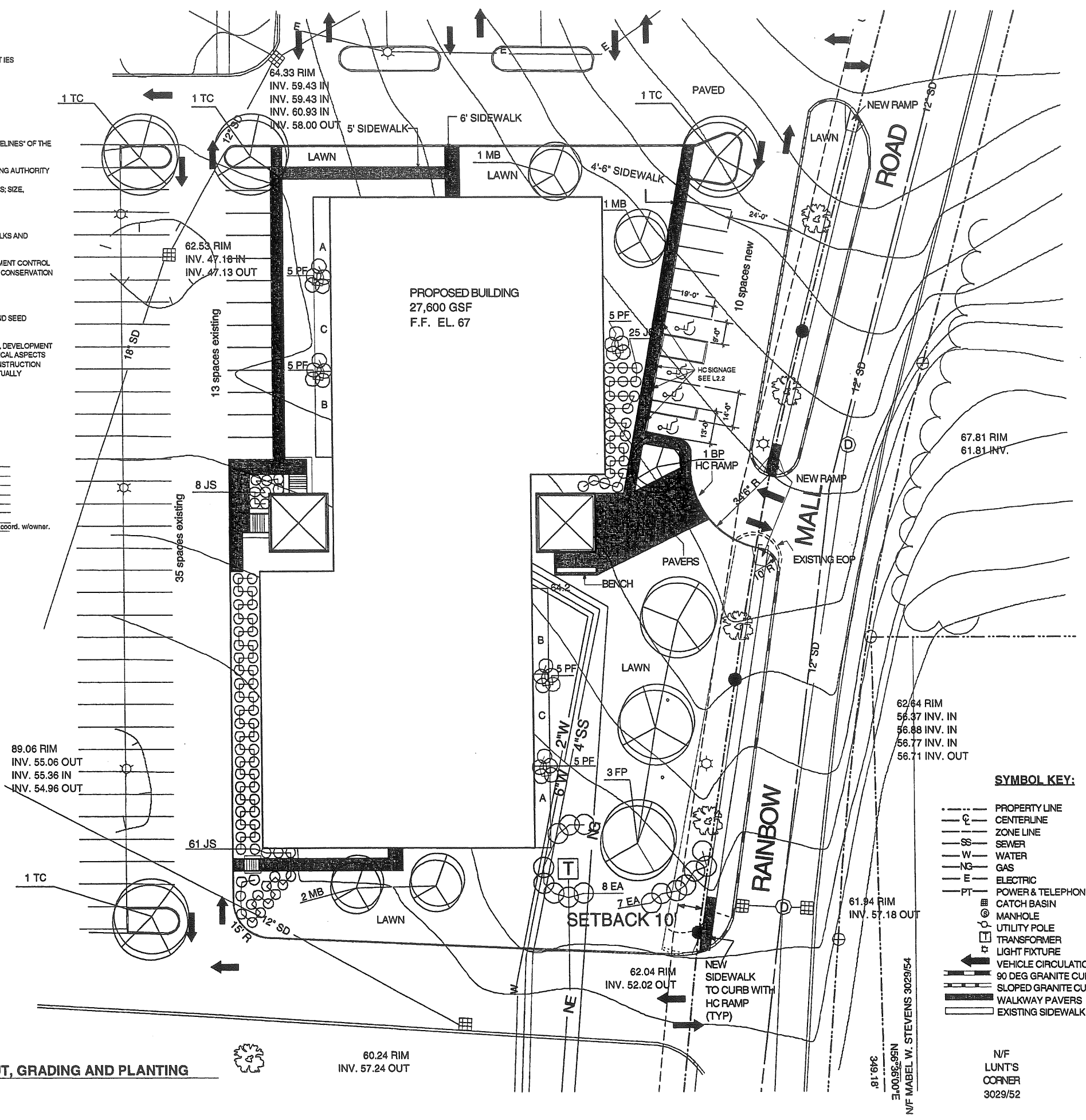
PLANT LIST:

NO.	KEY	BOT. NAME	COMMON NAME	SIZE	ROOT	NOTES:
3	FP	Fraxinus lanceolata	Marshall seedless ash	2.5-3" cal	B & B	-
1	BP	Betula papyrifera	Paper birch	2-2.5" cal	B & B	3 stem clumps
4	MB	Malus baccata	Siberian crab	2" cal	B & B	Select
0	TC	Tilia cordata	Little leaf linden	2.5-3" cal	B & B	Select
15	EA	Euonymus alatus Compaeta	Dwarf burning bush	2.5-3" ht.	B & B	-
94	JS	Juniperus Sabina Arcadia	Arcadia tam juniper	18-24" spaced	B & B	Plant 6" o.c.
440	-	Perennials varia	Mixto perennial	3 year	cont. or division	Established plants coord. w/owner.
37	PF	Pieris floribunda	Ml. Andromeda	15-18"	B & B	-

PERENNIAL PLANTING



1 SITE PLAN LAYOUT, GRADING AND PLANTING
L1.4
SCALE 1" = 20'



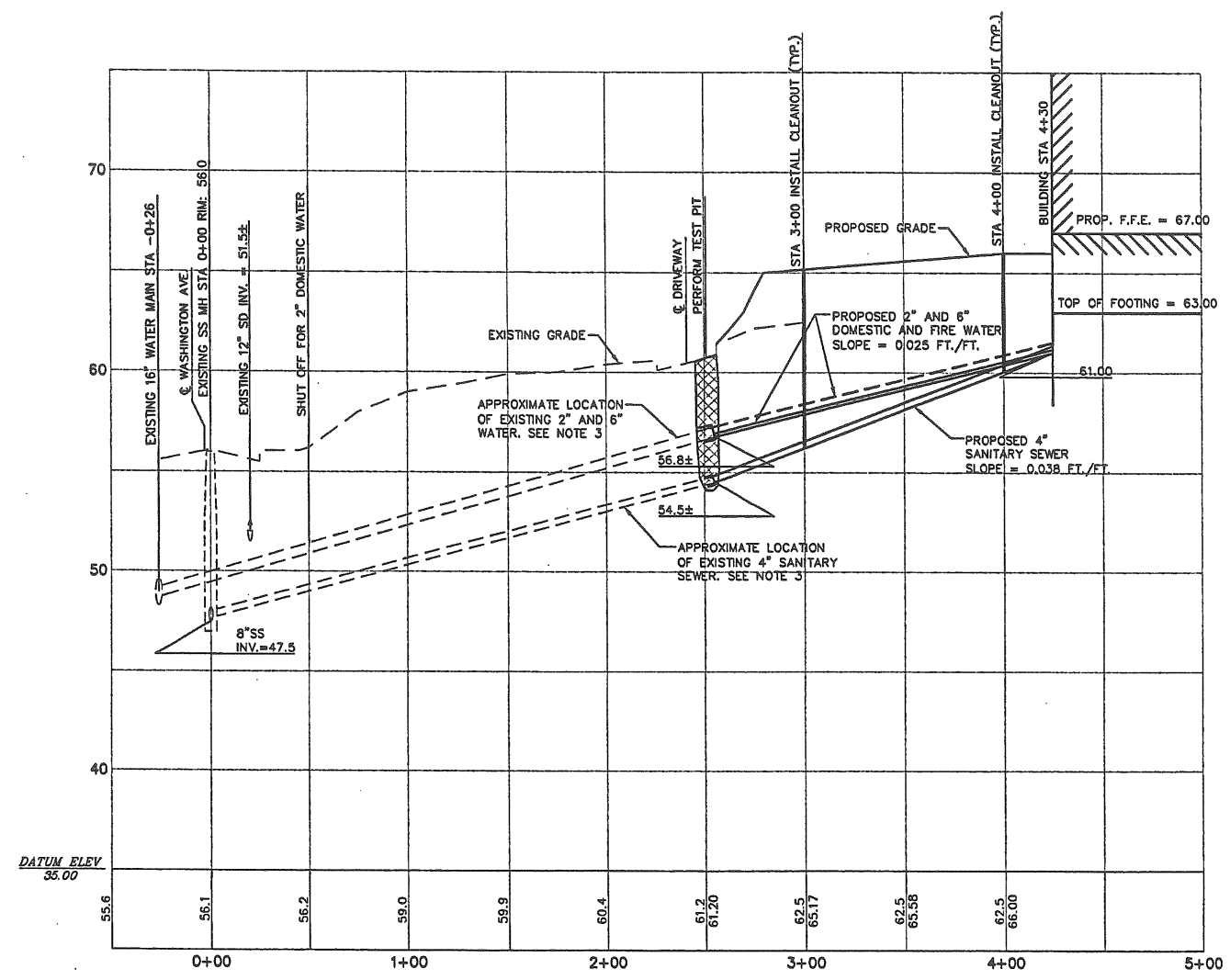
- SYMBOL KEY:**
- PROPERTY LINE
 - C- CENTERLINE
 - Z- ZONE LINE
 - S- SEWER
 - W- WATER
 - G- GAS
 - E- ELECTRIC
 - PT- POWER & TELEPHONE
 - ⊠ CATCH BASIN
 - ⊙ MANHOLE
 - ⊕ UTILITY POLE
 - ⊞ TRANSFORMER
 - ⊛ LIGHT FIXTURE
 - ➔ VEHICLE CIRCULATION
 - ▬ 90 DEG GRANITE CURB
 - ▬ SLOPED GRANITE CURB
 - ▬ WALKWAY PAVERS
 - ▬ EXISTING SIDEWALK

N/F
LUNT'S
CORNER
3029/52

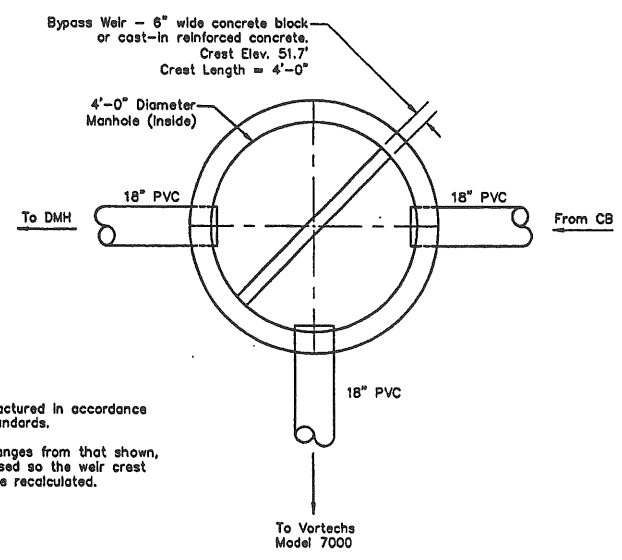
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DATE: 04/05/2000
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Portland, Maine



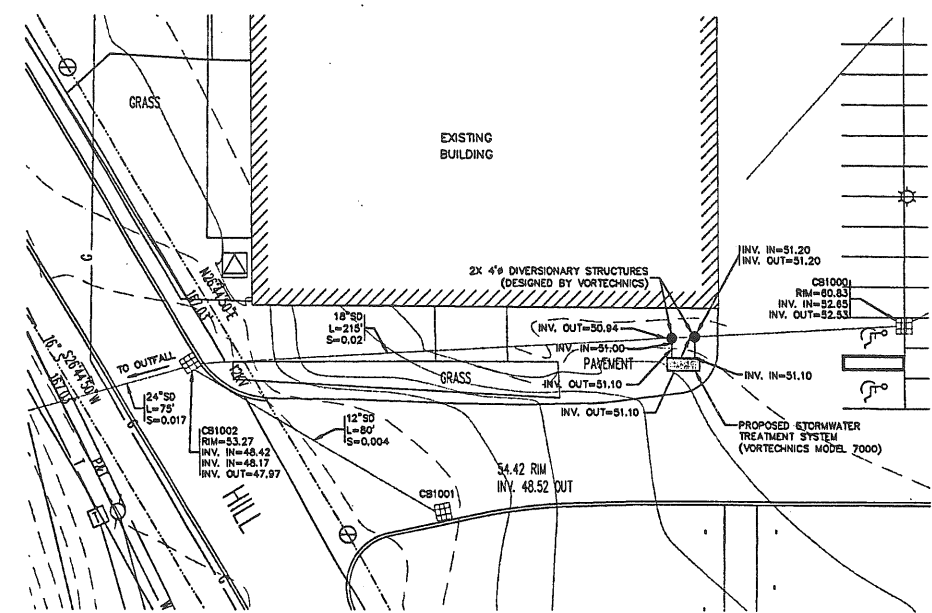
SANITARY SEWER AND WATER PROFILE
HORIZ. SCALE: 1"=40'
VERT. SCALE: 1"=4'



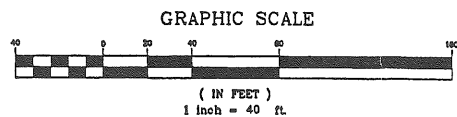
PROPOSED BYPASS STRUCTURE
N.T.S.

- NOTES:**
1. Manhole shall be manufactured in accordance with all applicable local standards.
 2. If manhole diameter changes from that shown, Vortechs should be advised so the weir crest length and elevation can be recalculated.

- NOTES:**
1. ALL REQUIRED AND NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL SERVICE CONNECTIONS.
 2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR THE ELEVATION OF THE EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THIS INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AND DIG SAFE AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 3. THE EXACT LOCATION AND ELEVATION OF THE EXISTING SANITARY SEWER, DOMESTIC WATER AND SPRINKLER WATER ARE TO BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. LOCATION OF TEST PIT SHOWN ON PROFILE TO BE VERIFIED.
 4. REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF BUILDING UTILITY ENTRANCE POINTS.
 5. CLEANOUTS TO BE INSTALLED AT CHANGES IN DIRECTION AND EVERY 100 LF ALONG LENGTH OF PROPOSED SANITARY SEWER AS SHOWN ON PLANS.



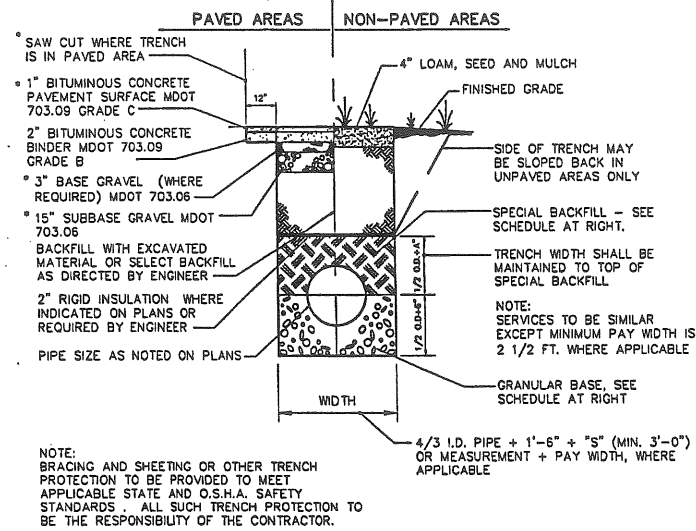
SITE PLAN
N.T.S.



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DRAWN: JBC DATE: 04/27/00
DESIGNED: LSA SCALE: AS NOTED
CHECKED: MJD JOB NO. 2040
FILE NAME: 2040-PROFILE.DWG

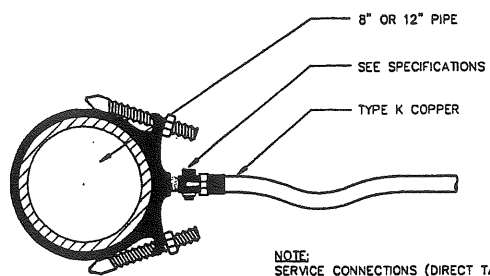




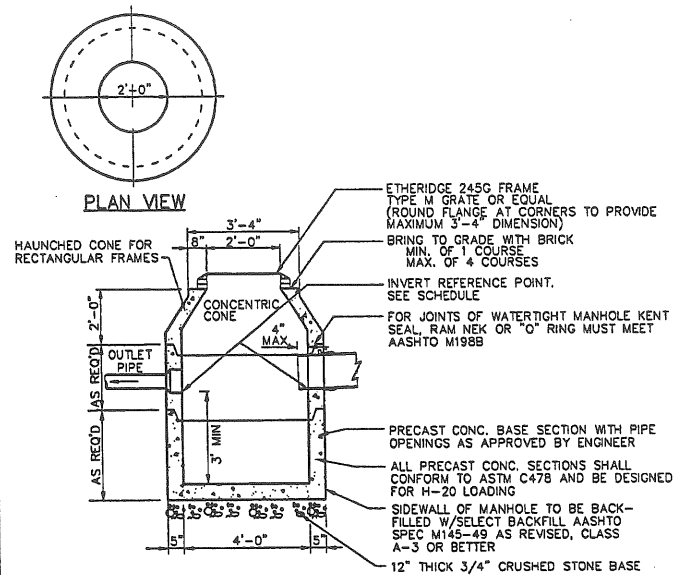
SCHEDULE OF BASE BACKFILL

TYPE OF PIPE	BEDDING MATERIAL	SPECIAL BACKFILL	SPECIAL BACKFILL COVER "A" (IN)	SELECT BACKFILL
CONCRETE	GRANULAR AASHTO M145-49 A-3 OR BETTER	GRANULAR AASHTO M145-49 A-3 OR BETTER	12	GRANULAR AASHTO M145-49 A-3 OR BETTER
PVC	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6	GRANULAR AASHTO M145-49 A-3 OR BETTER
CMP	3/4" CRUSHED STONE	GRANULAR AASHTO M145-49 A-3 OR BETTER	6	GRANULAR AASHTO M145-49 A-3 OR BETTER

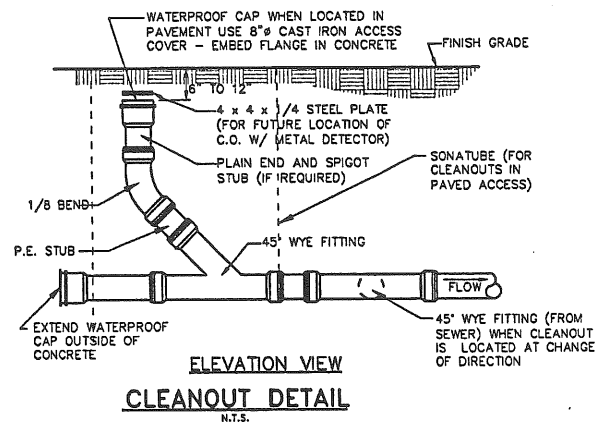
TYPICAL SEWER AND STORM DRAIN TRENCH SECTION
N.T.S.



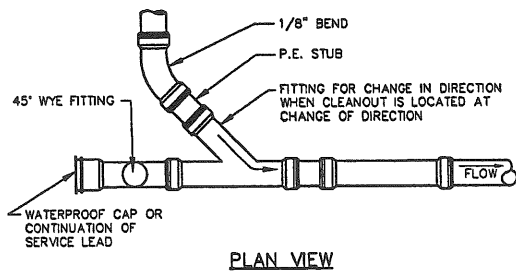
(1 1/2" AND 2 1/2" C.C. OR IRON PIPE THREAD)
SERVICE SADDLE
N.T.S.



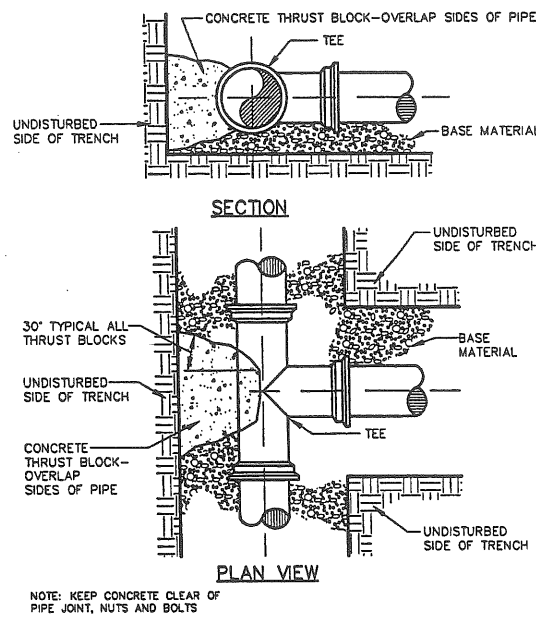
4'-0" PRECAST CATCH BASIN
N.T.S.



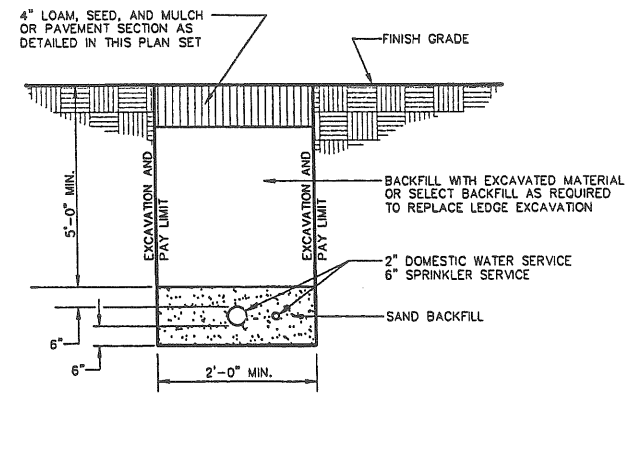
NOTE:
CLEANOUTS TO BE USED WHEN:
1) CHANGE OF DIRECTION IS 45° AND OVER
2) EVERY 100' ON STRAIGHT SERVICE RUNS, WHEN THE CLEANOUT IS LOCATED IN AN AREA WHICH IS CURRENTLY PAVED OR PLANNED TO BE PAVED, THE CLEANOUT SHALL BE ENCASED IN CONCRETE. THE CONCRETE SHALL BE FORMED USING A 30" SONATUBE. A 6x6/10x10 WELDED WIRE MESH SHALL BE USED FOR CONCRETE REINFORCEMENT.



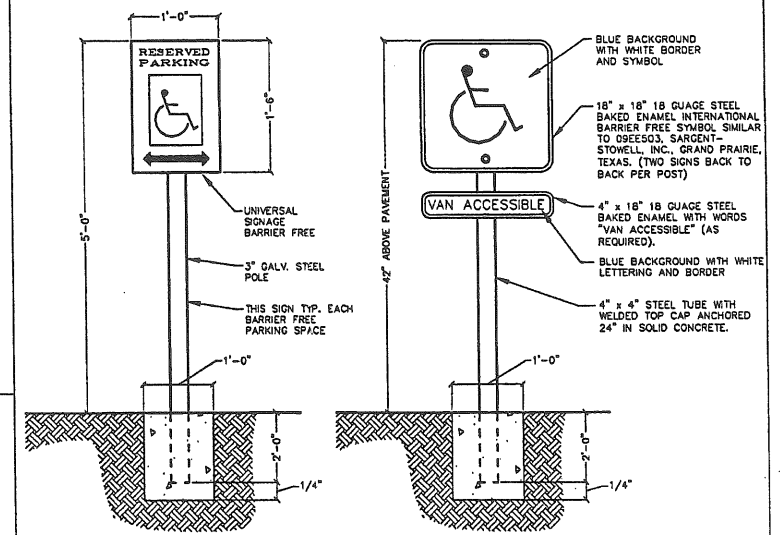
CLEANOUT DETAIL BELOW WYE FITTING OF CLEANOUT
N.T.S.



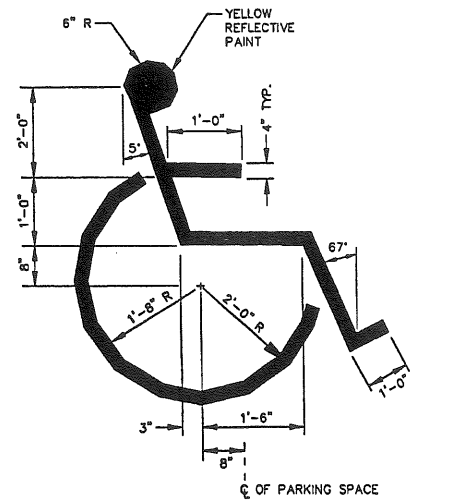
TYPICAL THRUST BLOCK PLACEMENT ON TEES
N.T.S.



WATER SERVICES TRENCH SECTION
N.T.S.



BARRIER FREE PARKING SIGNS
N.T.S.



INTERNATIONAL BARRIER FREE SYMBOL
N.T.S.

DRAWING NO.
L2.2
SITE UTILITY AND SIGNAGE DETAILS

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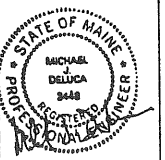
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Washington Park
New Building
J. B. Brown & Sons
Portland, Maine

WASHINGTON PARK
NEW BUILDING
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DRAWN: JBC DATE: 04/24/00
DESIGNED: LSA SCALE: NTS
CHECKED: MJD JOB NO. 2040
FILE NAME: 2040-DET.DWG

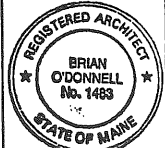


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Portland, Maine



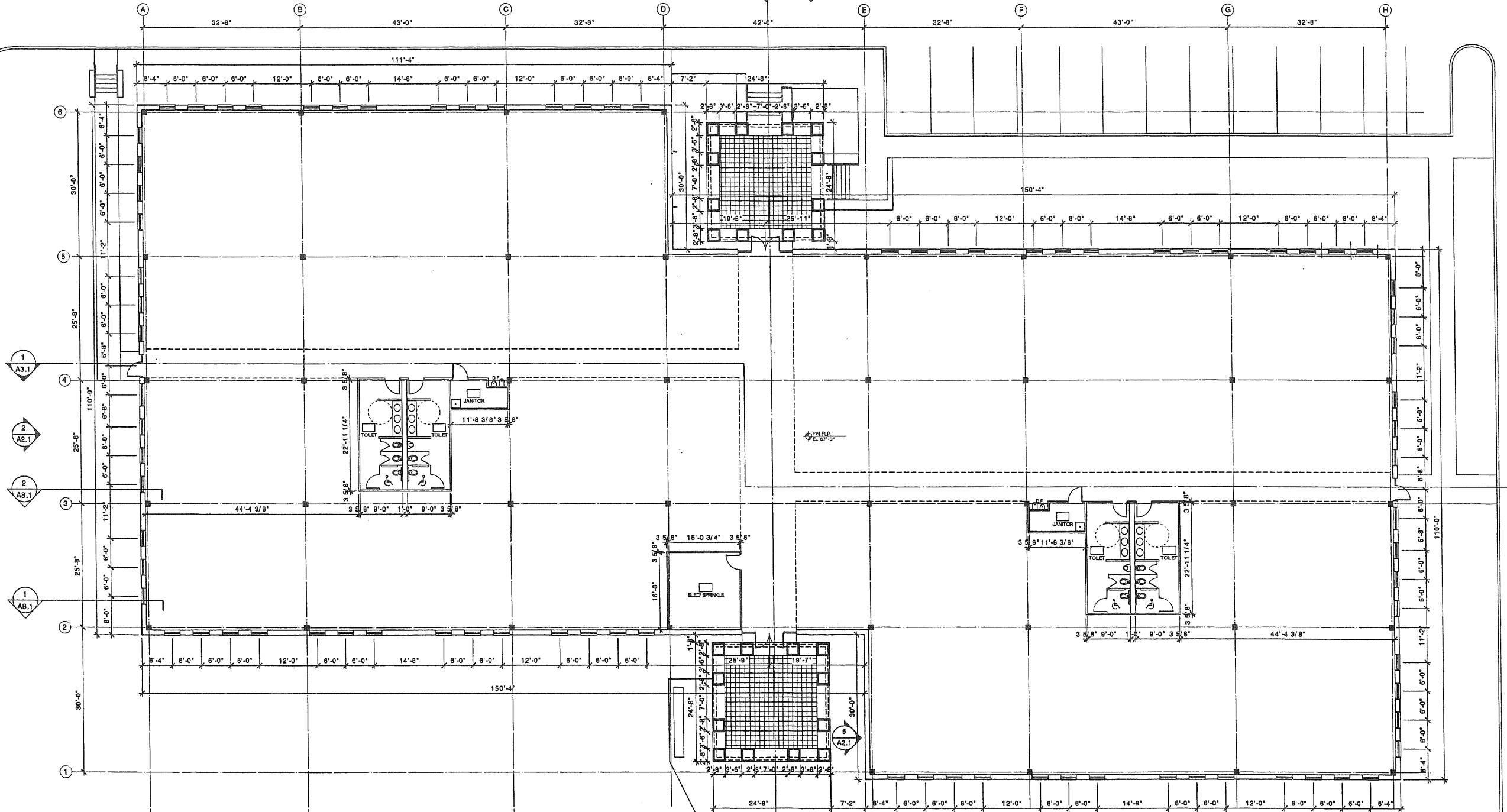
GENERAL NOTES:

1. ALL INTERIOR PARTITIONS ARE 3 5/8" METAL STUD UNLESS DIMENSIONED OTHERWISE. FILL ALL NEW PARTITIONS W/ ACOUSTIC BATT INSULATION TO FILL CAVITY WIDTH. CAULK AT TOP & BOTTOM WITH ACOUSTIC SEALANT EACH SIDE OF STUD TRACK TYPICAL.
2. WALL DIMENSIONS ON PLAN ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. ALL DOOR OPENINGS TO BE FRAMED 4" FROM NEAREST ADJACENT WALL UNLESS NOTED OTHERWISE.
4. SEE DWG L1.2 LAYOUT & GRADING PLAN FOR ALL WALKS AND PAVING AROUND BUILDING. SEE STRUCTURAL DRAWINGS FOR STRUCTURAL CONCRETE SLABS AT EXTERIOR DOORS.
5. BUILDING SHALL BE PROTECTED THROUGHOUT BY AN AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH NFPA 13 AND BOCA BUILDING CODE IF APPLICABLE.
6. INTERIOR WALLS SHALL BE CONSTRUCTED FULL-HEIGHT TO DECK OR STRUCTURE ABOVE UNLESS NOTED OTHERWISE. PROVIDE APPROPRIATE SLIP TRACK AT TOP OF METAL STUD WALLS TO ALLOW DEFLECTION OF STRUCTURE ABOVE.
7. FOUNDATION DRAINS SHALL BE INSTALLED AS SHOWN ON THE PLAN. PROVIDE MIN 6" CRUSHED STONE WRAPPED WITH A GEOTEXTILE FILTER FABRIC AROUND DRAIN PIPE. RUN ALL DRAINS TO A POSITIVE GRAVITY OUTLET.

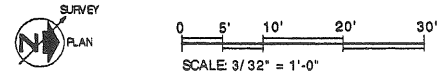
WALL KEY:

- 3 5/8" METAL STUDS, 1 LAYER 5/8" GWB EACH SIDE, 4" ACOUSTIC BATT INSULATION, ACOUSTIC SEALANT EACH SIDE AT TOP & BOTTOM STUD TRACKS (TYPICAL WALL SITUATION)
- 3 5/8" METAL STUDS, ONE LAYER 5/8" TYPE-X GWB EACH SIDE, 4" ACOUSTIC BATT INSULATION, ACOUSTIC SEALANT EACH SIDE AT TOP & BOTTOM STUD TRACKS
- INDICATES INTERIOR WALLS TO BE BUILT TO HEIGHT INDICATED. BRACE TOPS OF WALLS TO STRUCTURE ABOVE @ 6' O.C. MAX. ALL OTHER WALLS TO BE FULL HEIGHT
- FIRE EXTINGUISHER AND CABINET
- FIRE EXTINGUISHER AND WALL BRACKET

NOTES:
ALL WALLS ARE TO BE ACOUSTICALLY INSULATED. ACOUSTIC BATT INSULATION IN WALLS SHALL EXTEND FROM FLOOR TO ABOVE SUSPENDED CEILING AND EXTEND THREE FEET HORIZONTALLY AT CEILINGS TO EITHER SIDE OF WALLS. SET BOTTOM WALL TRACK IN CONTINUOUS BEAD OF ACOUSTIC SEALANT - TYPICAL.



1 FLOOR PLAN
A1.1 Scale: 3/32"=1'-0"



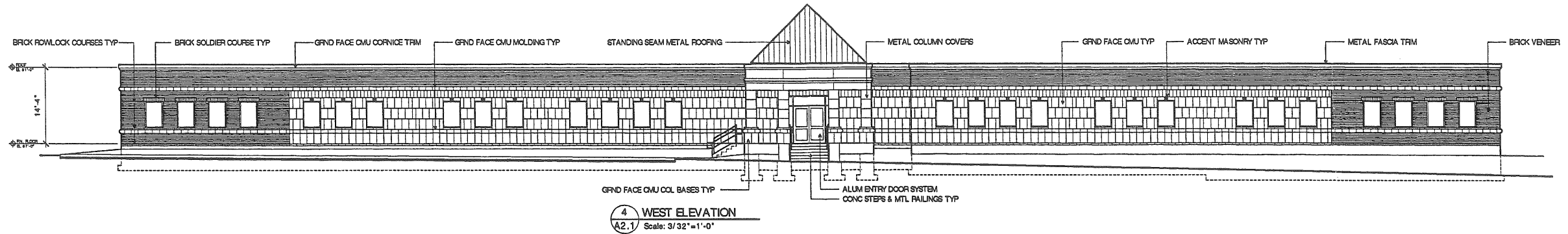
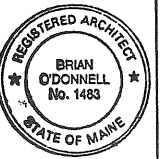
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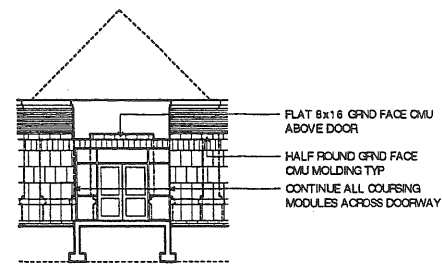
DATE: 05/5/2000
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08/20/2000

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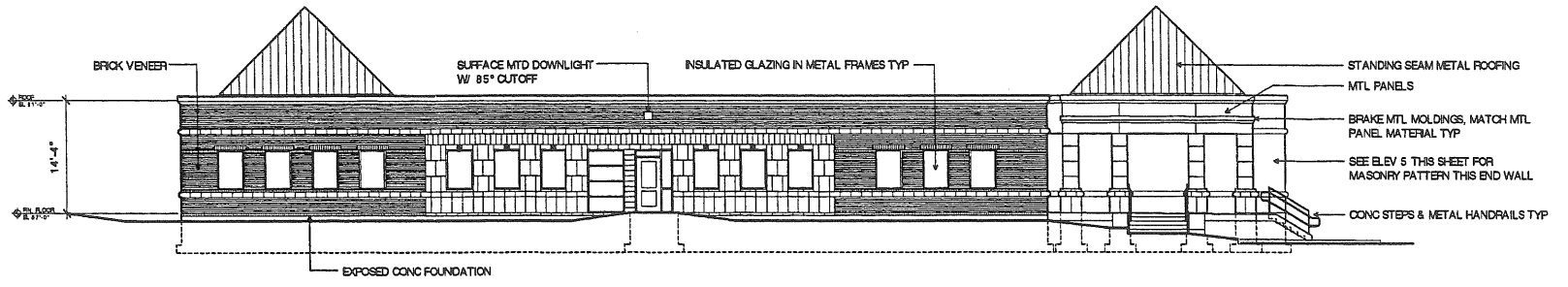
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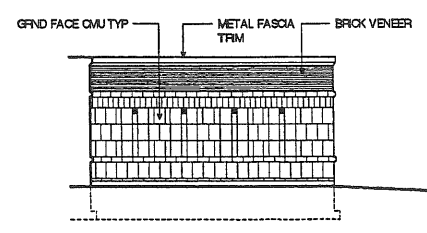
4 WEST ELEVATION
A2.1 Scale: 3/32"=1'-0"



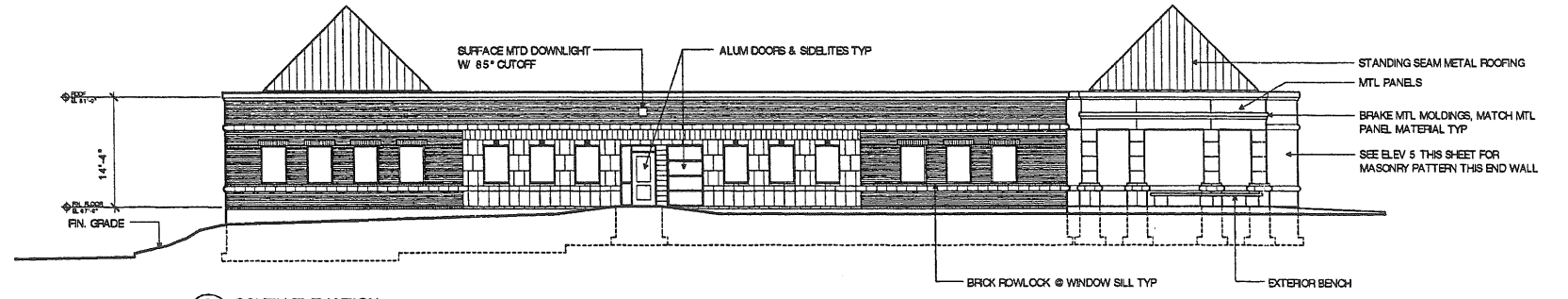
6 PARTIAL ELEVATION - ENTRY
A2.1 Scale: 3/32"=1'-0"



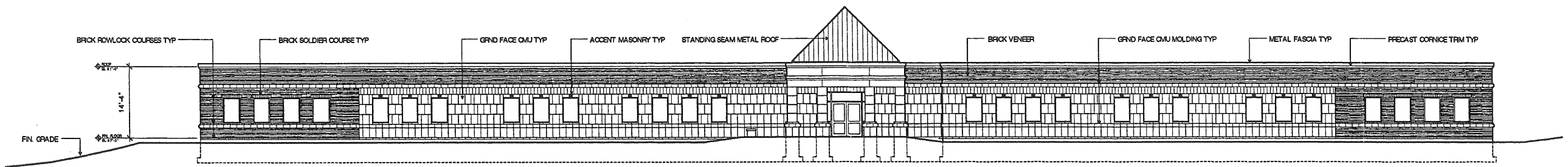
3 NORTH ELEVATION
A2.1 Scale: 3/32"=1'-0"



5 PARTIAL ELEVATION - ENTRY CORNER END
A2.1 Scale: 3/32"=1'-0"



2 SOUTH ELEVATION
A2.1 Scale: 3/32"=1'-0"



1 EAST ELEVATION
A2.1 Scale: 3/32"=1'-0"

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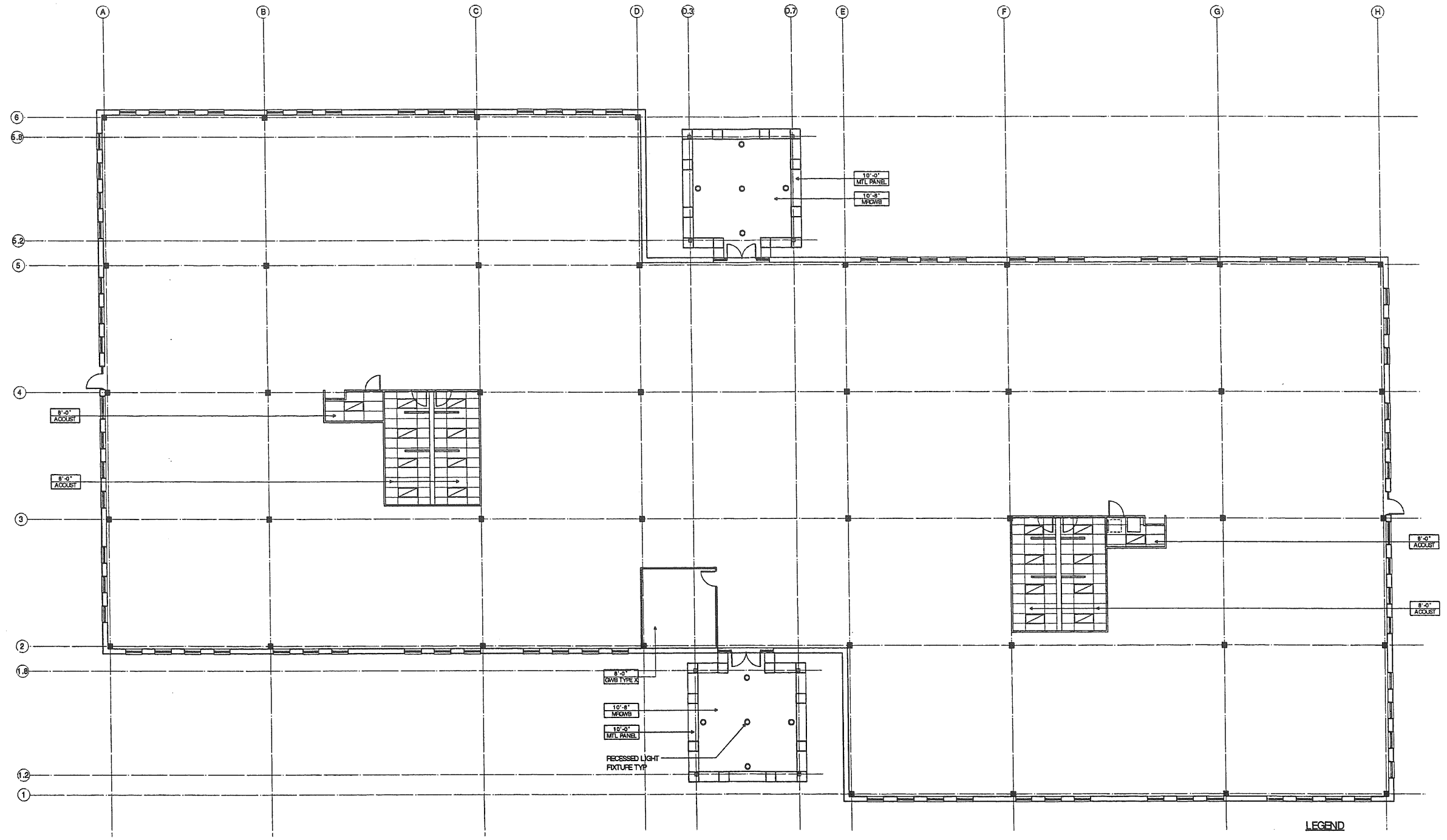
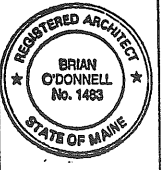
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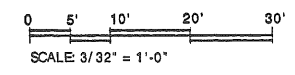
1 REFLECTED CEILING PLAN
A5.1 Scale: 3/32" = 1'-0"

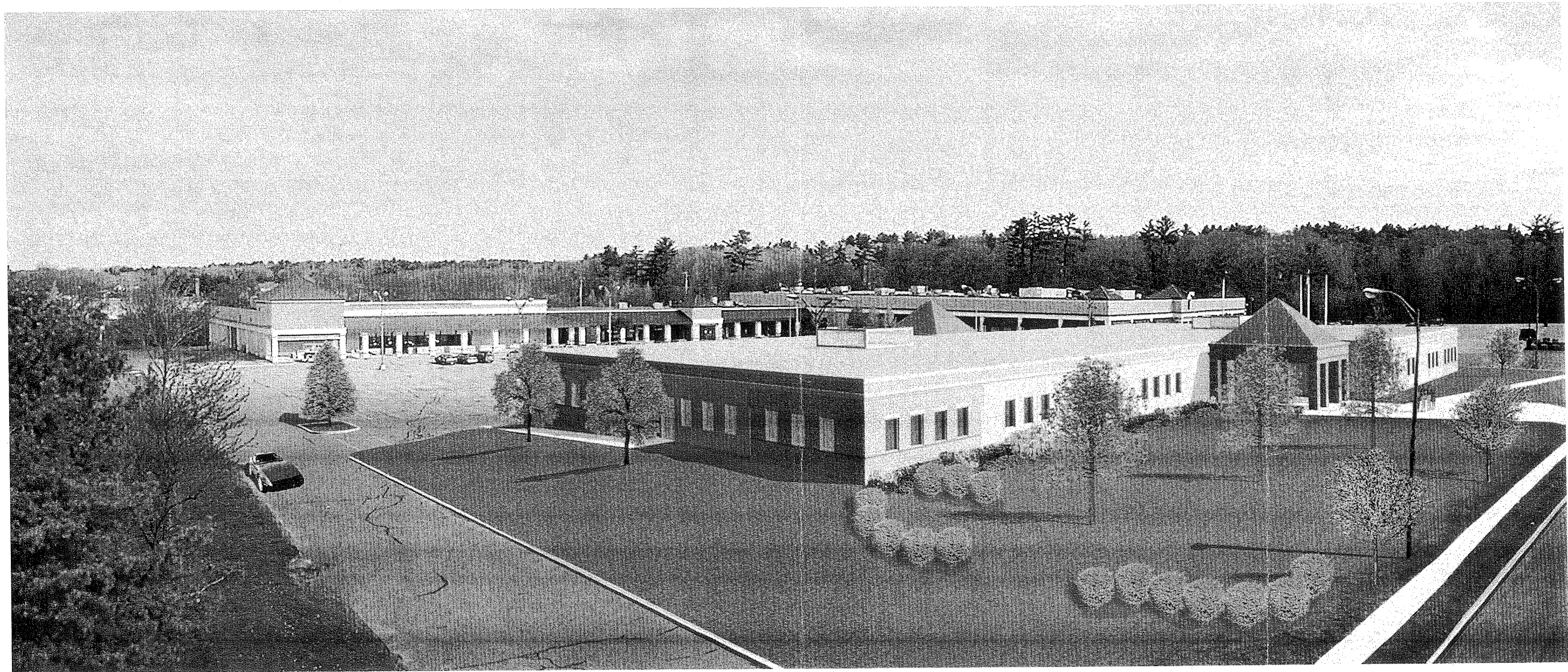
GENERAL NOTES

1. LOCATION OF LIGHT FIXTURES ARE FOR PLANNING AND ILLUSTRATION ONLY. ACTUAL LIGHTING AND POWER DISTRIBUTION DESIGN TO BE PROVIDED BY ELECTRICAL CONTRACTOR PER ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES. CONFIRM WITH OWNER ALL PROPOSED LIGHTING LAYOUTS.
2. MECHANICAL DIFFUSERS, SUPPLY AND RETURN AIR GRILLS NOT SHOWN. ACTUAL DESIGN AND PLACEMENT OF HVAC DISTRIBUTION DEVICES TO BE BY MECHANICAL CONTRACTOR. ALL DUCTWORK IS PLANNED TO RUN ABOVE THE SUSPENDED CEILING SYSTEM. HVAC DEVICES ARE TO BE SYMMETRICALLY PLACED IN CEILING. COORDINATE WITH HVAC COMPONENTS IN REMAINDER OF BUILDING FOR COMPATIBILITY AND SERVICE.
3. COORDINATE LIFE SAFETY DEVICES WITH INSTALLATION OF CEILINGS.
4. PROVIDE COMPLETE SPRINKLER SYSTEM PER NFPA 13. COORDINATE WITH STATE FIRE MARSHAL'S OFFICE FOR SPRINKLER APPROVAL. THE SPRINKLER SYSTEM TO FIRE ALARM AND OTHER BUILDING SYSTEMS AS REQUIRED BY CODE.

LEGEND

- 2'-0" x 4'-0" SUSPENDED ACCUSTICAL CEILING TILE
- RECESSED 2'-0" x 4'-0" FLUORESCENT LIGHT FIXTURE (REFER TO ELECTRICAL DRAWINGS)
- WALL-MOUNTED FIXTURE (REFER TO ELECTRICAL DRAWINGS)
- RECESSED DOWNLIGHT (REFER TO ELECTRICAL DRAWINGS)
- 4'-0" LAMP FLUORESCENT W/RAILING, HANG FROM JOIST (REFER TO ELECTRICAL DRAWINGS)
- 9'-0" ACoust CEILING HEIGHT
ACoust CEILING MATERIAL





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NEW OFFICE BUILDING AT WASHINGTON PARK
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NEW OFFICE BUILDING AT WASHINGTON PARK
J.B. BROWN AND SONS, PORTLAND, MAINE