

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BU **PERMIT** ICTION

Permit Number: 090140

This is to certify that BROWN J.B. & SONS /Wrightman Construction Inc
 has permission to Change of use from Andover Cottage to Medical Administration Tenant fit-up
 AT 901 WASHINGTON AVE CE 170 F00100

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise red-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Sauter

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Christy S. M. 3/9/09
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0140	Issue Date: 3/9/09	CBL: 170 F001001
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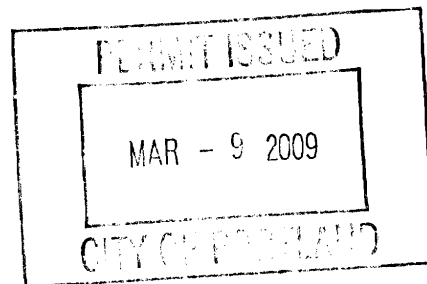
Location of Construction: 901 WASHINGTON AVE	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: Wright Ryan Construction, Inc	Contractor Address: 10 Danforth Street Portland	Phone: 2077733625
Lessee/Buyer's Name	Phone:	Permit Type: Change of Use - Commercial	Zone: B-2/R-3

Past Use: Commercial - Andover College	Proposed Use: Commercial - Medical Administration- Change of use from Andover College to Medical Administration w/ tenant fit-up	Permit Fee: \$815.00	Cost of Work: \$71,450.00	CEO District: 4
Proposed Project Description: Change of use from Andover College to Medical Administration w/ tenant fit-up		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied * See Conditions	INSPECTION: Use Group: B Type: SB IBC-2003	
		Signature: (KG)	Signature: CL 3/9/09	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: Ldobson	Date Applied For: 02/20/2009	Zoning Approval		
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in District or Landmark
<input type="checkbox"/> Wetland	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does Not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: 3/3/09 [Signature]	Date: _____	Date: _____



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>901 WASHINGTON AVE</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>120</u> Block# <u>F</u> Lot# <u>1</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Martins Point HealthCare</u> Address <u>331 Veranda ST</u> City, State & Zip <u>Portland ME 04103</u>	Telephone: <u>791-3722</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>71,450⁰⁰</u> C of O Fee: \$ <u>75⁰⁰</u> Total Fee: \$ <u>805⁰⁰</u>
Current legal use (i.e. single family) _____ If vacant, what was the previous use? <u>Andover College - administration office</u> Proposed Specific use: <u>Admin - Martins Point HealthCare</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>RENOVATE OLD ANDOVER COLLEGE SPACE FOR MEDICAL ADMINISTRATION</u>		
Contractor's name: <u>Wright-Ryan Construction</u> Address: <u>10 DANFORTH STREET</u> City, State & Zip <u>Portland ME 04101</u> Telephone: <u>773-3625</u> Who should we contact when the permit is ready: <u>SCOTT CRISTINA</u> Telephone: <u>773-3625 x15</u> Mailing address: <u>10 DANFORTH ST Portland ME 04101</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Scott Cristina Date: 2.18.09

This is not a permit; you may not commence ANY work until the permit is issued.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0140	Date Applied For: 02/20/2009	CBL: 170 F001001
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Location of Construction: 901 WASHINGTON AVE	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: Wright Ryan Construction, Inc	Contractor Address: 10 Danforth Street Portland	Phone: (207) 773-3625
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Commercial - Medical Administration Office- Change of use from Andover College to Medical Administration Office w/ tenant fit-up	Proposed Project Description: Change of use from Andover College to Medical Administration Office w/ tenant fit-up
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 03/03/2009

Note: This is not a change of use. The area that is being renovated was the area that held the administrative offices for Andover College, so the use remains as an office. **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 03/09/2009

Note: **Ok to Issue:**

- 1) All penetrations through rated assemblies must be protected by an approved firestop system installed in accordance with ASTM 814 or UL 1479, per IBC 2003 Section 712.
- 2) Separate permits are required for any electrical, plumbing, HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.
- 3) Separate Permits shall be required for any new signage.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 03/05/2009

Note: **Ok to Issue:**

- 1) Emergency lights and exit signs are required
- 2) The Fire alarm and Sprinkler systems shall be reviewed by a licensed contractor[s] for code compliance. Compliance letters are required.
- 3) The fire alarm system shall comply with NFPA 72
- 4) Installation of a Fire Alarm system requires a Knox Box to be installed per city ordinance
- 5) The sprinkler system shall be installed in accordance with NFPA 13.
- 6) All construction shall comply with NFPA 101

Comments:

2/23/2009-amachado: Left vcm for Scott Cristina at Wright-Ryan. This is change of use application. Did permit #08-0638 have any overlap in this area? Need to know square footage of area that is being changed. Will have to do at least siteplan exemption. Need siteplan with parking and parking analysis detailing all the uses on the site and required number of parking spaces.

3/3/2009-amachado: Received email from Todd Kilborn from PDT Architects that showed that the existing space was the administrative offices for Andover College.



Certificate of Design Application

From Designer: PDT Architects
Date: 19 February 2009
Job Name: Martin's Point @ Former Andover College Space
Address of Construction: 901 Washington Avenue

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year IBC 2003 Use Group Classification (s) Existing Business
NFPA
Type of Construction VB (primarily IIB)
Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC yes
Is the Structure mixed use? no If yes, separated or non separated or non separated (section 302.3) _____
Supervisory alarm System? _____ Geotechnical/Soils report required? (See Section 1802.2) _____

Structural Design Calculations

_____ Submitted for all structural members (106.1 – 106.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
_____	_____
_____	_____
_____	_____
_____	_____

Wind loads (1603.1.4, 1609)

_____ Design option utilized (1609.1.1, 1609.6)
_____ Basic wind speed (1809.3)
_____ Building category and wind importance Factor, I_w
table 1604.5, 1609.5)
_____ Wind exposure category (1609.4)
_____ Internal pressure coefficient (ASCE 7)
_____ Component and cladding pressures (1609.1.1, 1609.6.2.2)
_____ Main force wind pressures (7603.1.1, 1609.6.2.1)

Earth design data (1603.1.5, 1614-1623)

_____ Design option utilized (1614.1)
_____ Seismic use group ("Category")
_____ Spectral response coefficients, S_D & S_{D1} (1615.1)
_____ Site class (1615.1.5)

_____ Live load reduction
_____ Roof live loads (1603.1.2, 1607.11)
_____ Roof snow loads (1603.7.3, 1608)
_____ Ground snow load, P_g (1608.2)
_____ If $P_g > 10$ psf, flat-roof snow load P_f
_____ If $P_g > 10$ psf, snow exposure factor, C_e
_____ If $P_g > 10$ psf, snow load importance factor, I_s
_____ Roof thermal factor, C_t (1608.4)
_____ Sloped roof snowload, P_R (1608.4)
_____ Seismic design category (1616.3)
_____ Basic seismic force resisting system (1617.6.2)
_____ Response modification coefficient, R and
deflection amplification factor C_d (1617.6.2)
_____ Analysis procedure (1616.6, 1617.5)
_____ Design base shear (1617.4, 1617.5.1)

Flood loads (1803.1.6, 1612)

_____ Flood Hazard area (1612.3)
_____ Elevation of structure

Other loads

_____ Concentrated loads (1607.4)
_____ Partition loads (1607.5)
_____ Misc. loads (Table 1607.8, 1607.6.1, 1607.7,
1607.12, 1607.13, 1610, 1611, 2404)



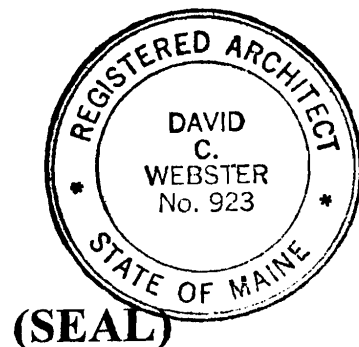
Accessibility Building Code Certificate

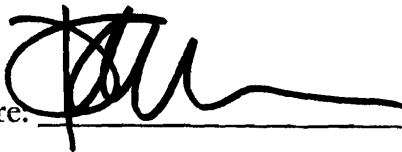
Designer: PDT Architects

Address of Project: 901 Washington Avenue

Nature of Project: Demolition of existing partitions and tenant
fit-up with systems furniture.

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



Signature: 

Title: Principal

Firm: PDT Architects

Address: 49 Dartmouth Street
Portland, ME 04101

Phone: 207-775-1059

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

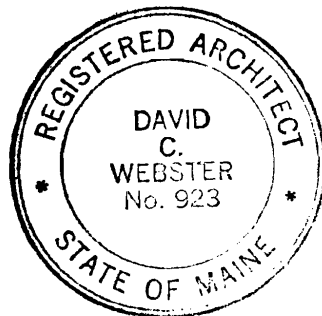
Date: 19 February 2009

From: PDT Architects

These plans and / or specifications covering construction work on:

Martin's Point fit-up of space at 901 Washington Avenue.

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: 

Title: Principal

Firm: PDT Architects

Address: 49 Dartmouth Street

Portland, ME 04101

Phone: 207-775-1059

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Ann Machado - 901 Washington Avenue

From: Todd Kilborn <kilborn@pdtarchs.com>
To: "amachado@portlandmaine.gov" <amachado@portlandmaine.gov>
Date: 3/3/2009 9:49 AM
Subject: 901 Washington Avenue

Hello Ann-

Barbara Barhydt mentioned that you guys wanted the square footage of the permit, and in writing Andover College's use of this space. Attached is drawing A01 which I made to do occupancy loads and egress calculations, the gross square footage of this space is 11,700 gsf and included the previously occupied connected space - 32,300 gsf.

I can try and get something from Andover regarding there use for the space, however using IBC 2003 think that Andover College's classroom spaces (none in this space) should be in the same use group as Martin's Point's offices, I included IBC 2003 – USE CLASSIFICATION to show my reasoning (Educational occupancies above the 12th grade are listed in Business Group B). Also, the previous permit was for Martin's Point to occupy this space and not do any work other then upgrades to hardware (knob to latch).

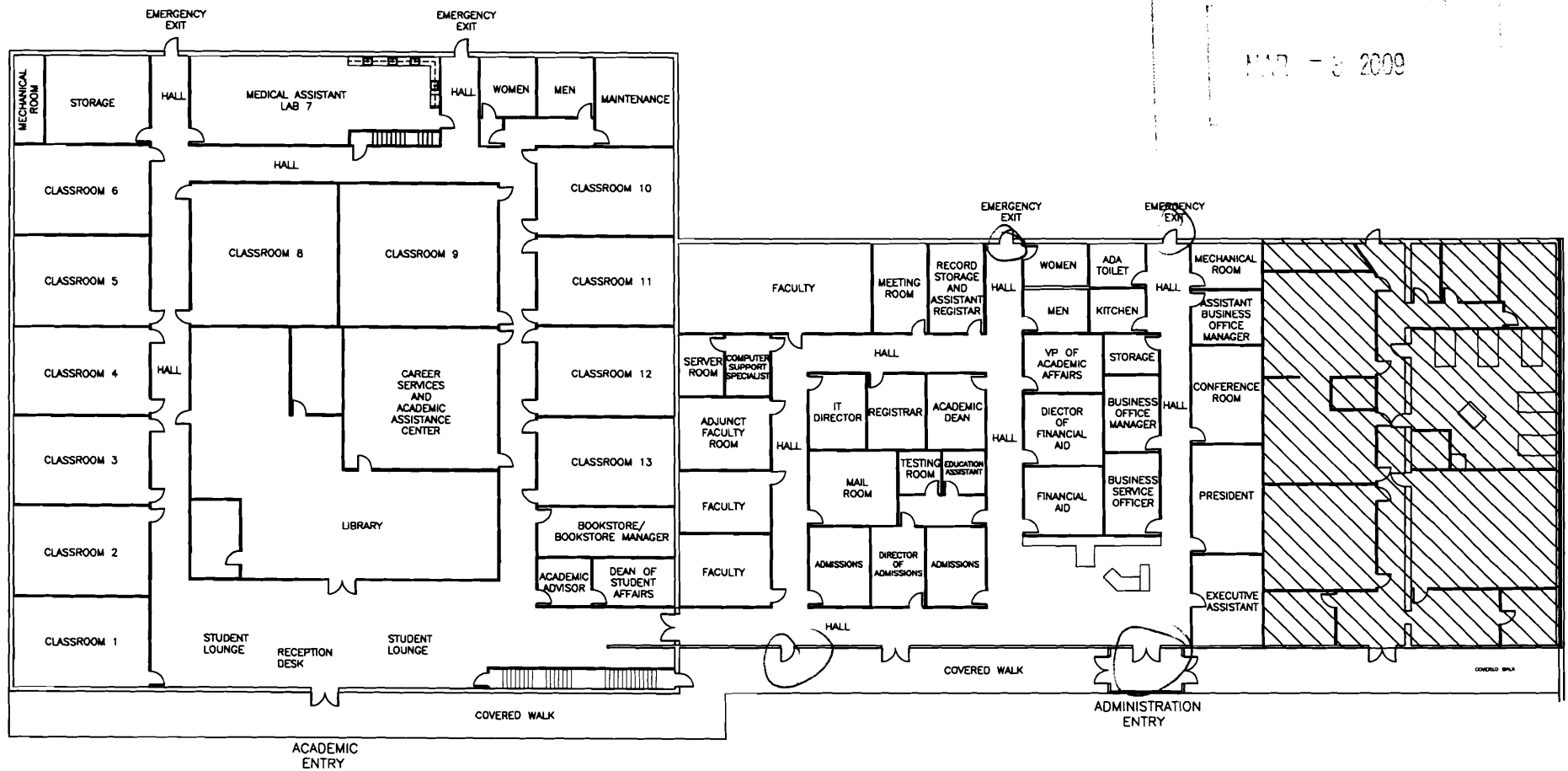
The attachment 901 Washington – Andover.pdf, PDT received when doing the first phase of work for Martin's Point here, it indicated uses (non are classroom), I can ask Martin's Point to have Andover College confirm this plan in writing if required.


Thanks,

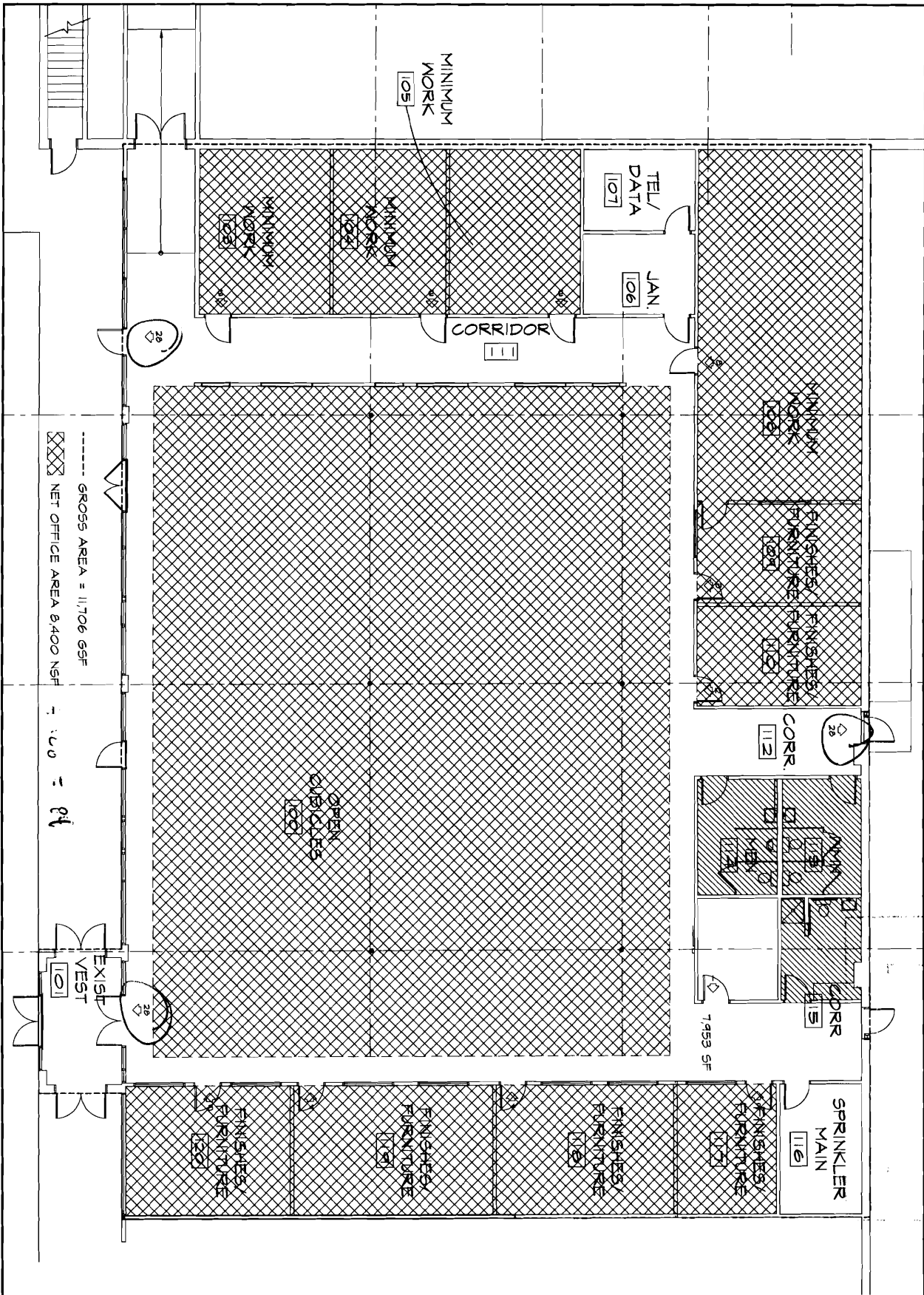
Todd A Kilborn

PDT Architects
49 Dartmouth Street
Portland, Maine
(207) 775-1059 x 348
fax (207) 775-2694
www.pdtarchs.com

MAR - 8 2009



 Corporate Environments SERVICES 47110000	FURNITURE LAYOUT BY MARTIN LUTHER KING, JR. CENTER 1000 S. UNIVERSITY BLVD. TAMPA, FL 33620	Project No.	
		Client	
10/08/08 09:00 P. O. Box 5476 Tampa, FL 33620 Tel: 813-288-1000 Fax: 813-288-1001		Date	03/07/09
		Scale	AS SHOWN
		Author	MARTIN LUTHER KING, JR. CENTER
		Checker	MARTIN LUTHER KING, JR. CENTER



Mar 10, 2009 1:22:22 PM

11.12.09 - 2 2009

Martin's Point
HEALTH CARE

Former Andover College Space Interior Fit-Up
901 WASHINGTON AVE - PORTLAND - MAINE

ARCHITECTURE
INTERIOR DESIGN
PLANNING

49 DARTMOUTH STREET
PORTLAND, MAINE 04101
www.pdtarche.com

© 2009 PDT Architects

TITLE
OCCUPANCY CALCULATIONS

JOB NO 09-010
DATE 19 FEBRUARY 2009
SCALE 1/8"=1'-0"

SHEET
A01

ARCHITECTS

P:\Martin Point\Floor2\Martin's Point\Andover College Space\Building 124 of Space - MPF, various services



ARCHITECTURE
INTERIOR DESIGN
PLANNING
49 DARTMOUTH STREET
PORTLAND, MAINE 04101
www.pdtarchs.com

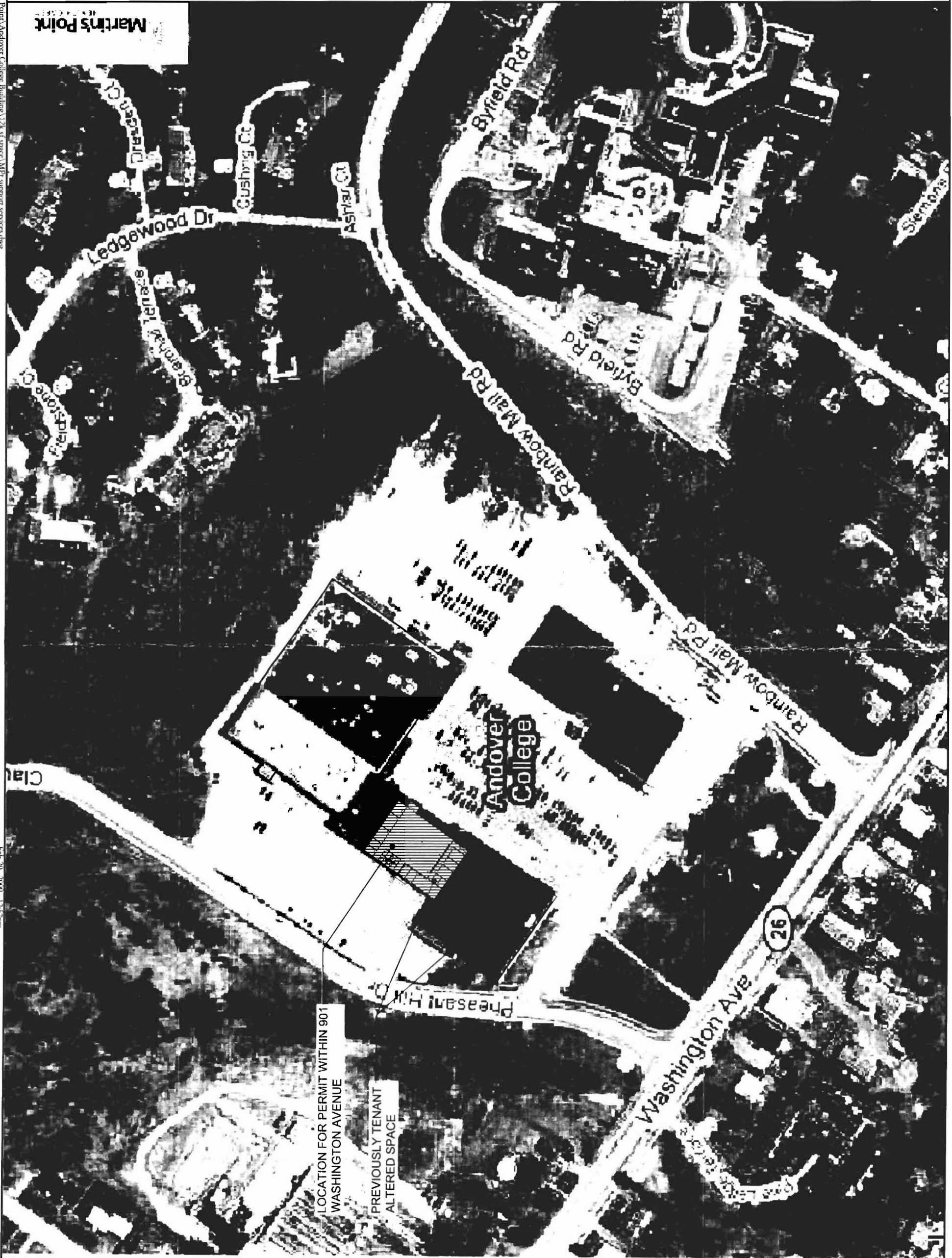
© 2009 PDT Architects

TITLE
SITE PLAN

JOB Nº 09-010
DATE 19 FEBRUARY 2009
SCALE N.T.S.

SHEET
A4

Former Andover College Space Interior Fit-Up
901 WASHINGTON AVE - PORTLAND - MAINE



LOCATION FOR PERMIT WITHIN 901
WASHINGTON AVENUE

PREVIOUSLY TENANT
ALTERED SPACE

Martin's Point
ARCHITECTS

H:\Master_Proj_Files2\Martin's Point\Andover College Buildings\12k sit space MPF support services.dwg

Feb 20, 2009 - 12:57pm

Former Andover College Space

Interior Fit-Up

901 Washington Avenue
Portland, Maine

PERMIT SET
19 February 2009



LIST OF DRAWINGS

A0 COVER SHEET
D1 DEMOLITION PLAN
A1 FLOOR PLAN
A2 LIFE SAFETY PLAN
A3 DETAILS

ABBREVIATIONS

AFF	ABOVE FINISH FLOOR
CJ	CONTROL JOINT
CLG	CEILING
CL	CENTER LINE
COL	COLUMN (COLUMN LINE)
COORD	COORDINATE
CORR	CORRIDOR
DIA	DIAMETER
DIM	DIMENSION
DWG	DRAWING
FE	FIRE EXTINGUISHER ON BRACKETS
GC	GENERAL CONTRACTOR
GWB	GYPSUM WALL BOARD
H, HGT	HEIGHT
MFGR	MANUFACTURER
MAX	MAXIMUM
MIN	MINIMUM
MISC	MISCELLANEOUS
MW	MICROWAVE
MTL	METAL
NIC	NOT IN CONTRACT
OC	ON CENTER
OPP	OPPOSITE
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
REQ'D	REQUIRED
SIM	SIMILAR
SPEC	SPECIFICATION
STOR	STORAGE
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
W/	WITH
WD	WOOD

PROJECT GENERAL NOTES

PROJECT GENERAL NOTES

1. THESE NOTES ARE INTENDED FOR GENERAL REFERENCE AND INFORMATION AND TO AUGMENT THE CONTRACT.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL CODES, ORDINANCES AND AGENCY REQUIREMENTS INCLUDING, BUT NOT LIMITED TO HAZARDOUS MATERIAL REMOVAL, SOLID WASTE DISPOSAL, SEISMIC DESIGN, AND LIFE-SAFETY.
3. IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO HAVE THE CONTRACTOR PROVIDE A COMPLETE, FULLY OPERATIONAL BUILDING. PROVIDE ALL LABOR, MATERIALS AND INCIDENTALS NECESSARY TO ACHIEVE THIS INTENT. FAILURE OF THE DRAWINGS OR SPECIFICATIONS TO INDICATE EACH INCIDENTAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE NECESSARY ITEMS AS PART OF THIS CONTRACT. THE DRAWINGS SHOW THE DESIGN AND LAYOUT AND DESCRIBE THE QUALITY LEVEL AND CONSTRUCTION TECHNIQUES IN A GENERAL SENSE ONLY.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND OWNER IMMEDIATELY IF CONDITIONS ARE DISCOVERED THAT DIFFER FROM THOSE DESCRIBED IN THE CONSTRUCTION DOCUMENTS.
5. WHERE NEW CONSTRUCTION EITHER INFILLS OR ABUTS EXISTING AREAS, THE SURFACES SHALL ALIGN AND BE FINISHED TO MATCH.
6. PATCH AND REPAIR ALL EXISTING CONSTRUCTION AFFECTED BY DEMOLITION OR REMOVAL OF EXISTING CONSTRUCTION.
7. THE CONTRACTOR SHALL SEAL ALL PENETRATIONS IN CORRIDOR, STAIRWELL, AND SHAFT WALL PARTITIONS TO MAINTAIN THE SEPARATIONS REQUIRED BY CODE.
8. PENETRATIONS THROUGH STRUCTURAL BEAMS, COLUMNS AND SHEAR WALLS SHALL BE REVIEWED BY A STRUCTURAL ENGINEER BEFORE EXECUTION.
9. ANY ADDITIONS AND/OR MODIFICATIONS TO THE EXISTING SPRINKLER SYSTEM SHALL BE COMPLETED IN CONFORMANCE WITH NFPA 13.
10. ALL MECHANICAL, PLUMBING AND ELECTRICAL DESIGN SHALL BY COMPLETED BY OTHERS.
11. DIMENSIONS ARE TAKEN AS FOLLOWS:
 - A. FACE OF NEW STUD TO FACE OF NEW STUD.
 - B. FACE OF EXISTING FINISH TO FACE OF NEW STUD.
 - C. "CLEAR" DIMENSIONS ARE FROM FACE OF FINISH TO FACE OF FINISH.

SYMBOLS

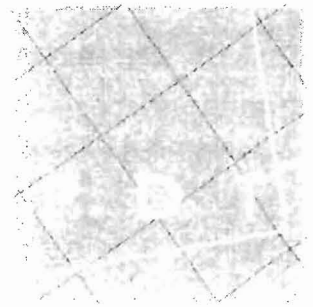
	EXISTING WALLS
	PROPOSED WALLS
	EXISTING COLUMNS
	FIRE EXTINGUISHER ON BRACKETS
	AREA OF NO ARCHITECTURAL WORK

Todd Kilborn

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ARCHITECT

49 DARTMOUTH STRE
PORTLAND, ME 041

GENERAL DEMOLITION AND REMOVAL NOTES

1. THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. IN INSTANCES WHERE WALLS ARE INDICATED FOR REMOVAL, REMOVE ALL DOORS, WINDOWS, AND MISCELLANEOUS HARDWARE, ELECTRICAL AND MECHANICAL ITEMS CONTAINED WITHIN THE WALL. REMOVE ANY EXISTING CONSTRUCTION WHICH LOGICALLY IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION.
2. VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
3. PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
4. REMOVE ALL EXISTING PLUMBING AND MECHANICAL ITEMS NOT TO BE USED IN NEW CONSTRUCTION. COORDINATE THE INFORMATION ON DRAWINGS.
5. REMOVAL OF THE MATERIALS AS INDICATED SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES TO REMAIN OR THE CURRENT CONDITION OF THE BUILDING ELEMENTS.
6. REMOVE ALL DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING- OR SEALING-OFF CONCEALED SPACES.
7. CUT TRENCHES IN EXISTING CONCRETE FLOORS WITH NO MORE THAN A 1:2 SLOPE. PATCH CONCRETE TO MATCH ADJACENT THICKNESS AND FINISH PRIOR TO THE INSTALLATION OF UNDERLAYMENT OR NEW FINISHES.
8. ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
9. SALVAGE: SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS FOR PATCH AND REPAIR AS INDICATED.
10. OPEN WALL TO ADD BLOCKING / SUPPORT FOR DOOR JAMB SUPPORT. TO CONNECT NEW WALL TO STUD WALL OF EXISTING WALL. TO ADD BLOCKING FOR CASEWORK AT EXISTING WALL.

GENERAL PATCHING AND REPAIR NOTES

1. DAMAGES: EXISTING BUILDING OR SITE COMPONENTS, NOT SCHEDULED FOR WORK WHICH ARE DAMAGED SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION BY METHODS APPROVED BY THE ARCHITECT.
2. PATCHING: AFTER REMOVAL OF BUILDING COMPONENTS AS INDICATED, PATCH AND PREPARE THE REMAINING EXISTING EXPOSED SURFACES TO RECEIVE NEW WORK AND FINISH. FOR EXAMPLE: LEVEL FLOORS AT WALL REMOVALS; TOOTH-IN NEW CMU AT OPENINGS; PIECE-IN NEW PLASTER BACKING AND FINISH FLUSH; PIECE IN NEW CEILING SUSPENSION SYSTEM.
3. WHERE NEW CONSTRUCTION EITHER INFILLS OR ABUTS EXISTING CONSTRUCTION, THE FINISHED FACES SHALL ALIGN, AND THE SURFACES SHALL BE FINISHED TO MATCH.
4. PATCH AND LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE ROOM FINISH SCHEDULE.
5. AFTER REMOVAL OF BUILDING COMPONENTS, ANY RESULTING HOLES SHALL BE PATCHED. MAINTAIN EXISTING FIRE- OR SMOKE-RATINGS AS INDICATED. SUCH PATCHES SHALL BE FLUSH WITH ADJACENT SURFACES AND FINISHED TO MATCH.

WALLS:

- W1** REMOVE WALL AS REQUIRED FOR NEW OPENING(S)
- W2** REMOVE EXTERIOR WALL AS REQUIRED


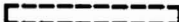

DOORS:

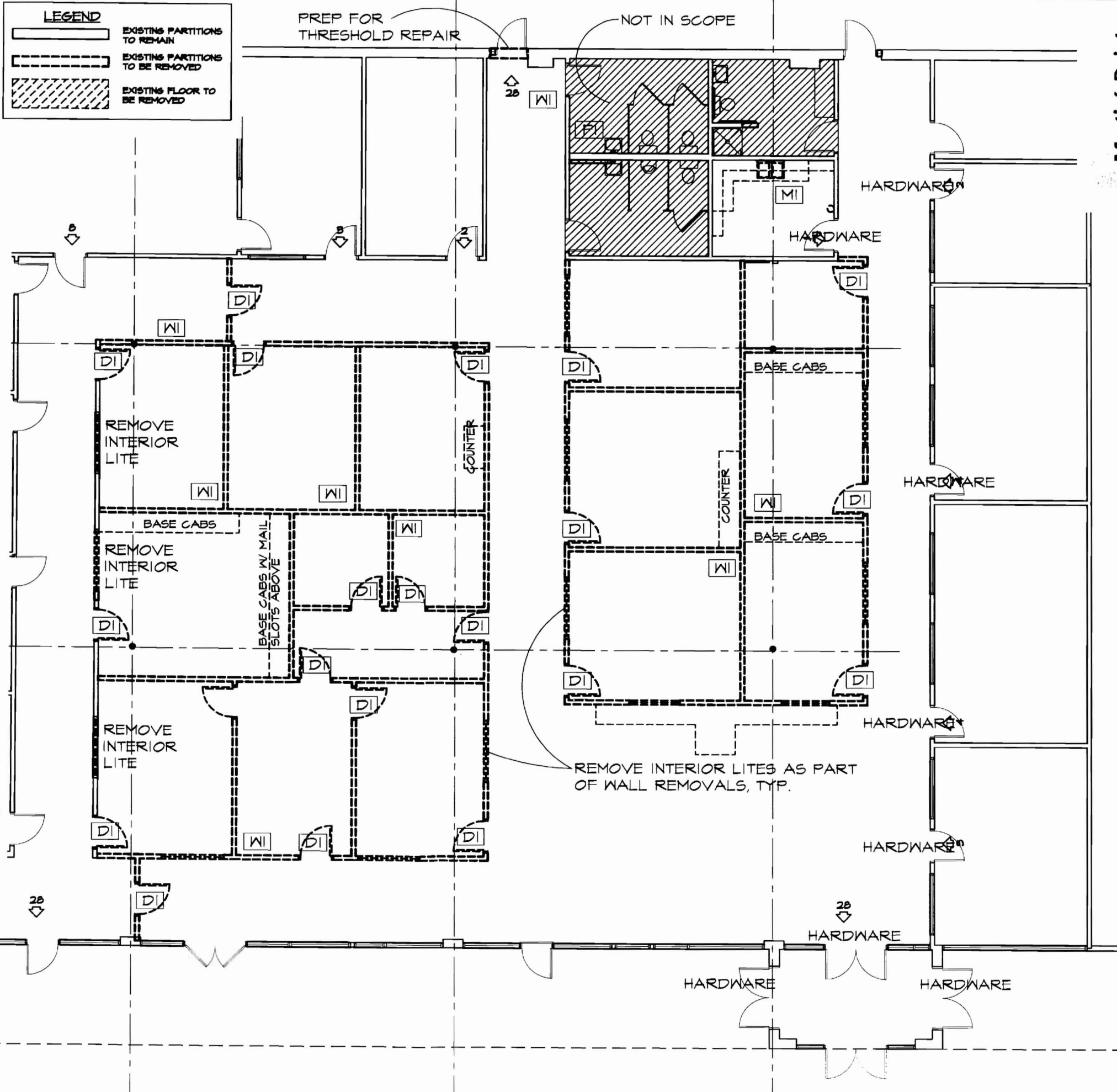
- D1** REMOVE DOOR, DOOR FRAME AND THRESHOLD IF ANY.

FLOORS:

- F1** REMOVE FLOORING AS REQ'D TO TIE INTO EXISTING SERVICES

LEGEND

-  EXISTING PARTITIONS TO REMAIN
-  EXISTING PARTITIONS TO BE REMOVED
-  EXISTING FLOOR TO BE REMOVED



Martin's Point
HEALTH CARE

Former Andover College Space Interior Fit-Up
901 WASHINGTON AVE - PORTLAND - MAINE

TITLE
DEMOLITION PLAN

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ARCHITECTURE
INTERIOR DESIGN
PLANNING
49 DARTMOUTH STREET
PORTLAND, MAINE 04101
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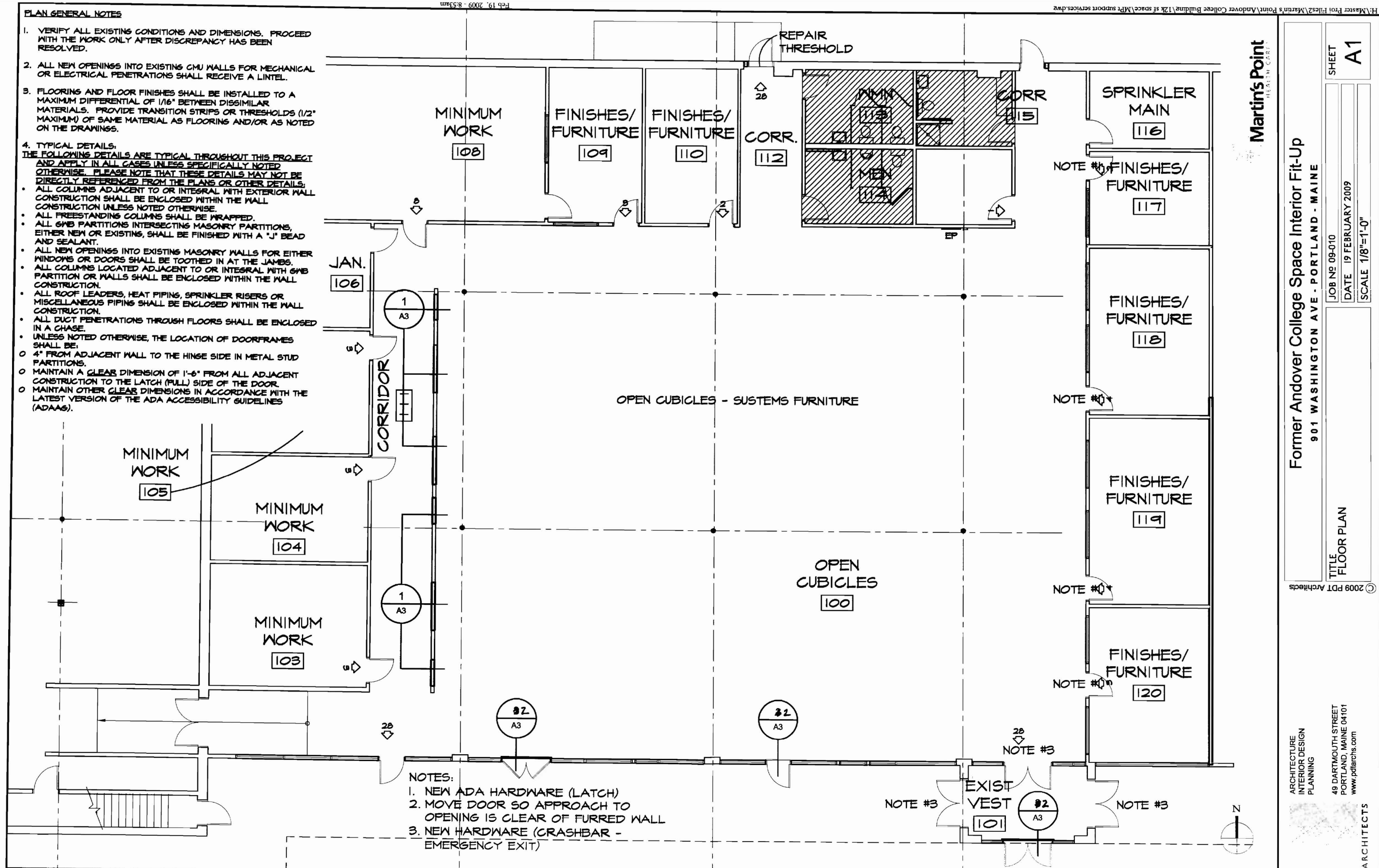
JOB NO 09-010
DATE 19 FEBRUARY 2009
SCALE 3/32"=1'-0"

SHEET
D1

ECTS

PLAN GENERAL NOTES

1. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED.
2. ALL NEW OPENINGS INTO EXISTING CMU WALLS FOR MECHANICAL OR ELECTRICAL PENETRATIONS SHALL RECEIVE A LINTEL.
3. FLOORING AND FLOOR FINISHES SHALL BE INSTALLED TO A MAXIMUM DIFFERENTIAL OF 1/16" BETWEEN DISSIMILAR MATERIALS. PROVIDE TRANSITION STRIPS OR THRESHOLDS (1/2" MAXIMUM) OF SAME MATERIAL AS FLOORING AND/OR AS NOTED ON THE DRAWINGS.
4. TYPICAL DETAILS:
 THE FOLLOWING DETAILS ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. PLEASE NOTE THAT THESE DETAILS MAY NOT BE DIRECTLY REFERENCED FROM THE PLANS OR OTHER DETAILS.
 - ALL COLUMNS ADJACENT TO OR INTEGRAL WITH EXTERIOR WALL CONSTRUCTION SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL FREESTANDING COLUMNS SHALL BE WRAPPED.
 - ALL GMB PARTITIONS INTERSECTING MASONRY PARTITIONS, EITHER NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND SEALANT.
 - ALL NEW OPENINGS INTO EXISTING MASONRY WALLS FOR EITHER WINDOWS OR DOORS SHALL BE TOOTHED IN AT THE JAMBS.
 - ALL COLUMNS LOCATED ADJACENT TO OR INTEGRAL WITH GMB PARTITION OR WALLS SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL ROOF LEADERS, HEAT PIPING, SPRINKLER RISERS OR MISCELLANEOUS PIPING SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CHASE.
 - UNLESS NOTED OTHERWISE, THE LOCATION OF DOORFRAMES SHALL BE:
 - 4" FROM ADJACENT WALL TO THE HINGE SIDE IN METAL STUD PARTITIONS.
 - MAINTAIN A CLEAR DIMENSION OF 1'-6" FROM ALL ADJACENT CONSTRUCTION TO THE LATCH (PULL) SIDE OF THE DOOR.
 - MAINTAIN OTHER CLEAR DIMENSIONS IN ACCORDANCE WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAAS).



NOTES:

1. NEW ADA HARDWARE (LATCH)
2. MOVE DOOR SO APPROACH TO OPENING IS CLEAR OF FURRED WALL
3. NEW HARDWARE (CRASHBAR - EMERGENCY EXIT)

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Martin's Point
 HEALTH CARE

SHEET
 A1

JOB No: 09-010
 DATE: 19 FEBRUARY 2009
 SCALE: 1/8"=1'-0"

H:\Master Pro1\Files2\Martin's Point\Andover College Building\12k sf space\MPE support services.dwg Feb 19, 2009 - 8:53am

CONFIRM EXTERIOR LIGHT WORKS AT BOTH BOTH EXTERIOR DOORS. PROVIDE / REPAIR AS REQ'D.

95 FT MAX TRAVEL DISTANCE

NOTE #1

NOTE #1

NOTE #1

NOTE #1

NOTE #1

NOTE #1

NOTE #1

NOTE #1

KEY

- FS FIRE ALARM STROBE LIGHT
- EXIT SIGN
- E EMERGENCY LIGHTS
- F FIRE ALARM HORN / STROBE LIGHT
- S SMOKE DETECTOR
- FE FIRE EXTINGUISHER

OVERALL SPACE - 3,400 NSF
84 OCCUPANTS PER IBC AND REVIEW
38 PLANNED OCCUPANTS PER TENANT

LIFE SAFETY & BUILDING CODE COMPLIANCE SUMMARY

Building Code: IBC 2003 Life Safety Code: NFPA 2003

Occupancy
Existing Business

General Building Heights and Areas
Allowable Height and Building Areas
Table 503 Business
Tabular Area (At) 9,000 sf/floor Height - 2 stories
Area Modifications - 506

Overall space
Aa = At + [(At x If)/100] + [(At x Is)/100]
At = 9000, If = 47%, Is = 300%
Aa = 23000 + [(23000 x 34)/100] + [(23000 x 300)/100]
Aa = 40,230 sf
Actual sf = 32,288 sf
Frontage Increase - 506.2
If = 100 (F/P - .25) W/30
If = 100 (614/850 - .25) 30/30 = 47%

Types of Construction
IBC: Type VB, main structure IIB, VB due to wood framed unoccupied level in previously occupied space

Fire Protection Systems
Existing sprinkler system to be (re)certified NFPA compliant automatic sprinkler system.

Most Restrictive Means of Egress Component Parameters
Max Exit Travel Distance
IBC 1015.1 & NFPA 39.2.6.1 = 300ft
Min Corridor Width 7.3.4.1 - 36" (occupant loads < 50)
Min Egress Width Table 7.3.3.1 (.2 in/person)
Max Dead End Corridor 39.2.5.2 (50 ft)

CONFIRM EXTERIOR LIGHTS WORK AT COVERED WALKWAY, REPAIR AS REQ'D.

- NOTES:
- REPLACE AND DAMAGED OR MISSING CEILING TILES, MATCH EXISTING
 - REPAIR ANY LIGHT NOT WORKING

Martins Point

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SHEET A2

JOB NO 09-010
DATE 19 FEBRUARY 2009
SCALE 3/32"=1'-0"

TITLE SCHEMATIC NEW CEILING / LIFE SAFETY PLAN

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