



# PROPOSED INTERIOR RENOVATION

# Spurwink Services

901 Washington Avenue, Portland, ME 04101

Date: 10/28/14

ARCHITECT  
**Graham Architects**  
59 Mills Road  
Kennebunkport, ME 04046  
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LIST OF DRAWINGS		DATE ISSUED
A-0	COVER SHEET	07.24.14
EX-1	EXISTING CONDITIONS PLAN	
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## BUILDING CODE DATA

### Current Codes Used for Code Information

Maine State Building Code	2009
IBC International Building Code	2009
IEBC Int Existing Building Code	2009
IECC Int Energy Conservation Code	2009
NFPA 101, Life Safety Code	2009

### INTERIOR FINISH CLASSIFICATION

ROOMS & SPACES - CLASS C

## PROJECT DATA

CODE: MAINE STATE BUILDING CODE

AMENDMENTS, SEE ABOVE

PROJECT NAME: 901 WASHINGTON AVENUE RENOVATION

PROJECT ADDRESS: 901 WASHINGTON AVENUE, PORTLAND, ME 04101

PARCEL ID: CBL 170 F001001

ZONING CLASSIFICATION: B2

OCCUPANCY TYPE: BUSINESS (B),

THE BUILDING IS SPRINKLED

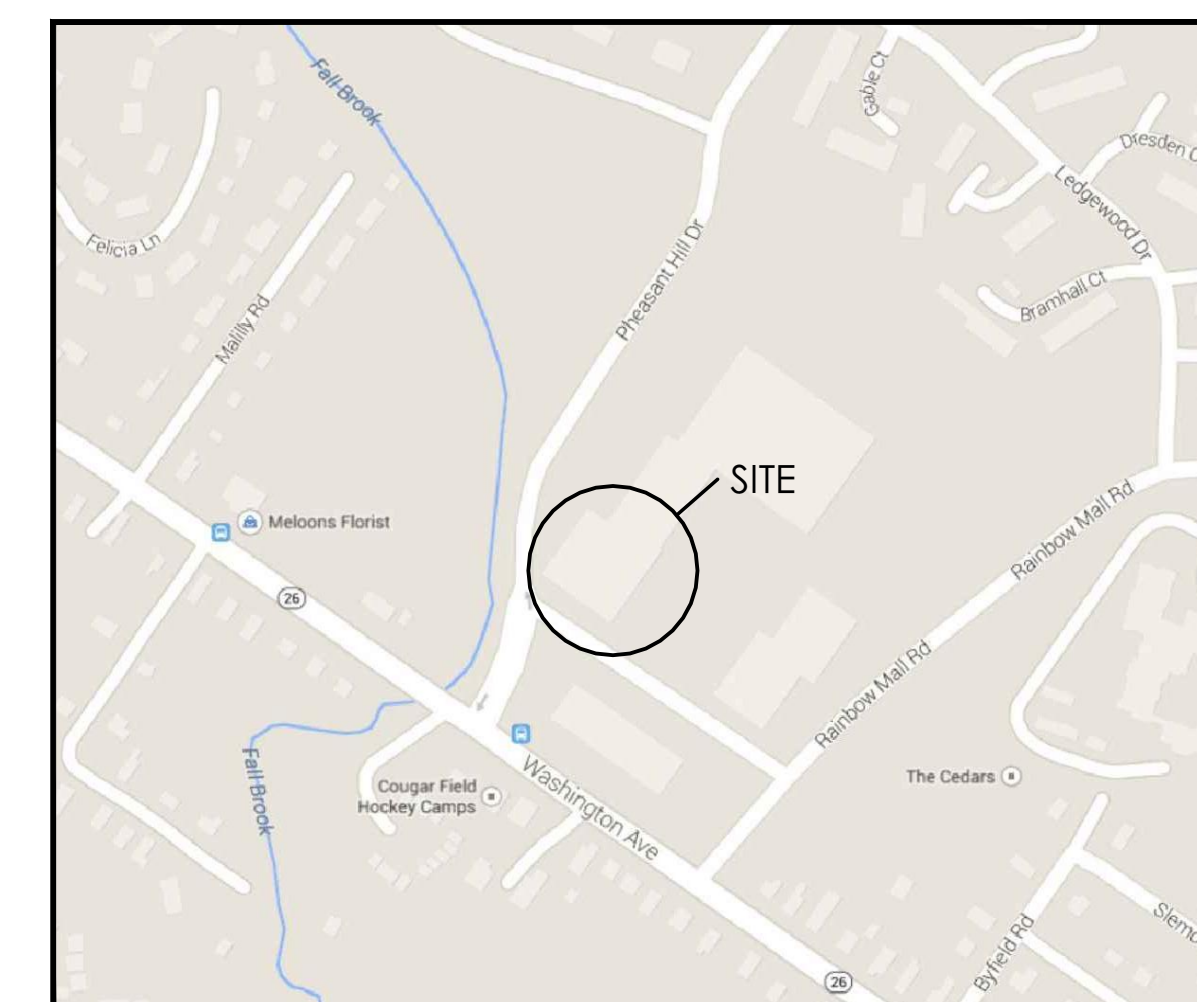
AREA IS PART OF A LARGER BUSINESS OCCUPANCY

NUMBER OF STORIES AT CONSTRUCTION AREA: 1 STORIES

CONSTRUCTION TYPE: TYPE II (B)

AFFECTED GROSS AREA OF CONSTRUCTION SQR. FOOTAGE: 20,140 S.F.

## LOCATION MAP



GENERAL CONTRACTOR

STRUCTURE ENGINEER

MEP ENGINEER

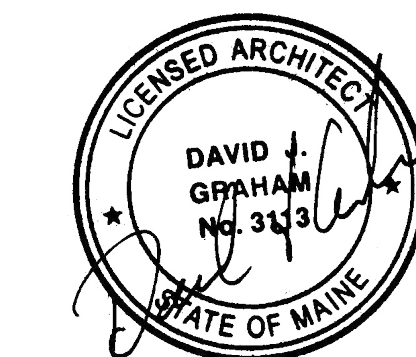
CLIENT

Spurwink Services  
879 Riverside Street  
Portland, ME 04103

PROJECT

Spurwink Services

901 Washington Ave.  
Portland, ME 04101



ISSUED FOR PERMIT

INFORMATION

Path: M:/boulos/spurwink

Issue Date: 07.24.14

Drawn By: djg

Checked By: djg

Revision:

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TITLE  
COVER PAGE

SCALE N.T.S.

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# A-0

## ABBREVIATIONS

A	F	M	S
ABV. ABOVE	FAB. FABRICATE	MFR. MANUFACTURER	SAF. GL. SAFETY GLASS
A.F.F. ABOVE FINISHED FLOOR	FAS. FASTEN	MRS. MARBLE	S.N.D. SANITARY NAPKIN DISPENSER
A.D. ACCESS DOOR	F.GL. FIBER GLASS	MAS. MASONRY	SCHED. SCHEDULE
AC.BD. ACOUSTICAL BOARD	F.F. FINISH FLOOR	M.O. MASONRY OPENING	SINT. SINT.
AC.CDG. ACOUSTICAL CEILING	F.F. FIRE EXTINGUISHER	MAX. MAXIMUM	SMLS. SEAMLESS
ACT. ACOUSTICAL TILE	F.E.C. FIRE EXTINGUISHER	MEMB. MEMBRANE	SECT. SECTION
ADJ. ADJUSTABLE	F.H.C. FIRE HOSE CABINET	MTL. METAL	SEP. SEPARATE
AG. AGGREGATE	F.H.R. FIRE HOSE RACK	MTL. L. METAL LATH	SERV. SERVICE
ALT. ALTERNATE	F.PRF. FIRE PROOFING	M. METER	S.S. SERVICE SINK
AL. ALUMINUM	FLG. FLASHING	MEZZ. MEZZANINE	SHWR. SHOWER
ANCH. ANCHOR	F.H.S. FLAT HEAD SCREW	MM. MILLIMETER	SH. SHEET
A.B. ANCHOR BOLT	FL. FLOOR	MLWK. MILLWORK	SIM. SIMILAR
ANOD. ANODIZED	F.D. FLOOR DRAIN	MIN. MINIMUM	S.C. SOLID CORE
ARCH. ARCHITECT	FL. MTD. FLOOR MOUNTED	MISC. MISCELLANEOUS	SPCL. SPECIAL
ASPH. ASPHALT	FT. FOOT	MOD. MODULE	SPEC. SPECIFICATION
ASSY. ASSEMBLY	FDN. FOUNDATION	MLDG. MOULDING	SQ. SQUARE
	FUT. FUTURE	MTG. MOUNTING	S. STL. STAINLESS STEEL
		MULL. MULLION	STD. STANDARD
			STL. STEEL
			S.D. STORM DRAIN
			STRUC. STRUCTURAL
			SURF. SURFACE
			SUSP. SUSPEND
			SUSP. CLUSPENDED CEILING

B	G	N	T
BSMT. BASEMENT	GAL. GALLON	NAT. NATURAL	TEL. TELEPHONE
BM. BEAM	GALV. GALVANIZED	NOM. NOMINAL	TEMP. TEMPERED
B.M. BENCH MARK	GA. GAUGE	N.I.C. NOT IN CONTRACT	T.C. TERRA GOTTA
BTWN. BETWEEN	GL. GLASS	N.I.S. NOT TO SCALE	TEBR. TERRAZZO
BT. BITUMINOUS	GR. GRADE		THK. THICKNESS
BLK. BLOCK	GRAN. GRANITE		THD. THREAD
BLKG. BLOCKING	GYP. BD. GYPSUM BOARD		THRESH. THRESHOLD
BK. BRICK	GYP. PLASGYPSUM PLASTER		T.ACC. TOILET ACCESSORY
BLDG. BUILDING			T.P.D. TOILET PAPER DISPENSER
B.U.R. BUILT-UP ROOFING			T.O.C. TOP OF CURB

C	H	O	U
CAB. CABINET	HOW. HARDWARE	O.C. ON CENTER	U.C. UNDERCUT
CPT. CARPET	HD. HEAD	OPNG. OPENING	U.L. UNDERWRITERS INC.
C.I.P. CAST-IN PLACE	HT. HEIGHT	OPP. OPPOSITE	UR. URINAL
C.I. CAST IRON	H.P.T. HIGH POINT	OP.HD. OPPOSITE HAND	U.N.O. UNLESS NOTED OTHERWISE
C.L.G. CEILING	H.C. HOLLOW CORE	O.P.HD. OPPOSITE HAND	
CEM. CEMENT	H.B. HOSE BIBB	O.D. OUTSIDE DIAMETER	
CTR. CENTER	HR. HOUR	O.A. OVERALL	
C.L. CENTER LINE		O.VHD. OVERHEAD	
CER. CERAMIC		O.Z. OUNCE	
C.T. CERAMIC TILE		OXY. OXYGEN	
CLO. CLOSET			
COL. COLUMN			
CONC. CONCRETE			
C.M.U. CONCRETE MASONRY UNIT			
CONST. CONSTRUCTION			
C.J.T. CONTROL JOINT			
CONT. CONTINUOUS			
CSK. COUNTERSUNK			
CUB.F. CUBIC FOOT			

D	J	K	V
DP. DAMPROOFING	JT. JOINT	K.PL. KICK PLATE	VAC. VACUUM
DET. DETAIL	JST. JOIST	KO. KNOCKOUT	V.B. VAPOR BARRIER
DA. DIAMETER		KW. KILOWATT	VAR. VARIES
DM. DIMENSION			VERT. VERTICAL
DR. DOOR			V.W.C. VINYL WALL COVERING
DN. DOWN			V.C.T. VINYL COMPOSITION TILE
DWG. DRAWING			VNR. VENEER
D.F. DRINKING FOUNTAIN			
DW. DRYWALL			
D. DEPTH			

E	L	Q	W
EA. EACH	LBL. LABEL	QTY. QUANTITY	W.T.W. WALL TO WALL
ELAS. ELASTIC	L.B. LAG BOLT	Q.T. QUARRY TILE	W.H. WALL HUNG
E.D.F. ELECTRIC DRINKING FOUNTAIN	L.A.M. LAMINATE		W.C. WATER CLOSET
EL. ELEVATION	L.W. LAUNDRY		WP. WATER PROOFING
ELEV. ELEVATOR	L.T. LIGHT		WND. WINDOW
ENCL. ENCLOSURE	LT. WT. LIGHT WEIGHT		W.W.F. WELDED WIRE FABRIC
EQ. EQUAL	L.W.C. LIGHT WEIGHT CONCRETE		WD. WOOD
EQUIP. EQUIPMENT	LMS. LIMESTONE		W.P. WORK POINT
EXH. EXHAUST	L.F. LINEAR FEET		W.L. WROUGHT IRON
EXST. EXISTING	LNTL. LINTEL		W/O. WITHOUT
EXP. EXPANSION	LG. LONG		W/ WITH
EXP.ANCH. EXPANSION ANCHOR	LVL. LOW POINT		W. WIDTH
EXP.BLT. EXPANSION BOLT	L. LENGTH		
EXP.JT. EXPANSION JOINT			
EXT. EXTERIOR			

R	Y
RAB. RABBIT	YD. YARD
RAD. RADIUS	
RE. REFER, REFERENCE	
R.D. ROOF DRAIN	
RFS. ROOFING	
REFL. REFLECTED	
REINF. REINFORCE	
REDD. REQUIRED	
R.A. RETURN AIR	
REV. REVISE	
R.O.W. RIGHT OF WAY	
R. RISER	
RM. ROOM	
R.O. ROUGH OPENING	
RUB. RUBBER	

## SYMBOLS

ACOUSTICAL TILE	MARBLE, TRAVERTINE
ALUMINUM	PLASTER
BRASS, BRONZE	PLYWOOD
BRICK	STEEL
CONCRETE	STONE, GRANITE
CONCRETE MASONRY UNITS	TERRAZZO
EARTH	TILE CERAMIC OR QUARRY
GLASS	WOOD BLOCKING OR SHIMS
GYPSUM WALL BOARD	WOOD- FINISHED
INSULATION BATT OR BLANKET	WOOD- ROUGH
INSULATION- RIGID	

## GENERAL NOTES

- The intent of the drawings is to include items necessary for the proper execution and completion of the work. The contractor shall review all drawings, and carefully verify existing conditions for coordination before proceeding with the work. The Architect shall be notified immediately of any discrepancy.
- All work shall be done in an orderly and professional manner. The Contractor is responsible for coordinating work to be done by its subcontractors, with local authorities, state agencies, or utility companies which may have jurisdiction over this project.
- All contractors shall visit the site at designated times to review existing conditions and should verify the location of existing utilities before commencing work.
- All utility extensions and connections shall be done in accordance with the State of Maine and the City of Portland laws. In case of conflict, the most restrictive rule applies.
- Exterior wall is existing and not affected in this scope unless otherwise noted.
- Interior partition shall be Type 1-Typical, unless noted otherwise.
- In all cases, dimensions take precedence over scale.
- All building elevations are taken from the site elevation 0'-0" as related to ground floor top of slab elevation.
- Contractor shall provide 2x wood blocking nested in steel studs for support/fastening of specialties and accessories where indicated on the drawings.
- Drywall contractor shall be responsible for providing additional (secondary) bracing, or stiffening framing required to meet the maximum deflection values specified for the height limitations of partition types indicated on drawings.
- Installation of systems shall be made only by persons properly trained and qualified to install the specific system being provided. The installer shall certify that the installation is in complete agreement with the terms of the listing and the manufacturer's instructions for the approved system design.
- Bottom stud channel-track of light steel stud framing walls and partitions shall be fastened to floor slabs. Top stud channel-track shall be properly secured to the underside of the floor structure above conforming with their corresponding wall or partition type. Nest top track to account for deflection.
- General Contractor shall be responsible to incorporate and coordinate the thru floor concrete work such as floor electrical and telephone and data "furnished-by-others" systems.
- All interior joints between dissimilar materials, installed by the same or different trade, shall receive "caulking." General Contractor shall be responsible to delegate "caulking" work to the joint sealants sub-contractor.

## REFERENCE

GLAZING TYPE	ENTRY 100
ROOM/SPACE NUMBER	X-690
EQUIPMENT NUMBER	
REVISION	
REVISION CLOUD	
INTERIOR ELEVATION	AS
EXTERIOR ELEVATION	3/A7.1
TEST BORING	TB-1
NEW OR REQUIRED POINT ELEVATION	+461.00
EXISTING POINT ELEVATION	+461.00
NEW CONTOURS (ELEV. NOTED ON HIGH SIDE)	320
EXISTING CONTOURS (ELEV. NOTED ON HIGH SIDE)	318
FLOOR LINES IN EXTERIOR ELEVATION CENTER LINES	
BREAK LINE	
PROPERTY LINES, BOUNDARY LINES	
MATCH LINE	
REFERENCE OR LEVEL LINE	
COLUMN REFERENCE GRIDS	B
TOILET ACCESSORY	3
SECTION/DETAIL WITH SHEET REFERENCE	5 A-7
BUILDING SECTION	3 AB.1
PARTITION TYPE	A
ENLARGED PLAN REFERENCE	4 A-2
ENLARGED DETAIL REFERENCE	4 A-3
NORTH ARROW	
PROJECT NORTH ARROW	
DOOR DESIGNATION	3
FINISH SCHEDULE	Flooring Wall Base

DO NOT SCALE DRAWINGS





Date: 10/28/14

**GENERAL ARCHITECTURAL NOTES**

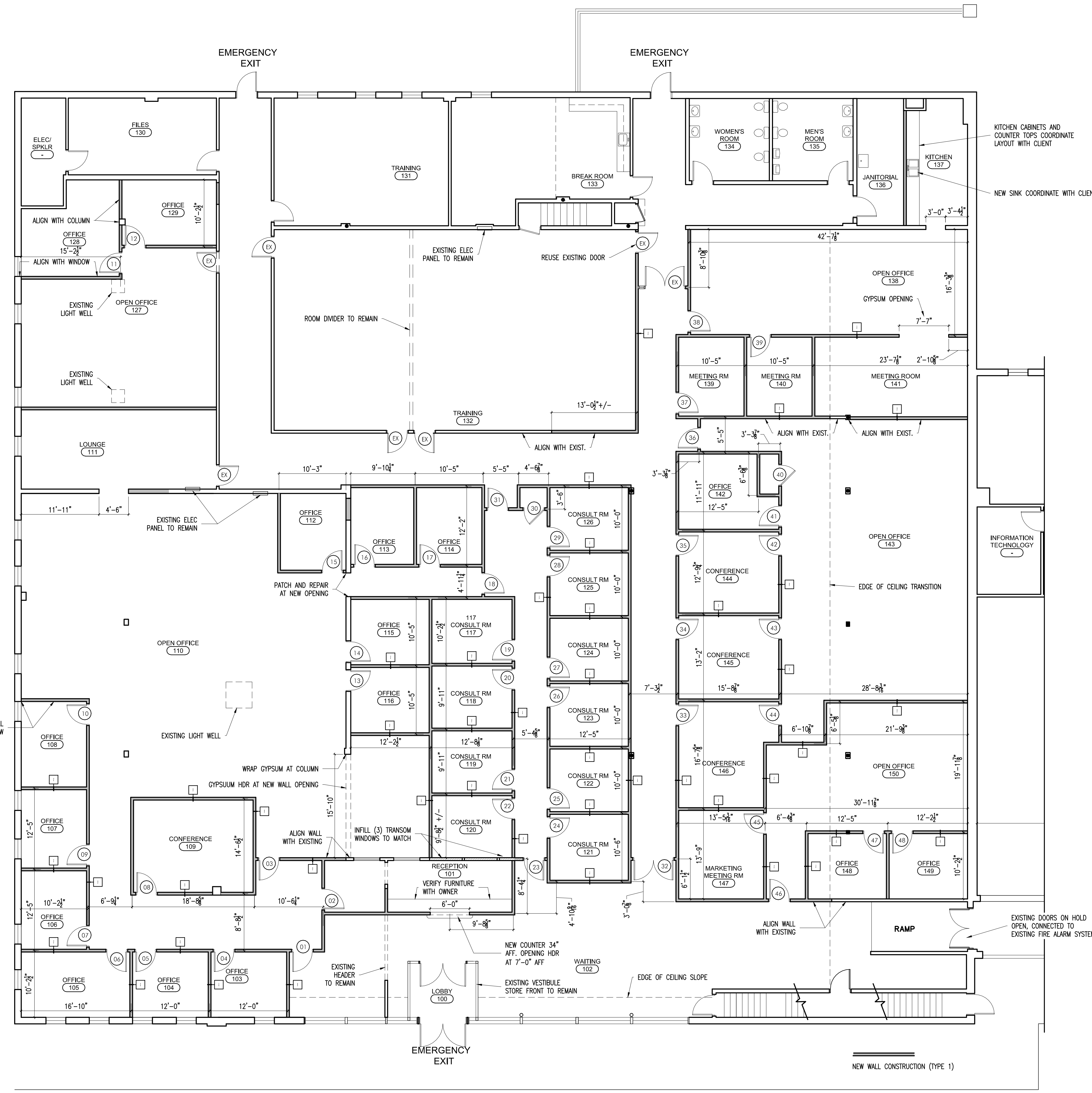
- ALL DIMENSIONS SHOWN ARE FROM FACE OR EXTERIOR WALLS TO CENTER OF WALLS OR COLUMN LINE AS INDICATED.
- CONTRACTOR TO PROVIDE BLOCKING CONCEALED WITHIN PARTITION FOR SECURE ATTACHMENT OF ALL MILLWORK CONSTRUCTION, GRAB BARS AND EQUIPMENT.
- ALL DOOR OPENINGS TO BE OFFSET 6" FROM FINISH FACE OF PERPENDICULAR PARTITION, U.N.O.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE, AND IN PROPER ALIGNMENT.

**GENERAL HVAC & PLUMBING NOTES**

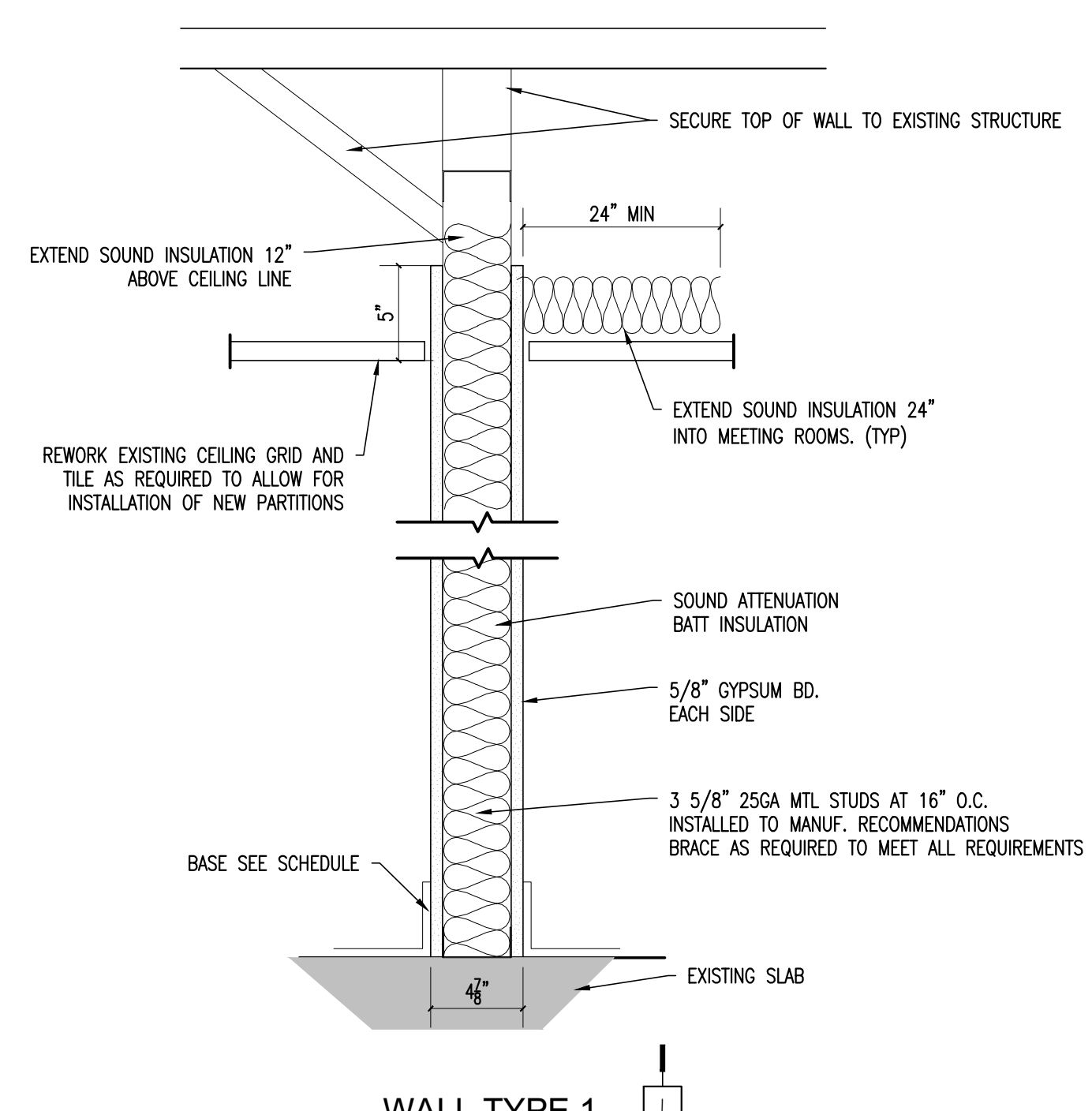
- HVAC WORK INCLUDES REMOVAL AND RELOCATION OF EXISTING DUCTWORK AND DIFFUSERS. ALL PLENUM RETURNS TO BE LOCATED AFTER LIGHTING HAS BEEN INSTALLED. SUPPLY AND INSTALLATION OF ADDITIONAL DUCTWORK, DIFFUSERS AND RETURNS AS REQUIRED TO ACCOMMODATE NEW TENANT'S USE. NO NEW UNIT INSTALLATIONS ARE TO OCCUR ON THE PROJECT.
- CONTRACTOR TO RELOCATE EXISTING T-STATS AS REQUIRED.
- COMPLY WITH LOCAL HEATING CODES AND REGULATIONS.
- COMFORT-BALANCE SYSTEMS AT OR NEAR DESIGN CONDITIONS DURING THE FIRST HEATING AND COOLING SEASONS.
- INSTALLATION SHALL BE QUIET. GUARANTEE SATISFACTORY AIR CIRCULATION AND ACCEPTABLE NOISE LEVELS.
- G.C. IS NOT RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF EQUIPMENT.

**GENERAL ELECTRICAL NOTES**

- THE SCOPE OF THE PROJECT IS TO REUSE AND RELOCATE ALL LIGHTING CURRENTLY INSTALL TO COMPLETE THE WORK AS SHOWN.
- ALL ELECTRICAL INSTALLATIONS AND EQUIPMENT SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AS AMENDED. (nec 70) OR THE STANDARD BUILDING CODE OF MAINE, LATEST EDITION.
- ALL EXPOSED WIRING SHALL BE INSTALL IN METAL CABLE AS REQUIRE BY STATE AND LOCAL ELECTRICAL CODE.
- ELECTRICAL WORK FOR THE PROJECT INCLUDES REMOVAL OF EXISTING LIGHT FIXTURES AS WELL AS SUPPLYING AND INSTALLING NEW FIXTURES TO EXISTING AND NEW CIRCUITS; RELOCATING EXISTING CIRCUIT AND WIRING; TYING NEW OUTLETS TO EXISTING POWER AND/OR LIGHTING CIRCUITS, AND NEW LIGHTING, SWITCHING AND POWER FOR NEW SPACES AS REQUIRED.
- ALL SWITCHES, RECEPTACLES AND OTHER ELECTRICAL LOCATIONS SHALL BE COORDINATED WITH ALL OTHER TRADES.
- ALL SWITCHES CONTROLLING WIRING SHALL BE LOCATED TO MATCH EXISTING.
- GROUNDING SHALL BE PROVIDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, UTILITY COMPANY AND ALL AUTHORITIES HAVING JURISDICTION.
- PROVIDE GROUND FAULT INTERRUPTION (GFI) RECEPTACLES AS PER NEC.
- FURNISH ROUGH WIRING AND FINAL ACCEPTANCE CERTIFICATE FROM AUTHORITY PERFORMING INSPECTIONS.
- ALL FIRE ALARM EQUIPMENT TO BE MAINTAINED, RELOCATE AND REUSED AS REQUIRED TO COMPLETE THE SCOPE OF CONSTRUCTION. VERIFY EXISTING WIRING AND NEW WIRING AS REQUIRED. IF REQUIRED G.C. TO PROVIDE ADDITIONAL FIRE ALARM EQUIPMENT.



**3 NTS GENERAL NOTES**



**WALL TYPE 1**  
 NOTE: THIS DETAIL IS PROVIDED AS A GENERAL TYPICAL WALL TYPE. SOME PARTITIONS ARE AN EXTENSION OF AN EXISTING WALL. ALL NEW WALLS THAT ARE AN EXTENSIONS OF EXISTING WALLS ARE TO MAINTAIN THE WIDTH OF THE EXISTING WALLS. (TYP)

**2** 1 1/2" = 1'-0" TYPICAL INTERIOR WALL TYPE

**1** 1/8"=1'-0" PROPOSED PLAN

DO NOT SCALE DRAWINGS

GENERAL CONTRACTOR

STRUCTURAL ENGINEER

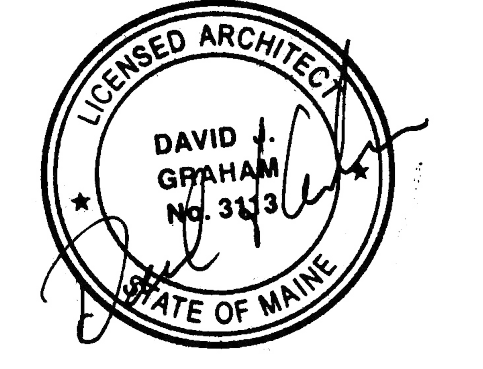
MEP ENGINEER

CLIENT

Spurwink Services  
 899 Riverside Street  
 Portland, ME 04103

PROJECT  
**Spurwink Services**

901 Washington Ave.  
 Portland, ME 04101



ISSUED FOR PERMIT

INFORMATION

Path: M:/boulos/spurwink  
 Issue Date: 07.24.14  
 Drawn By: djg  
 Checked By: djg  
 Revision:  
 1.  
 2.  
 3.  
 4.

TITLE  
 PARTIAL PROPOSED PLAN

SCALE  
 1/8"=1'-0"

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**A-1**



Reviewed for Code Compliance  
Inspection Division  
Approved with Conditions

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GENERAL CONTRACTOR

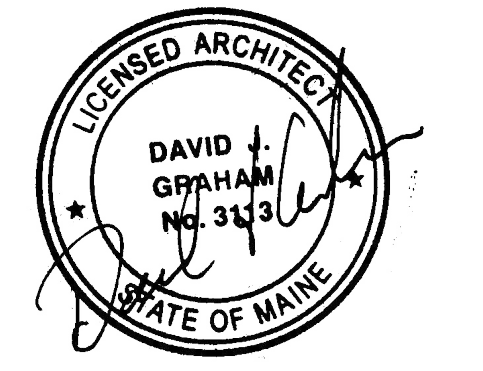
STRUCTURAL ENGINEER

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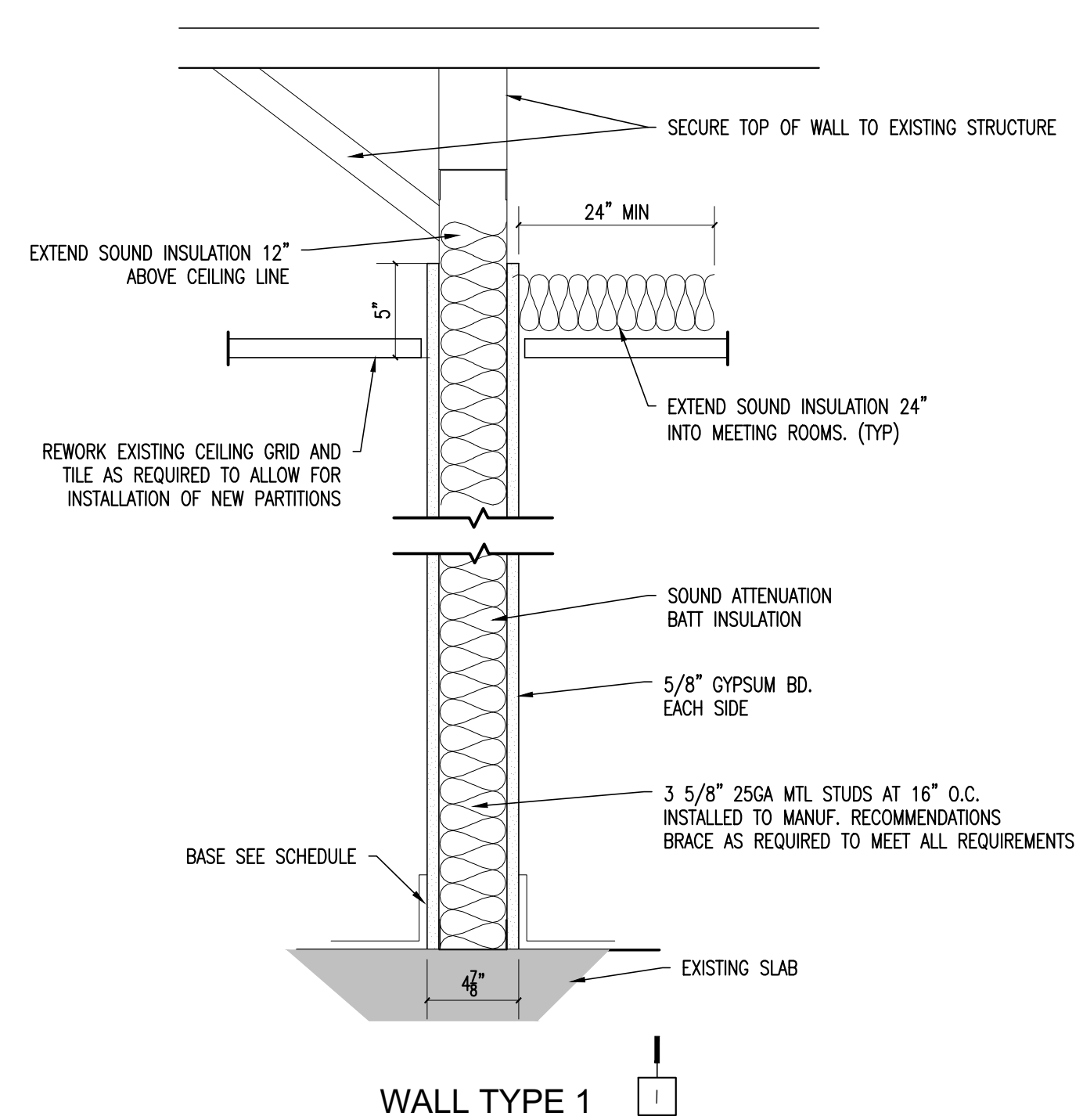
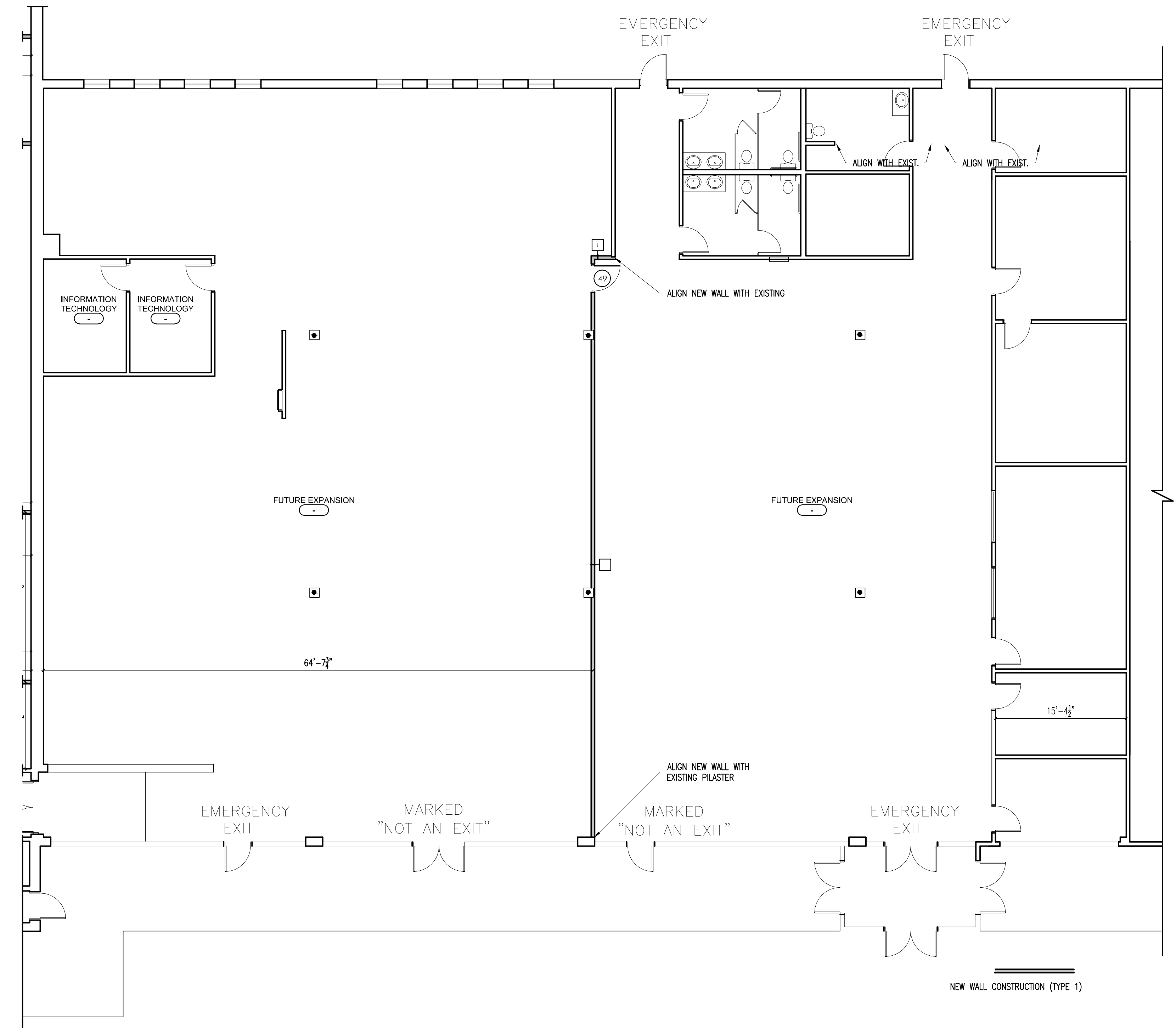
- 1.
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TITLE  
**PROPOSED PLAN**

SCALE  
1/8"=1'-0"

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**A-2**



NOTE: THIS DETAIL IS PROVIDED AS A GENERAL TYPICAL WALL TYPE. SOME PARTITIONS ARE AN EXTENSION OF AN EXISTING WALL. ALL NEW WALLS THAT ARE AN EXTENSIONS OF EXISTING WALLS ARE TO MAINTAIN THE WIDTH OF THE EXISTING WALLS. (TYP)

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GENERAL CONTRACTOR

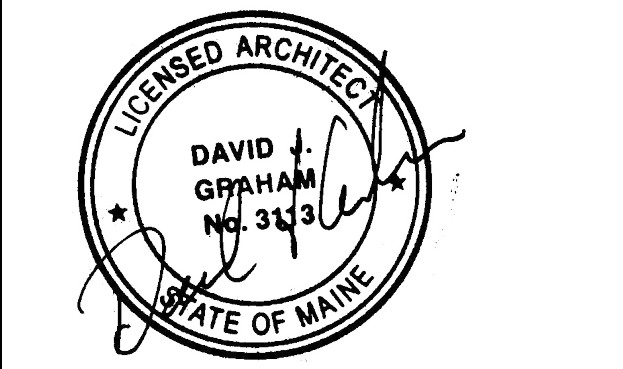
STRUCTURAL ENGINEER

MEP ENGINEER

CLIENT

Spurwink Services  
879 Riverside Street  
Portland, ME 04103

PROJECT  
**Spurwink Services**  
901 Washington Ave.  
Portland, ME 04101



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INFORMATION

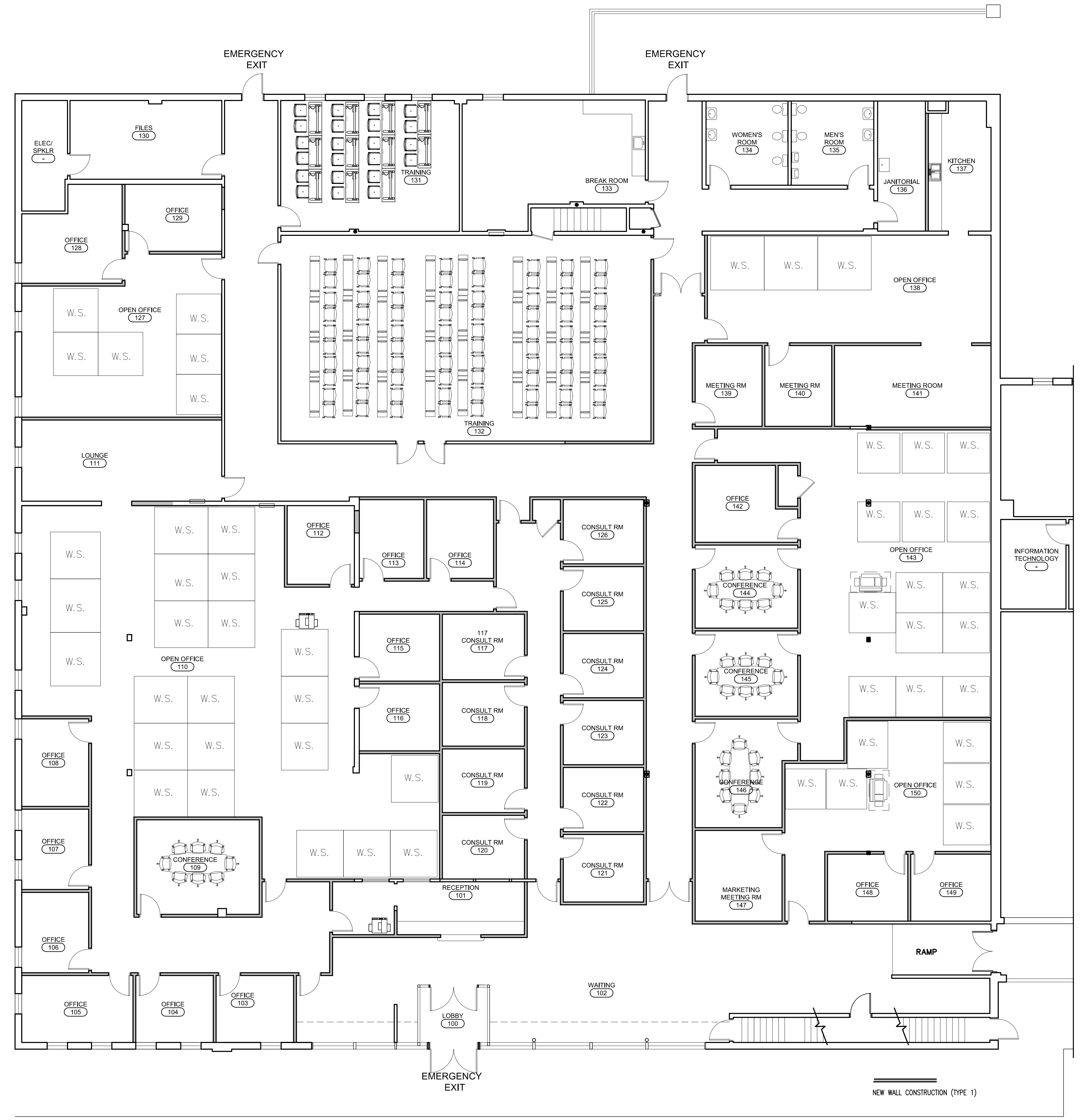
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1.  
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TITLE  
**FURNITURE PLAN**

SCALE  
1/8"=1'-0"

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**A-3**



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1 1/8"=1'-0" FURNITURE PLAN

DO NOT SCALE DRAWINGS





# ROOM FINISH SCHEDULE

OOM NAME	FLOOR	FLOOR FINISH	BASE	WALLS			CEILING			
				MAT.	FIN.	PRIMARY PAINT	MAT.	FIN.	HGT.	
101	RECEPTION	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
102	WAITING	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
103	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
104	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
105	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
106	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
107	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
108	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
109	CONFERENCE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
110	OPEN OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
111	LOUNGE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
112	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
113	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
114	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
115	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
116	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
117	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
118	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
119	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
120	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
121	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
122	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
123	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
124	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
125	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
126	CONSULT ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
127	OPEN OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
128	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
129	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
130	FILES	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
131	TRAINING	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
132	TRAINING	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
133	BREAKROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8'-0"
134	WOMEN'S ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8'-0"
135	MEN'S ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8'-0"
136	JANITORIAL CLOSET	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8'-0"
137	KITCHEN	VCT-1	MATTE	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8'-0"
138	OPEN OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8' / 9'
139	MEETING ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
140	MEETING ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
141	MEETING ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8' / 9'
142	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
143	OPEN OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8' / 9'
144	CONFERENCE ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
145	CONFERENCE ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
146	CONFERENCE ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
147	MEETING ROOM	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	9'-0"
148	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8' / 9'
149	OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8'-0"
150	OPEN OFFICE	EXISTING	-	MATCH EX.	GYP.	PAINT	P-1	ACT	MATCH EX.	8' / 9'

## INTERIOR FINISH CLASSIFICATION

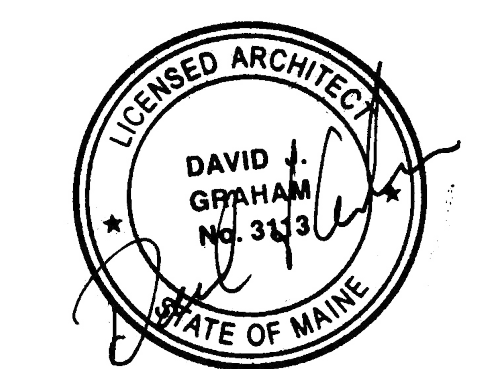
ROOMS & SPACES - CLASS C

2	NTS	FINISH SCHEDULE
---	-----	-----------------



GENERAL CONTRACTOR  
 STRUCTURAL ENGINEER  
 MEP ENGINEER  
 CLIENT  
 Spurwink Services  
 899 Riverside Street  
 Portland, ME 04103

PROJECT  
**Spurwink Services**  
 901 Washington Ave.  
 Portland, ME 04101



ISSUED FOR PERMIT

INFORMATION  
 Path: M:/boulos/spurwink  
 Issue Date: 07.24.14  
 Drawn By: djg  
 Checked By: djg  
 Revision:  
 1.  
 2.  
 3.  
 4.

TITLE  
**FINISH PLAN**

SCALE  
 1/8"=1'-0"

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-	-	-	1	1/8"=1'-0"	FINISH PLAN
---	---	---	---	------------	-------------

DO NOT SCALE DRAWINGS



Reviewed for Code Compliance  
Inspection Division  
Approved with Conditions

Date: 10/28/14

GENERAL CONTRACTOR

STRUCTURAL ENGINEER

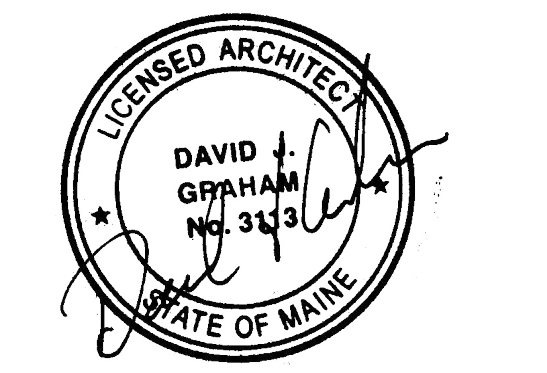
MEP ENGINEER

CLIENT

Spurwink Services  
877 Riverside Street  
Portland, ME 04103

PROJECT  
**Spurwink Services**

901 Washington Ave.  
Portland, ME 04101



ISSUED FOR PERMIT

INFORMATION

Path: M:/boulos/spurwink

Issue Date: 07.24.14

Drawn By: dijg

Checked By: dijg

Revision:

- 
- 
- 
- 

TITLE

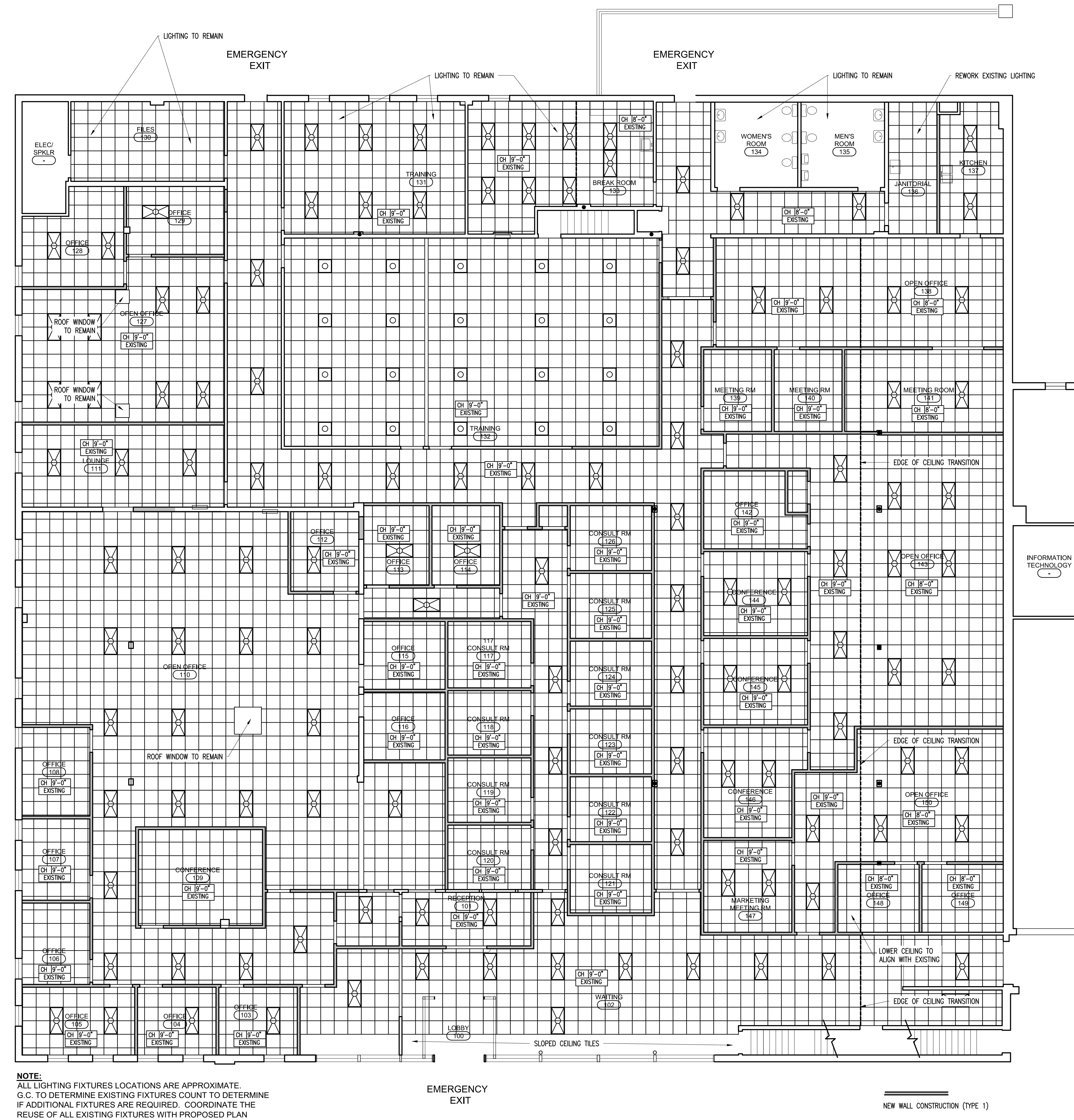
REFLECTED CEILING PLAN

SCALE

1/8"=1'-0"

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Graham Architects.

A-5



GENERAL REFLECTED CEILING NOTES

- EXISTING CEILING GRID AND TILES ARE TO BE REUSED. G.C. TO REMOVE AND PROTECT ALL CEILING FINISHES AND GRID DURING CONSTRUCTION AS REQUIRED TO COMPLETE THE ENTIRE SCOPE OF WORK.
- COORDINATE THE WORK OF ALL TRADES INVOLVED IN THE CEILING WORK TO INSURE CLEARANCES FOR FIXTURES, DUCTS, PIPING, CEILING SUSPENSION SYSTEM, ETC. NECESSARY TO MAINTAIN THE FINISHED EXISTING CEILING HEIGHTS.
- SUPPLY AND INSTALL ADDITIONAL SUSPENDED TRACK AND MATERIAL REQUIRED TO COMPLETE THE WORK AS INDICATED ON THE DRAWINGS. PROVIDE ALL TIES FOR LIGHT FIXTURES, EXIT SIGNS, SPRINKLERS HEADS AND OTHER CEILING/ SOFFIT ELEMENTS FOR SECURE ATTACHMENT OF GENERAL CONSTRUCTION.
- LIGHTING TO BE LOCATED AS BEST AS POSSIBLE WITH PROPOSED LAYOUT.
- CEILING TILES TO MATCH EXISTING.

GENERAL SPRINKLER NOTES

- G.C. TO COORDINATE THE RELOCATION OF ALL SPRINKLER HEADS TO FIT THE PROPOSED PLAN.
- SPRINKLER DESIGN TO MEET ALL STATE AND LOCAL LAWS.
- G.C. TO PROVIDE ALL PERMITS REQUIRED FOR MODIFYING THE EXISTING SPRINKLER SYSTEMS.

**NOTE:**  
ALL LIGHTING FIXTURES LOCATIONS ARE APPROXIMATE.  
G.C. TO DETERMINE EXISTING FIXTURES COUNT TO DETERMINE  
IF ADDITIONAL FIXTURES ARE REQUIRED. COORDINATE THE  
REUSE OF ALL EXISTING FIXTURES WITH PROPOSED PLAN

2	NTS	GENERAL CEILING NOTES
---	-----	-----------------------

1	1/8"=1'-0"	REFLECTED CEILING PLAN
---	------------	------------------------

DO NOT SCALE DRAWINGS

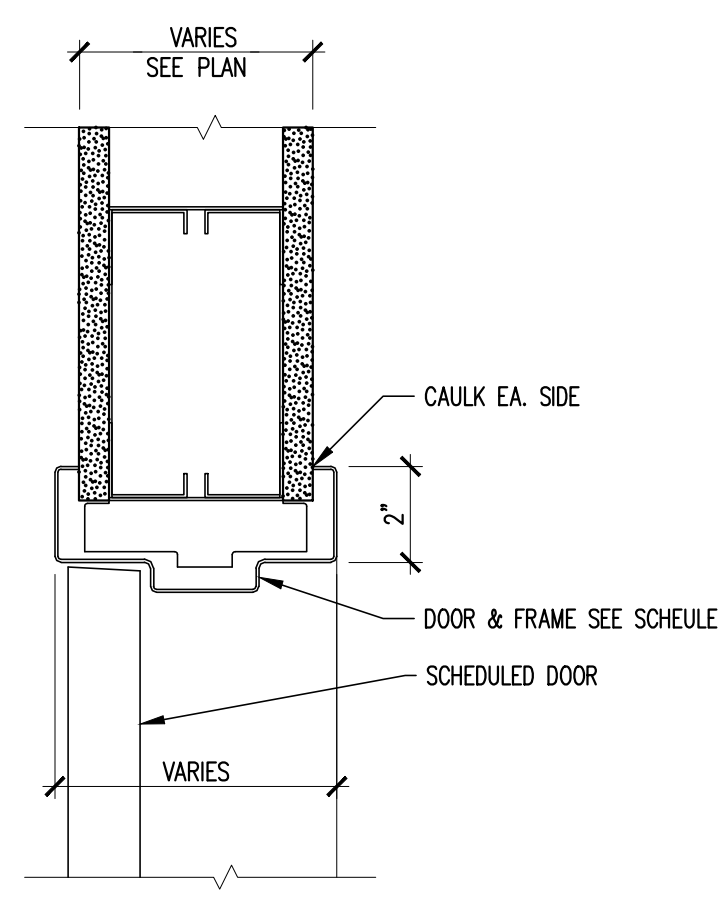




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Inspection Division  
Approved with Conditions  
Date: 10/28/14

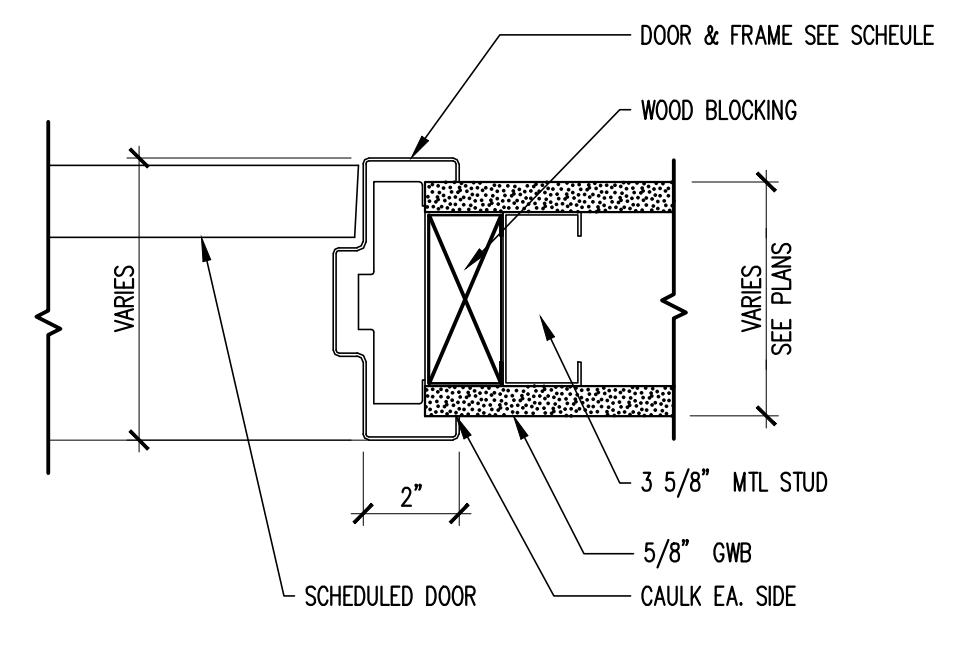
# DOOR SCHEDULE

DOOR NUMBER	DOOR			GLAZING	FRAME			HWS	FIRE RATING (MIN.)	REMARKS	
	SIZE	MATERIAL	ELEVATION		MATERIAL	ELEVATION	HEAD				JAMB
01	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
02	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
03	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
04	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
05	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
06	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
07	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
08	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
09	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
10	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
11	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
12	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
13	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	JAMB DEPTH TO ALIGN EXISTING WALL CONSTRUCTION
14	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	JAMB DEPTH TO ALIGN EXISTING WALL CONSTRUCTION
15	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
16	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
17	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
18	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
19	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
20	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
21	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
22	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
23	3'-0" x 7'-0" x 1-3/4"	SC/PT	V	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
24	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
25	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
26	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
27	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
28	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
29	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
30	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
31	3'-0" x 7'-0" x 1-3/4"	SC/PT	V	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
32	6'-0" x 7'-0" x 1-3/4"	SC/PT	V	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
33	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
34	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
35	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
36	3'-0" x 7'-0" x 1-3/4"	SC/PT	V	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
37	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
38	3'-0" x 7'-0" x 1-3/4"	SC/PT	V	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
39	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
40	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
41	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
42	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
43	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
44	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-
45	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
46	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
47	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
48	3'-0" x 7'-0" x 1-3/4"	SC/PT	FG	TEMP.	HM	1	5/A6	4/A6	-	TBD	-
49	3'-0" x 7'-0" x 1-3/4"	SC/PT	SC	-	HM	1	5/A6	4/A6	-	TBD	-



HEAD DETAIL

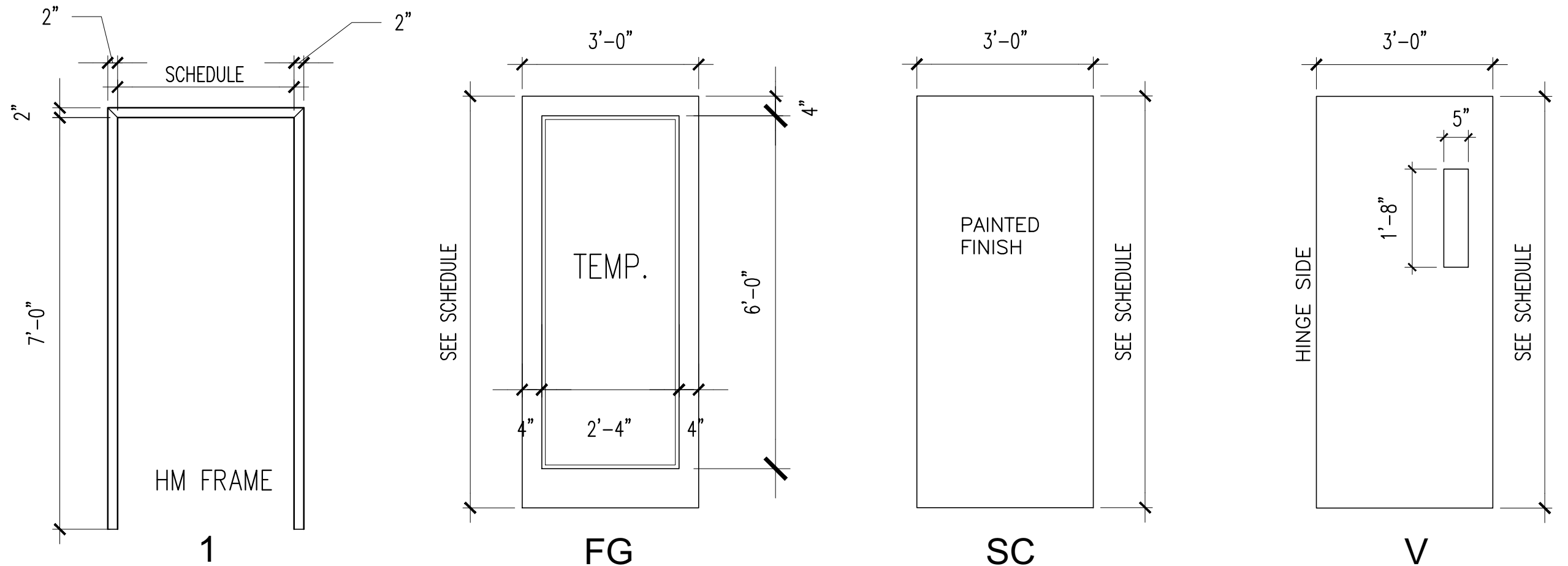
5 3"=1'-0" DOOR DETAILS



JAMB DETAIL

4 3"=1'-0" DOOR DETAILS

3 NTS DOOR SCHEDULE



2 1/2" = 1'-0" DOOR TYPES

- SYMBOL  $\checkmark$  SHOWN ON SCHEDULE INDICATES A REPEAT OF A PREVIOUS REFERENCE ON THE SCHEDULE.
- ALL DOORS ARE 1-3/4" THICK UNLESS OTHERWISE NOTED
- DOOR CONSTRUCTION: TYPICAL - SC - SOLID CORE HC - HOLLOW CORE HM - HOLLOW METAL AL - ALUMINUM & GLASS
- FINISH TYPICAL - WV - WOOD VENEER PL - PLASTIC LAMINATE MP - METAL PAINTED AP - ALUMINUM PAINTED PT - PAINTED
- GLASS TYPICAL - CW - CLEAR WIRE CP - CLEAR PLATE TP - TEMPERED LG - LEADED GLASS
- FRAME TYPICAL - FF - FLUSH FRAME AL - ALUMINUM HM - HOLLOW METAL WD - WOOD AP - ALUMINUM PAINTED
- MAXIMUM GLASS AREA FOR 45 MIN. AND 20 MIN. DOOR SHALL NOT EXCEED 1296 SQ.IN. AND HAVE A MAX. LITE DIMENSION OF 54". MAXIMUM GLASS AREA FOR 90 MIN. DOOR SHALL BE 100 SQ.IN.
- CONTRACTOR TO VERIFY EXISTING CONDITIONS OF ALL PROPOSED MASONRY OPENINGS PRIOR TO CUTTING MASONRY. ARCHITECT IS TO BE NOTIFIED SHOULD ANY OPENINGS REQUIRE ADJUSTMENT.
- DOOR NO. 2 REFER TO SCHEDULE FOR HARDWARE, MODIFICATIONS, REMARKS, ETC.
- THE FOLLOWING NOTES APPLY TO ALL HOLLOW METAL FRAMES:
  - ALL HOLLOW METAL FRAMES IN MASONRY OPENINGS SHALL BE FULLY GROUTED
  - ALL HOLLOW METAL FRAMES SHALL BE FIELD PAINTED
  - ALL DOOR JAMB ANCHORS SHALL BE VERIFIED WITH PLAN CONDITIONS AND SPECIFICATIONS
  - LABELED DOOR AND FRAMES SHALL CONFORM TO NFPA NO. 80.
  - PEENED KNOBS SHALL BE PROVIDED FOR ALL DOORS FROM CORRIDORS TO ELECTRICAL CLOSETS, MECHANICAL ROOMS, TELEPHONE CLOSETS, AND STAIR PENTHOUSES
  - ALL FRAMES ARE "WRAP AROUND" UNLESS NOTED

1 NTS DOOR NOTES

ARCHITECT  
Graham Architects  
59 Mills Road  
Kennebunkport, ME 04046  
207.967.8850  
www.grahamarchitects.com

GENERAL CONTRACTOR

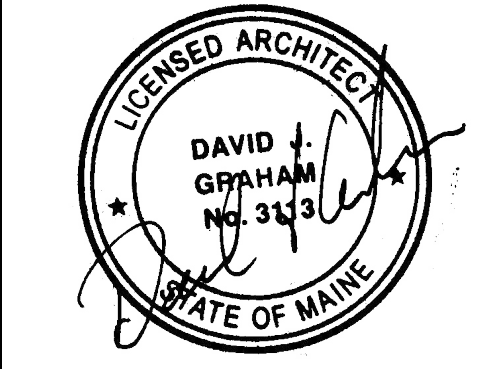
STRUCTURAL ENGINEER

MEP ENGINEER

CLIENT

Spurwink Services  
899 Riverside Street  
Portland, ME 04103

PROJECT  
Spurwink Services  
901 Washington Ave.  
Portland, ME 04101



ISSUED FOR PERMIT

INFORMATION

Path: M:/boulos/spurwink  
Issue Date: 07.24.14  
Drawn By: djg  
Checked By: djg  
Revision:  
1.  
2.  
3.  
4.

TITLE  
DOOR SCHEDULE AND DETAILS

SCALE  
1/8"=1'-0"

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# Accessibility Building Code Certificate



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions  
Date: 10/28/14

Designer: David Graham

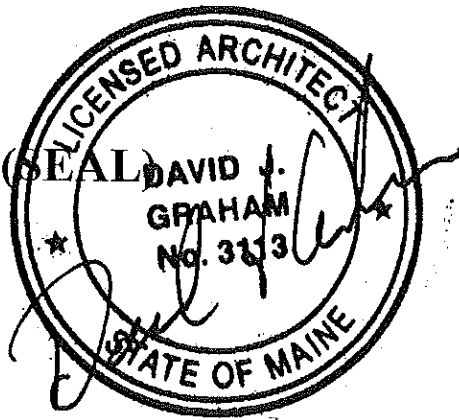
Address of Project: 1 Portland Square, Portland Maine 04101

Nature of Project: Office Interior Renovation

\_\_\_\_\_

\_\_\_\_\_

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: David Graham

Title: Architect

Firm: Graham Architects

Address: 59 Mills Road  
Kennebunkport, ME 04046

Phone: 207-967-8850

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# Certificate of Design



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions  
Date: 10/28/14

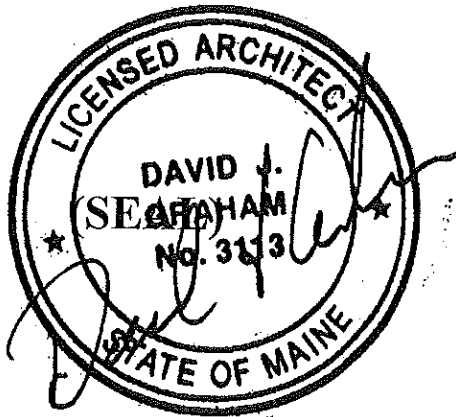
Date: July 24, 2014

From: David Graham

These plans and / or specifications covering construction work on:

901 Washington Avenue, Spurwink Services

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the **2009 International Building Code** and local amendments.



Signature: David Graham

Title: Architect

Firm: Graham Architects

Address: 59 Mills Road

Kennebunkport, ME 04046

Phone: 207-967-8850

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Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions  
Date: 10/28/14

# Certificate of Design Application

From Designer: David Graham  
 Date: 07.24.14  
 Job Name: Spurwink Services  
 Address of Construction: 901 Washington Avenue

## 2009 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2009 Use Group Classification (s) Business (B)  
 Type of Construction Type 1(b) Existing  
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2009 IRC Yes  
 Is the Structure mixed use? Yes If yes, separated or non separated or non separated (section 302.3) \_\_\_\_\_  
 Supervisory alarm System? Yes Geotechnical/Soils report required? (See Section 1802.2) No (existing)

### Structural Design Calculations

\_\_\_\_\_ Submitted for all structural members (106.1 – 106.11)

### Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

### Wind loads (1603.1.4, 1609)

\_\_\_\_\_ Design option utilized (1609.1.1, 1609.6)  
 \_\_\_\_\_ Basic wind speed (1809.3)  
 \_\_\_\_\_ Building category and wind importance Factor,  $I_w$  (table 1604.5, 1609.5)  
 \_\_\_\_\_ Wind exposure category (1609.4)  
 \_\_\_\_\_ Internal pressure coefficient (ASCE 7)  
 \_\_\_\_\_ Component and cladding pressures (1609.1.1, 1609.6.2.2)  
 \_\_\_\_\_ Main force wind pressures (7603.1.1, 1609.6.2.1)

### Earth design data (1603.1.5, 1614-1623)

\_\_\_\_\_ Design option utilized (1614.1)  
 \_\_\_\_\_ Seismic use group ("Category")  
 \_\_\_\_\_ Spectral response coefficients,  $S_D$  &  $S_I$  (1615.1)  
 \_\_\_\_\_ Site class (1615.1.5)

\_\_\_\_\_ Live load reduction  
 \_\_\_\_\_ Roof live loads (1603.1.2, 1607.11)  
 \_\_\_\_\_ Roof snow loads (1603.7.3, 1608)  
 \_\_\_\_\_ Ground snow load,  $P_g$  (1608.2)  
 \_\_\_\_\_ If  $P_g > 10$  psf, flat-roof snow load  $P_f$   
 \_\_\_\_\_ If  $P_g > 10$  psf, snow exposure factor,  $C_e$   
 \_\_\_\_\_ If  $P_g > 10$  psf, snow load importance factor,  $I_s$   
 \_\_\_\_\_ Roof thermal factor,  $C_t$  (1608.4)  
 \_\_\_\_\_ Sloped roof snowload,  $P_s$  (1608.4)  
 \_\_\_\_\_ Seismic design category (1616.3)  
 \_\_\_\_\_ Basic seismic force resisting system (1617.6.2)  
 \_\_\_\_\_ Response modification coefficient,  $R_f$  and deflection amplification factor,  $C_d$  (1617.6.2)  
 \_\_\_\_\_ Analysis procedure (1616.6, 1617.5)  
 \_\_\_\_\_ Design base shear (1617.4, 1617.5.1)

### Flood loads (1803.1.6, 1612)

\_\_\_\_\_ Flood Hazard area (1612.3)  
 \_\_\_\_\_ Elevation of structure

### Other loads

\_\_\_\_\_ Concentrated loads (1607.4)  
 \_\_\_\_\_ Partition loads (1607.5)  
 \_\_\_\_\_ Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2404)





# Commercial Interior & Change of Use Permit Application Checklist



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions  
Date: 10/28/14

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

One (1) complete set of construction drawings must include:

Note: Construction documents for costs in excess of \$50,000.00 must be prepared by a Design Professional and bear their seal.

- Cross sections w/framing details
- Detail of any new walls or permanent partitions
- Floor plans and elevations
- Window and door schedules
- Complete electrical and plumbing layout.
- Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment or other types of work that may require special review
- Insulation R-factors of walls, ceilings, floors & U-factors of windows as per the IECC 2009
- Proof of ownership is required if it is inconsistent with the assessors records.
- Reduced plans or electronic files in PDF format are required if originals are larger than 11" x 17".
- Per State Fire Marshall, all new bathrooms must be ADA compliant.

Separate permits are required for internal and external plumbing, HVAC & electrical installations.

For additions less than 500 sq. ft. or that does not affect parking or traffic, a site plan exemption should be filed including:

- The shape and dimension of the lot, footprint of the existing and proposed structure and the distance from the actual property lines.
- Location and dimensions of parking areas and driveways, street spaces and building frontage.
- Dimensional floor plan of existing space and dimensional floor plan of proposed space.

A Minor Site Plan Review is required for any change of use between 5,000 and 10,000 sq. ft. (cumulatively within a 3-year period)



## Fire Department requirements.

The following shall be submitted on a separate sheet:

- Name, address and phone number of applicant and the project architect.
- Proposed use of structure (NFPA and IBC classification)
- Square footage of proposed structure (total and per story)
- Existing and proposed fire protection of structure.
- Separate plans shall be submitted for
  - a) Suppression system
  - b) Detection System (separate permit is required)
- A separate Life Safety Plan must include:
  - a) Fire resistance ratings of all means of egress
  - b) Travel distance from most remote point to exit discharge
  - c) Location of any required fire extinguishers
  - d) Location of emergency lighting
  - e) Location of exit signs
  - f) NFPA 101 code summary
- Elevators shall be sized to fit an 80" x 24" stretcher.

For questions on Fire Department requirements call the Fire Prevention Officer at (207) 874-8405.

**Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost**

**This is not a Permit; you may not commence any work until the Permit is issued.**





Reviewed for Code Compliance  
Inspection Division  
Approved with Conditions

Date: 10/28/14

ARCHITECT  
**Graham Architects**  
59 Mills Road  
Kennebunkport, ME 04046  
207.967.8850  
www.grahamarchitects.com

GENERAL CONTRACTOR

STRUCTURAL ENGINEER

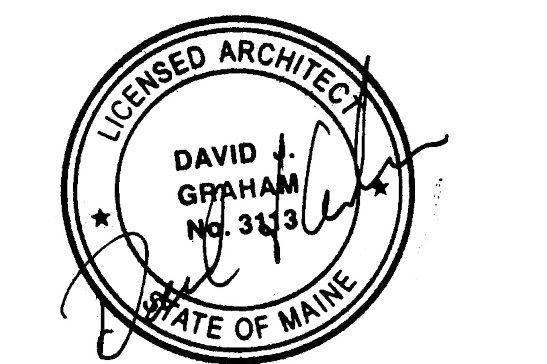
MEP ENGINEER

CLIENT

Spurwink Services  
899 Riverside Street  
Portland, ME 04103

PROJECT  
**Spurwink Services**

901 Washington Ave.  
Portland, ME 04101



ISSUED FOR PERMIT

INFORMATION

Path: M:/boulos/spurwink

Issue Date: 07.24.14

Drawn By: dijg

Checked By: dijg

Revision:

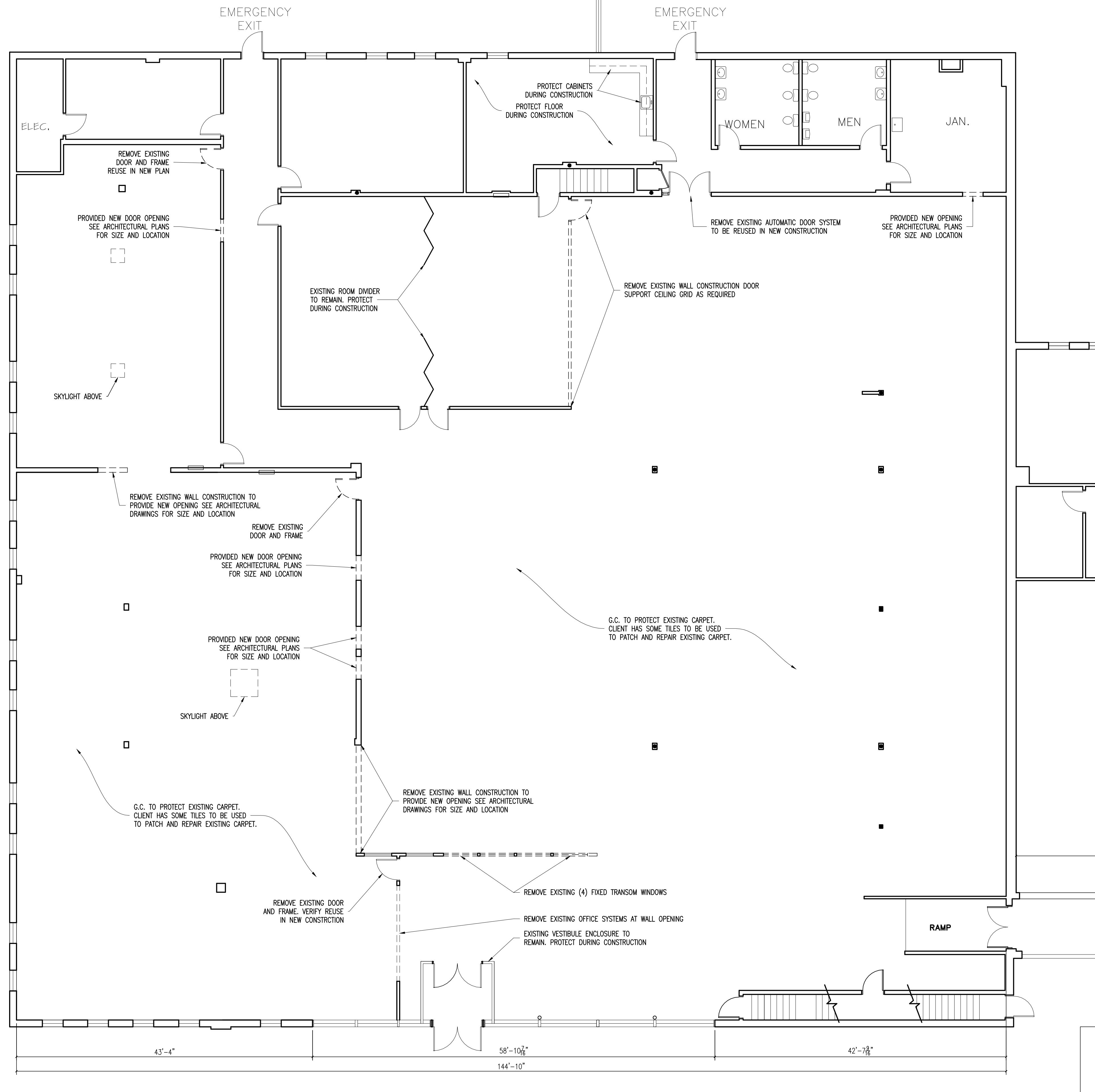
- 1.
- 2.
- 3.
- 4.

TITLE  
**DEMOLITION PLAN**

SCALE  
1/8"=1'-0"

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**D-1**



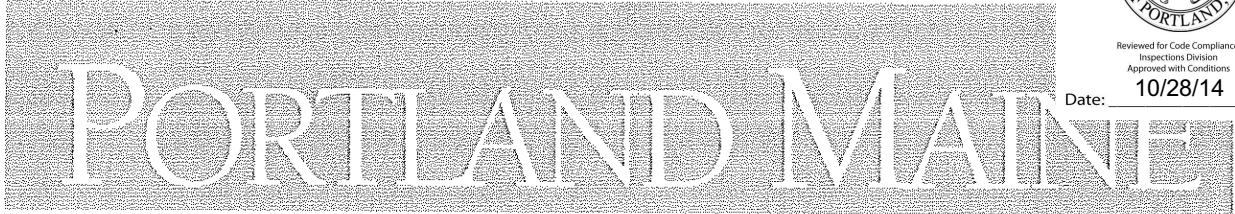
**GENERAL DEMOLITIONS NOTES**

1. G.C. SHALL REMOVE AND DISPOSE OF ALL HAZARDOUS MATERIALS IN ACCORDANCE WITH STATE AND LOCAL LAWS. ALL WORK SHALL BE PERFORMED BY A LICENSED ABATEMENT PROFESSIONAL. G.C. SHALL PROVIDE THE OWNER WITH ALL DOCUMENTS CERTIFYING THAT THE REMOVAL AND DISPOSAL MEETS ALL STATE AND LOCAL LAWS.
2. IF ANY QUESTIONS ARISE AS TO THE REMOVAL OF ANY MATERIAL, CLARIFY THE POINT WITH THE ARCHITECT BEFORE PROCEEDING.
3. CONTRACTOR TO STORE AND REMOVE ALL DEBRIS FROM SITE.

2 NTS GENERAL DEMOLITION NOTES

1 1/8"=1'-0" PARTIAL DEMOLITION PLAN

DO NOT SCALE DRAWINGS



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions  
Date: 10/28/14

*Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov*

Jeff Levine, AICP, Director  
Director of Planning and Urban Development

Tammy Munson  
Director, Inspections Division

**Electronic Signature and Fee Payment Confirmation**

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

- Within 24-48 hours, once my complete permit application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.
- I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature: John McAnuff

Date: 07.24.14

I have provided digital copies and sent them on:

Date: 07.24.14

NOTE: All electronic paperwork must be delivered to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov) or by physical means ie; a thumb drive or CD to the office.

**Jeanie Bourke - RE: 31 Pleasant Hill (901 Washington) BP#2014-01693**

---

**From:** "David Graham" <david.graham@grahamarchitects.com>  
**To:** "Jeanie Bourke" <JMB@portlandmaine.gov>  
**Date:** 10/28/2014 9:30 AM  
**Subject:** RE: 31 Pleasant Hill (901 Washington) BP#2014-01693  
**Attachments:** FP1 LIFE SAFETY PLAN AND CODE INFORMATION.pdf

---

Jeanie, I spoke with Craig last week about the assembly use and separation. He understands that IBC provides an accessory allowance. NFPA 101 sec. 6.1.14.1.3 provides some exceptions for incidental occupancy.

I explained that the existing room is not separated and the occupancy calculation of the existing room is calculated at 86. The renovation is increasing the occupancy of the room by 27. This space is intended to be used by the Spurwink employees for training. Spurwink has indicated that they have a monthly training meeting and the likely occupancy will be approximately 50 employees.

I have updated my drawing FP-1 and added the IBC 508.2, on the Accessory Allowance. The drawing is attached for your review. Do you want me to upload this through the normal channels? Should I cloud the revisions?

Thanks  
David

---

**From:** Jeanie Bourke [mailto:JMB@portlandmaine.gov]  
**Sent:** Friday, September 05, 2014 4:11 PM  
**To:** David Graham  
**Cc:** Craig Messinger; Doreen Christ; jmcanuff@spurwink.org  
**Subject:** 31 Pleasant Hill (901 Washington) BP#2014-01693

Hi David,

Did you intend to fill out the fast track application? It is not filled out, did you or John (the applicant) receive any response from the administrative staff questioning this?

While I have your ear, I spoke with Craig today and he brought to my attention the training room capacity (80+). This room classification is now Assembly. Can you please address this in your IBC code analysis for mixed use, Sec. 508. It looks like this may qualify for the 10% Accessory allowance, however this will be for the aggregate of all assembly uses in any future expansions.

Thanks,  
Jeanie

*Jeanie Bourke*  
*CEO/LPI/Plan Reviewer*

**City of Portland**  
**Planning & Urban Development Dept./ Inspections Division**





389 Congress St. Rm 315

Portland, ME 04101

[jmb@portlandmaine.gov](mailto:jmb@portlandmaine.gov)

Direct: (207) 874-8715

Office: (207) 874-8703

Permit status can be viewed at: <http://www.portlandmaine.gov/792/Permit-Status>

>>> "David Graham" <[david.graham@grahamarchitects.com](mailto:david.graham@grahamarchitects.com)> 9/5/2014 11:29 AM >>>

Jeanie, Attached and below is the information I submitted and the Fast Track Application was included.

Thanks

David

---

**From:** David Graham [<mailto:david.graham@grahamarchitects.com>]

**Sent:** Friday, July 25, 2014 8:10 AM

**To:** 'buildinginspections@portlandmaine.gov'

**Cc:** John McAnuff ([jmcanuff@spurwink.org](mailto:jmcanuff@spurwink.org))

**Subject:** Commercial Interior Renovation, 901 washington avenue, Spurwink Services

Attached please find the plans and associated permit documents for the referenced address.

Thank you,

David Graham, AIA

Maine Licensed Architect



T:207.967.8850

F:207.967.8851

C:207.232.9256

[grahamarchitects.com](http://grahamarchitects.com)

Notice: Under Maine law, documents - including e-mails - in the possession of public officials or city employees about government business may be classified as public records. There are very few exceptions. As a result, please be advised that what is written in an e-mail could be released to the public and/or the media if requested.



Reviewed for Code Compliance  
Inspection Division  
Approved with Conditions

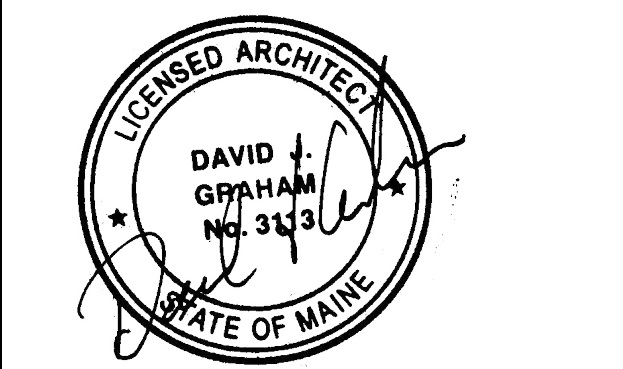
Date: 10/28/14

ARCHITECT  
**Graham Architects**  
59 Mills Road  
Kennebunkport, ME 04046  
207.967.8850  
www.grahamarchitects.com

GENERAL CONTRACTOR  
  
STRUCTURAL ENGINEER  
  
MEP ENGINEER

CLIENT  
  
Spurwink Services  
899 Riverside Street  
Portland, ME 04103

PROJECT  
**Spurwink Services**  
901 Washington Ave.  
Portland, ME 04101



ISSUED FOR PERMIT

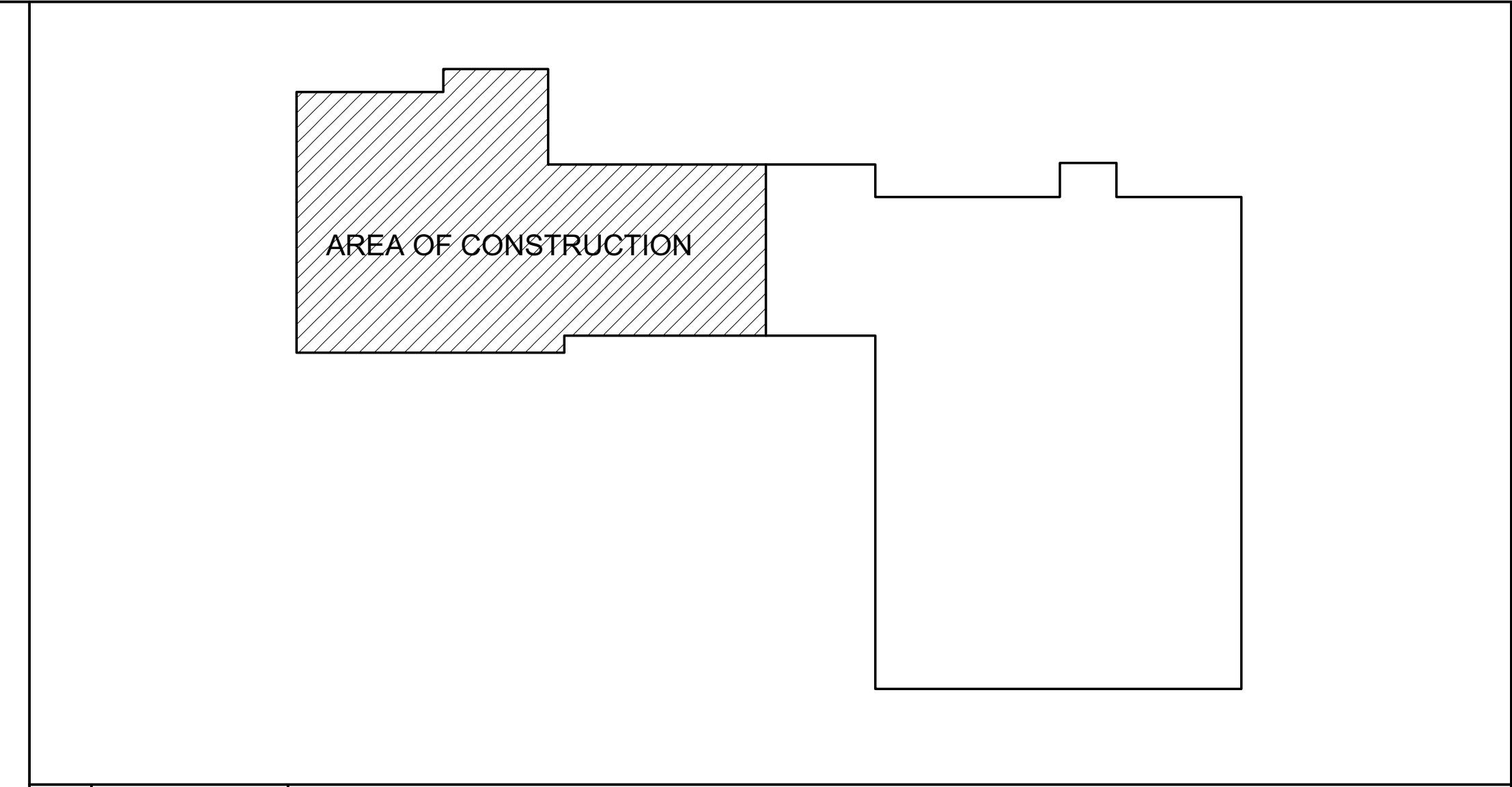
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Path: M:/boulos/spurwink  
Issue Date: 07.24.14  
Drawn By: djg  
Checked By: djg  
Revision:  
1.  
2.  
3.  
4.

TITLE  
**EXISTING CONDITIONS PLAN**

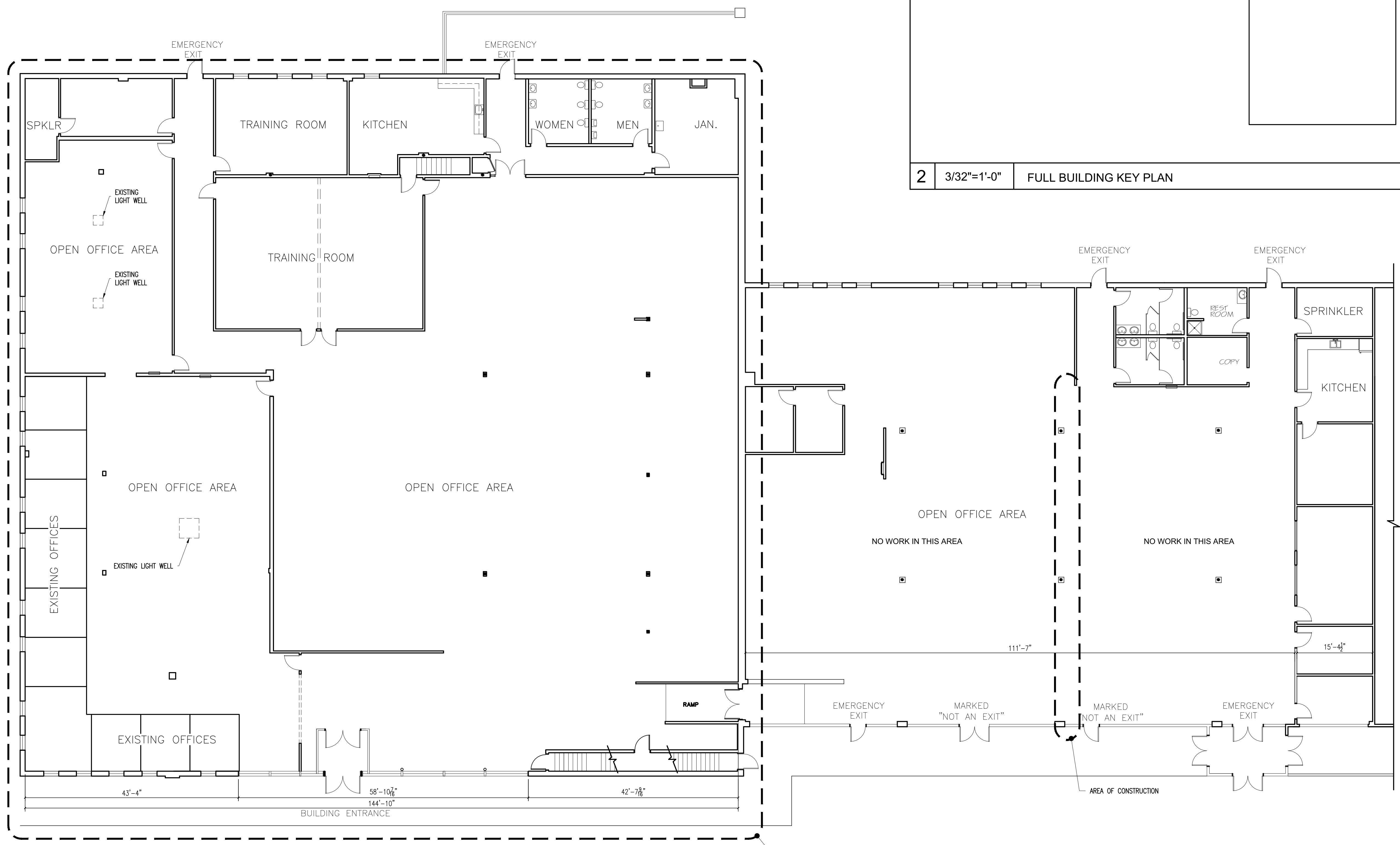
SCALE  
**3/32"=1'-0"**

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**EX-1**



2 3/32"=1'-0" FULL BUILDING KEY PLAN

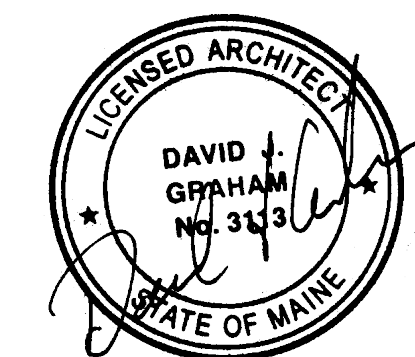


1 3/32"=1'-0" EXISTING CONDITIONS PLAN

DO NOT SCALE DRAWINGS

GENERAL CONTRACTOR
STRUCTURAL ENGINEER
MEP ENGINEER
CLIENT
PROJECT
Spurwink Services 899 Riverside Street Portland, ME 04103

PROJECT  
**Spurwink Services**  
 901 Washington Ave.  
 Portland, ME 04101



ISSUED FOR PERMIT

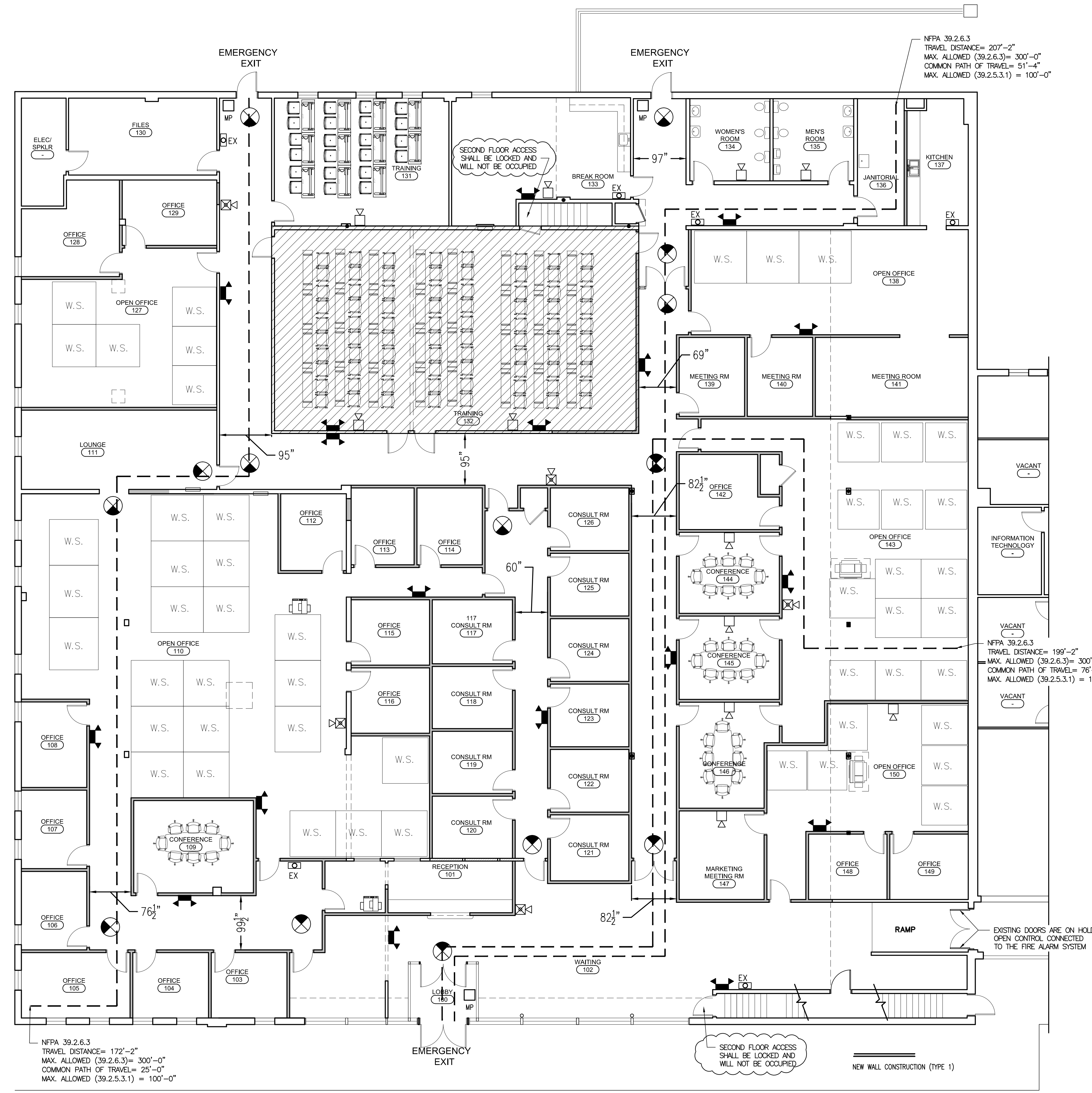
INFORMATION
Path: M./boulos/spurwink
Issue Date: 07.30.14
Drawn By: djg
Checked By: djg
Revision:
1.
2.
3.
4.

TITLE  
**LIFE SAFETY PLAN AND CODE INFORMATION**

SCALE  
 1/8"=1'-0"

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**FP-1**



NFPA 39.2.6.3  
 TRAVEL DISTANCE= 172'-2"  
 MAX. ALLOWED (39.2.6.3)= 300'-0"  
 COMMON PATH OF TRAVEL= 25'-0"  
 MAX. ALLOWED (39.2.5.3.1) = 100'-0"

NFPA 39.2.6.3  
 TRAVEL DISTANCE= 207'-2"  
 MAX. ALLOWED (39.2.6.3)= 300'-0"  
 COMMON PATH OF TRAVEL= 51'-4"  
 MAX. ALLOWED (39.2.5.3.1) = 100'-0"

NFPA 39.2.6.3  
 TRAVEL DISTANCE= 199'-2"  
 MAX. ALLOWED (39.2.6.3)= 300'-0"  
 COMMON PATH OF TRAVEL= 76'-8"  
 MAX. ALLOWED (39.2.5.3.1) = 100'-0"

EXISTING DOORS ARE ON HOLD  
 OPEN CONTROL CONNECTED  
 TO THE FIRE ALARM SYSTEM

SECOND FLOOR ACCESS  
 SHALL BE LOCKED AND  
 WILL NOT BE OCCUPIED

SECOND FLOOR ACCESS  
 SHALL BE LOCKED AND  
 WILL NOT BE OCCUPIED

<b>PROJECT DATA</b>			
USE	BUSINESS (B)		
OCCUPANCY CLASSIFICATION	ASSEMBLY (A3)		
MIXED USE OCCUPANCY, IBC SEC. 508			
GROSS S.F. AREA OF RENOVATION	20,140 S.F.	10% OF AREA	2,014 S.F.
ASSEMBLY AREA (SEE HATCH AREA OF PLAN)	1,700 S.F.	AREA IS LESS THAN 10% OF GROSS S.F., IBC 508.2	
OCCUPANCY CALCULATION			
GROSS S.F. AREA OF RENOVATION	20,140 S.F.	18,440/100	184.4
ASSEMBLY AREA (SEE HATCH AREA OF PLAN)	1,700 S.F.	1,700/15	113.3
		CALCULATED OCCUPANT LOAD:	297.7
EXITS AND EXIT ACCESS DOORWAYS			
EXITS	REQUIRED: 2	PROVIDED: 3	IBC 2009 1015.1
DOOR WIDTH	32" MINIMUM	72" & 36"	
COMMON PATH OF TRAVEL	100'-0"	See Plan	
EXIT ACCESS TRAVEL DISTANCE (WITH SPRINKLERS)	300'-0" (NFPA)	See Plan	300 FEET PER IBC 2009 TABLE 1016.1, NFPA 39.2.6.3
DEAD END CORRIDORS	50'-0"	NA	
BUILDING ELEMENT - FIRE RESISTANCE RATING			
		HOUR RATING	
STRUCTURAL FRAME			
INCLUDING COLUMNS, GIRDERS, TRUSSES	2	Existing No Change	
BEARING WALLS			
EXTERIOR	2	Existing No Change	
INTERIOR	2	Existing No Change	
NON BEARING WALLS AND PARTITIONS			
EXTERIOR	0	Existing No Change	
INTERIOR	0	Existing No Change	
FLOOR CONSTRUCTION			
INCLUDING SUPPORTING BEAMS & JOISTS	2	Existing No Change	
ROOF CONSTRUCTION			
INCLUDING SUPPORTING BEAMS & JOISTS	1	Existing No Change	
SEPARATION OF OCCUPANCY			
COMPLIES WITH IBC 2009 SEC. 508.2 ACCESSORY OCCUPANCIES			
BUILDING HEIGHTS AND AREAS			
AREA	UL	20,140 S.F.	SF INCLUDES AREA OF PROPOSED RENOVATION
HEIGHTS			
STORIES	11 STORIES	1.5 STORIES	
EGRESS WIDTH:			
OCCUPANTS x (0.2 - OTHER EGRESS COMPONENTS)			
297 x 0.2 = 59.4" WIDTH REQUIRED	40"	72"	
PLUMBING FIXTURES			
WATER CLOSETS - MEN/WOMEN	3	3	
LAVATORIES - MEN/WOMEN	1	2	
UTILITY SINK	1	1	
SPRINKLER			
EXISTING MONITORED SYSTEM	Existing No Change	Existing No Change	

**3 NTS CODE SUMMARY**

<b>LIFE SAFETY SYSTEM LEGEND</b>	
	DIRECTIONAL EXIT LIGHT
	AUTOMATIC EMERGENCY LIGHT
	FIRE EXTINGUISHER - RECESSED CABINET
	STROBE DEVICE, MAX 96" ABOVE FLOOR
	HORN AND STROBE DEVICE, MAX 96" ABOVE FLOOR
	MAUAL PULL STATION

**NOTE:**  
 COORDINATE THE REMOVAL AND  
 RELOCATION OF EXISTING LIFE SAFETY  
 EQUIPMENT. G.C. TO SUPPLY ADDITIONAL  
 EQUIPMENT AS REQUIRED TO COMPLETE  
 THE SCOPE OF THE DESIGN.

**2 NTS LEGEND**

**1 1/8"=1'-0" EGRESS PLAN**

DO NOT SCALE DRAWINGS



Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions  
Date: 10/28/14

# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

32 Alasant Hill Drive

Address/Location of Construction: <u>901 Washington Avenue</u>		
Total Square Footage of Proposed Structure:		<u>20,100</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>170 F001001</u>	Applicant Name: <u>John McAnuff</u> Address <u>899 Riverside Street</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>871-1200 x 2110</u> Email: <u>jmcanuff@spurwink.org</u>
Lessee/Owner Name : <u>J B Brown and Sons</u> (if different than applicant) Address: <u>PO BOX 207</u> City, State & Zip: <u>Portland, ME 04112</u> Telephone & E-mail:	Contractor Name: <u>TBD</u> (if different from Applicant) Address:  City, State & Zip:  Telephone & E-mail:	Cost Of Work: <u>\$75,000.00</u> C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ _____
Current use (i.e. single family) <input type="checkbox"/> Business <input checked="" type="checkbox"/>		
If vacant, what was the previous use? <u>Business</u>		
Proposed Specific use: <u>Business</u>		
Is property part of a subdivision? <input type="checkbox"/> If yes, please name _____		
Project description: <u>Interior renovation. Build additional offices</u>		
Who should we contact when the permit is ready: <u>John McAnuff</u>		
Address: <u>899 Riverside Street</u>		
City, State & Zip: <u>Portland, ME 04103</u>		
E-mail Address: <u>jmcanuff@spurwink.org</u>		
Telephone: <u>207-871-1200 X2110</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: John McAnuff Date: 07.24.14

This is not a permit; you may not commence ANY work until the permit is issued.





Reviewed for Code Compliance  
Inspections Division  
Approved with Conditions

Date: 10/28/14

ewer

