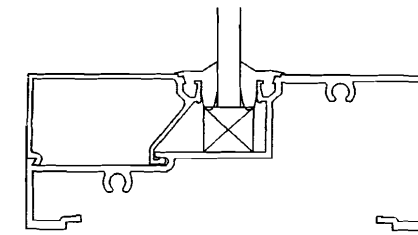
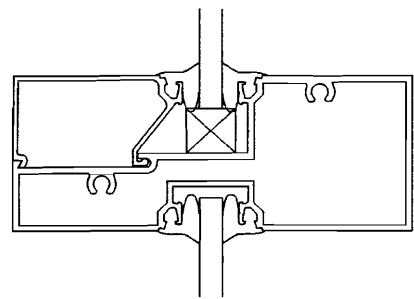


1 LEFT JAMB
4 HALF SCALE



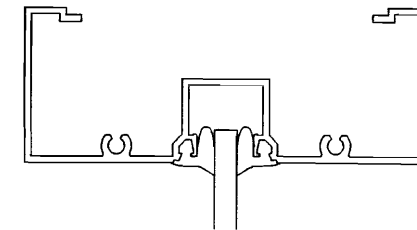
2 SILL
4 HALF SCALE

		PRINTS ISSUED FOR				ORDER	
		MARTINS POINT					
		DRW ALS		CHK	APPR	DATE 6/3/08	DRWG SHT 4 OF 12
NO.	REVISION	BY					



450-CG-011 HORIZONTAL
450-CG-004 GLASS STOP

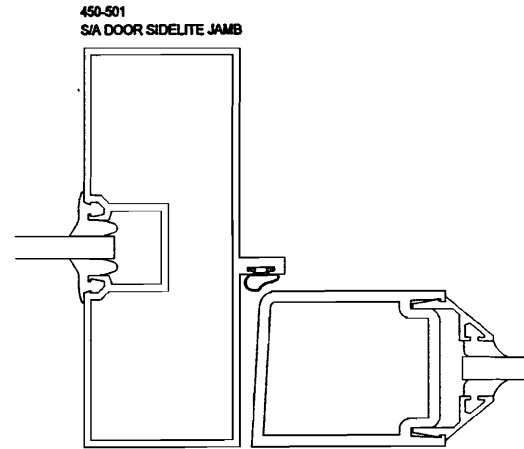
3 INT HORIZONTAL
5 HALF SCALE



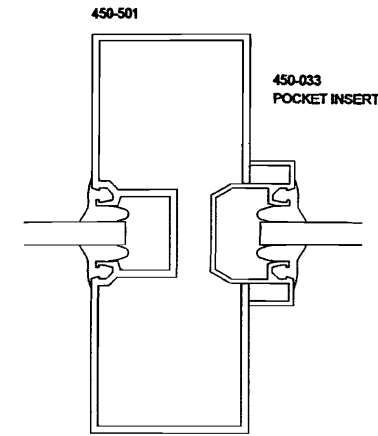
450-CG-001 HEAD

4 HEAD
5 HALF SCALE

		PRINTS ISSUED FOR				ORDER	
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				DRW ALS		CHK	
				APPR		DATE 6/3/08	
NO.	REVISION			BY		SHT 5 OF 12	

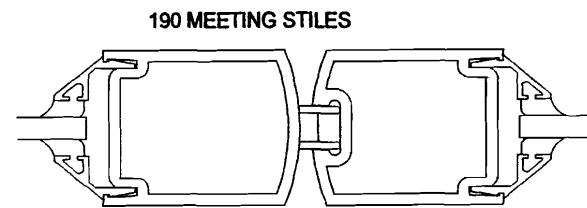


5 HINGE LEFT INTERIOR JAMB
6 HALF SCALE



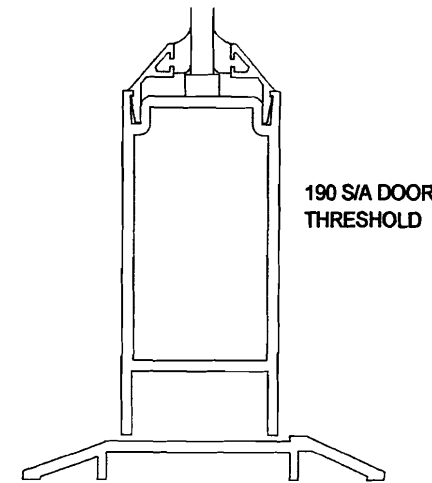
6 LEFT TRANSOM VERTICAL
6 HALF SCALE

		PRINTS ISSUED FOR				ORDER	
		MARTINS POINT					
		DRW		CHK		APPR	
		ALS				DATE	
						6/3/08	
NO.	REVISION			BY		SHT 6	
						OF 12	



190 MEETING STILES

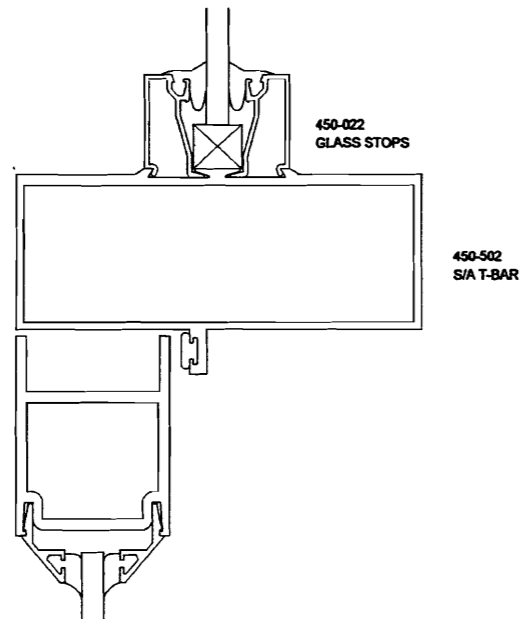
7 MEETING STILE
7 HALF SCALE



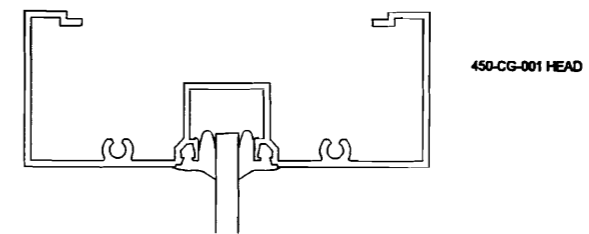
190 S/A DOOR
THRESHOLD

8 THRESHOLD
7 HALF SCALE

		PRINTS ISSUED FOR				ORDER	
		MARTINS POINT				DRWG	
						SHT 7	
NO.	REVISION	BY	DRW ALS	CHK	APPR	DATE 6/3/08	OF 12

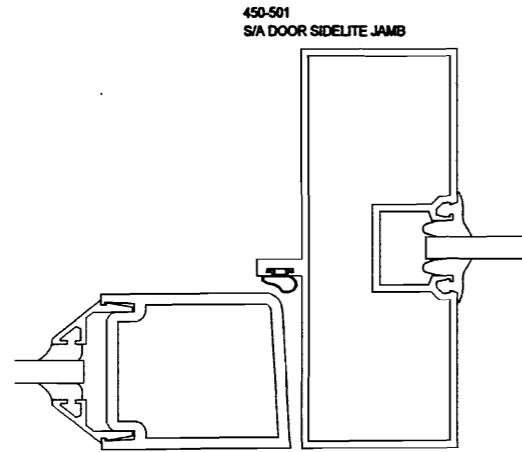


9 DOOR HEADER
8 HALF SCALE

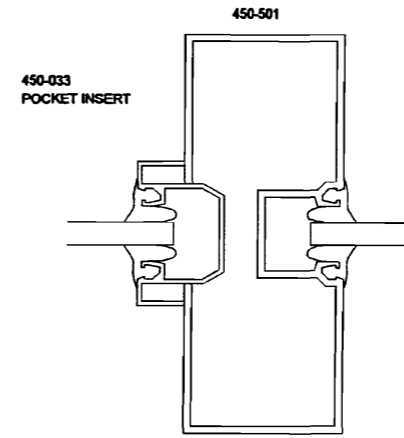


10 TRANSOM HEAD
8 HALF SCALE

		PRINTS ISSUED FOR				ORDER	
		MARTINS POINT					
				DRW	CHK	APPR	DATE
				ALS			6/3/08
NO.	REVISION			BY			DRWG
							SHT 8
							OF 12

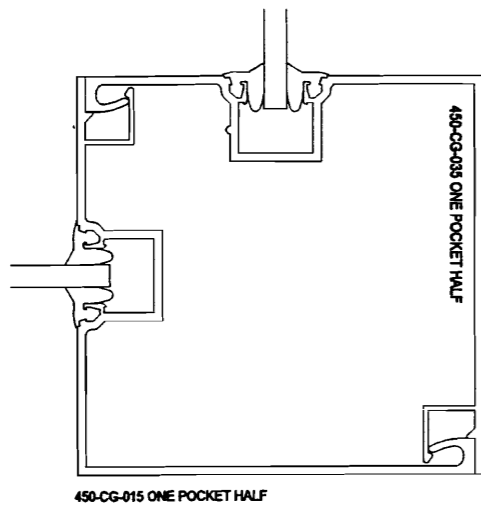


11 HINGE RIGHT INTERIOR JAMB
9 HALF SCALE

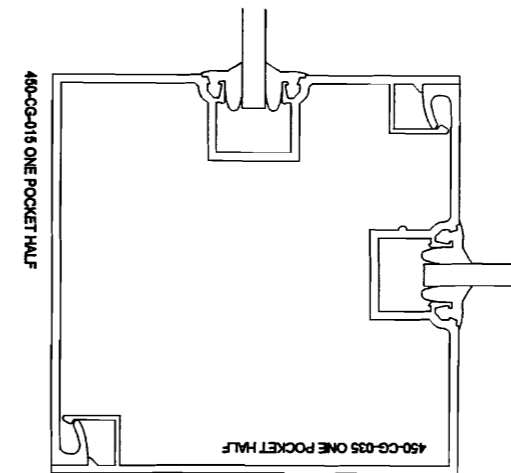


12 RIGHT TRANSOM VERTICAL
9 HALF SCALE

			PRINTS ISSUED FOR					ORDER
			MARTINS POINT					
			DRW ALS	CHK	APPR	DATE 6/3/08	DRWG	SHT 9 OF 12
NO.	REVISION	BY						



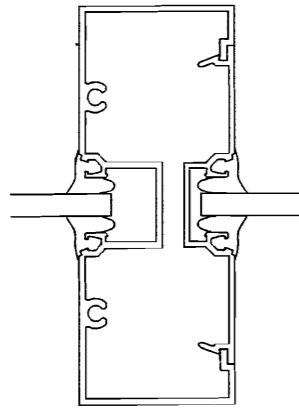
13 RIGHT JAMB
10 HALF SCALE



14 LEFT JAMB
10 HALF SCALE

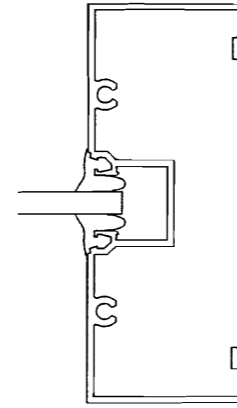
				PRINTS ISSUED FOR				ORDER	
				MARTINS POINT					
								DRW	
				ALS		6/3/08		SHT 10	
NO.		REVISION		BY				OF 12	

450-CG-001 MULLION
450-CG-002 POCKET FILLER



15 INT VERTICAL
11 HALF SCALE

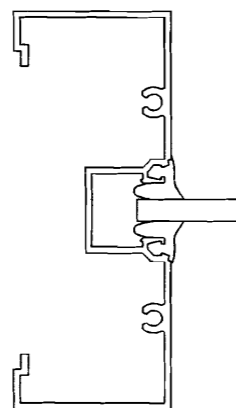
450-CG-001 JAMB



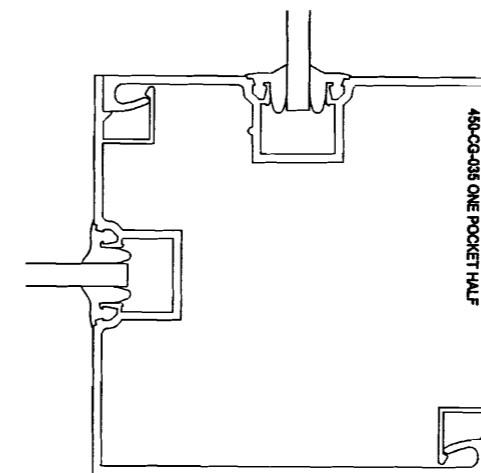
16 RIGHT JAMB
11 HALF SCALE

		PRINTS ISSUED FOR				ORDER	
		MARTINS POINT				DRWG	
						SHT 11	
		DRW	CHK	APPR	DATE	OF 12	
NO.	REVISION	ALS			6/3/08		

450-CG-001 JAMB



17 LEFT JAMB
12 HALF SCALE



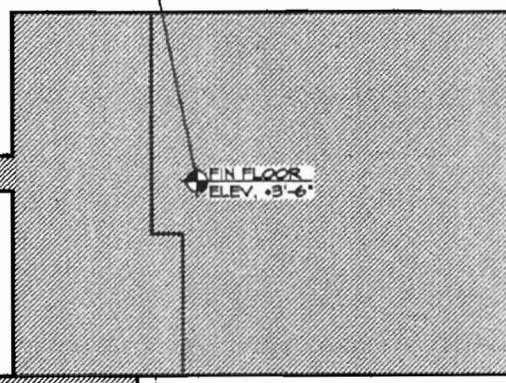
450-CG-015 ONE POCKET HALF

18 RIGHT JAMB
12 HALF SCALE

		PRINTS ISSUED FOR				ORDER	
		MARTINS POINT				DRWG	
		DATE 6/3/08		OF 12			
NO.	REVISION	BY	DRW ALS	CHK	APPR		

COMMUNITY HEALTH SERVICES LEVEL:
APPROXIMATELY 58,800 GROSS SF

FIN FLOOR
ELEV. +3'-6"



FIN FLOOR
ELEV. +1'-4"

ANDOVER COLLEGE LOWER LEVEL:
APPROXIMATELY 21,000 GROSS SF

FIN FLOOR
ELEV. 0'-0"

GROUND FLOOR PLAN
1" = 30'

JUN - 8 2008

May 20, 2008 - 2:45pm

HV-Master Proj / Martin's Point Health Andover College Building / CADWIP/AC-planning

5" - CHANGE
HARDWARE TO
ADA COMPLIANT

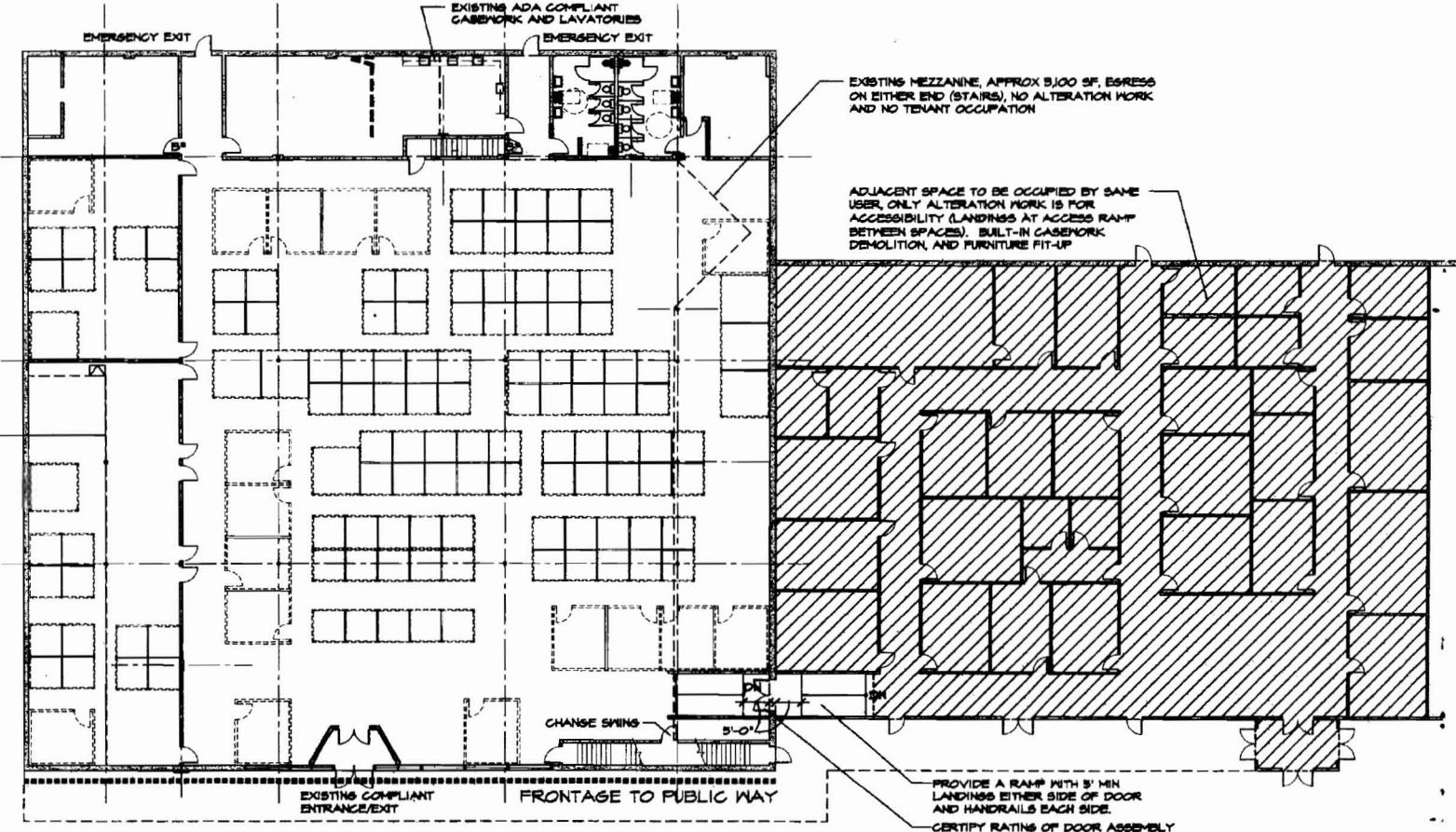
EXISTING MECHANICAL PLATFORM
ABOVE (APPROX 1800 SF).
ACCESS THRU FLYING PANEL IN
CEILING SYSTEM, NO SEPERATION

2008 International Building Code
Existing single story structure is 20,800 GSF
Use Group - Business (B), Previous-use Business
Type III Construction, noncombustible walls, roof,
columns and beams, combustible joist and flooring at
mezzanine
Existing Mezzanine to be unaltered and unoccupied
(Reference NFPA 10 Fully Sprinklered Building)

Section 906 Area Modifications
Automatic Sprinkler Increase for single story building
500x
A=1000 + Table 905 (1000)(500)/100 = 56,000
GSF

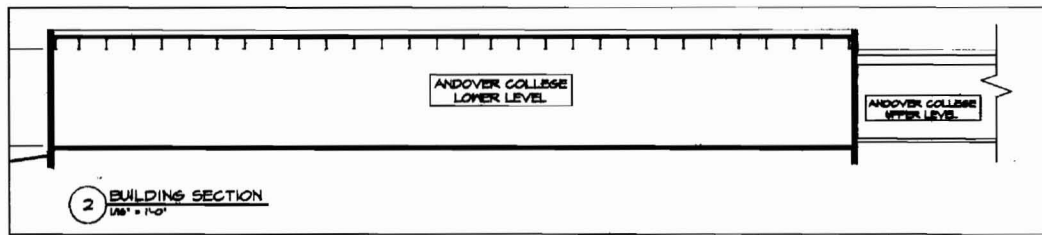
NFPA 101, Life Safety Code 2006
Primary Occupancy: Existing Business (see Chapter 94,
94.1 General Requirements
Classification of Hazard of Contents (see Section 6.2)
= Ordinary Hazard
Table 7.5.1.2 Occupant Load
Business 100sq / person

2000 Maine State Internal Plumbing Code
Occupant Load - 148 (94 Men / 54 Men)
Water Closets - Male (4) 24, Female (5) 41
Urinals - (1)
Lavatories - Male (5), Female (5)



14,800 NSF
100 SF/P
148 OCCUPANTS

3 BUILDING PLAN
1/8" = 1'-0"



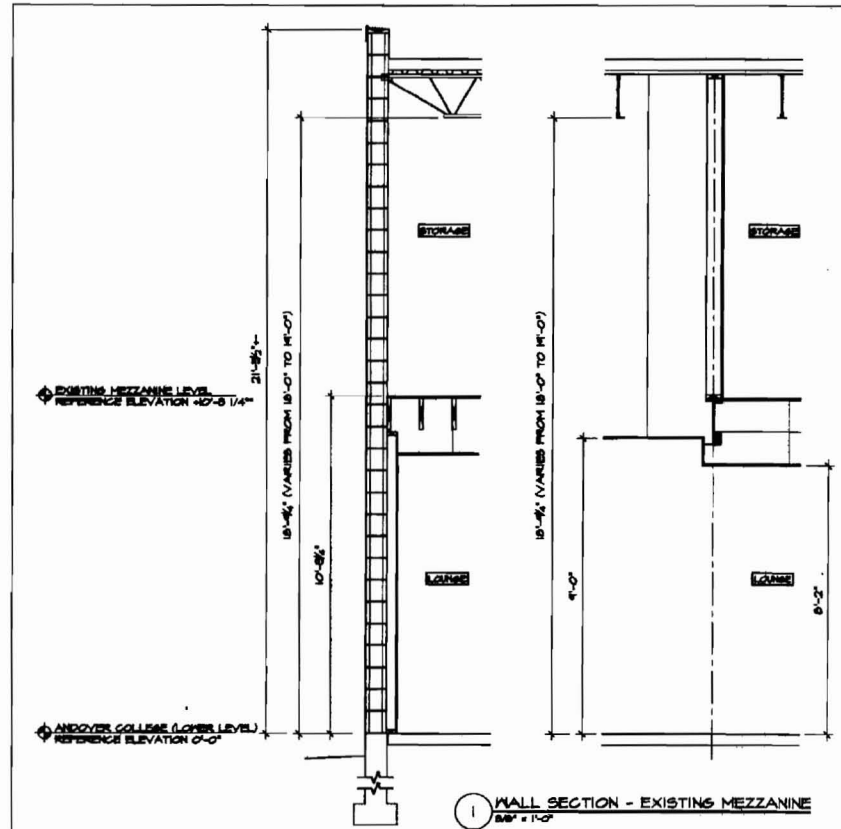
2 BUILDING SECTION
1/8" = 1'-0"

PROJECT GENERAL NOTES

- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES, ORDINANCES AND AGENCY REQUIREMENTS INCLUDING, BUT NOT LIMITED TO: HAZARDOUS MATERIAL REMOVAL, SOLID WASTE DISPOSAL, SEISMIC DESIGN, AND LIFE SAFETY.
- COORDINATE THE WORK OF ALL SUBCONTRACTORS.
- PROVIDE WORK HOLES AND ACCESS HOLES TO INSTALL NEW SYSTEMS IN CONCEALED SPACES, AS REQUIRED OR INDICATED. REPAIR THE OPENINGS AS INDICATED IN NOTES.
- IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO HAVE THE CONTRACTOR PROVIDE A COMPLETE, FULLY OPERATIONAL BUILDING. PROVIDE ALL LABOR, MATERIALS AND INCIDENTALS NECESSARY TO ACHIEVE THIS INTENT. FAILURE OF THE DRAWINGS OR SPECIFICATIONS TO INDICATE EACH INCIDENTAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE NECESSARY ITEMS AS PART OF THIS CONTRACT. THE DRAWINGS SHOW THE DESIGN AND LAYOUT, DESCRIBE THE QUALITY LEVEL AND CONSTRUCTION TECHNIQUES IN A GENERAL SENSE ONLY. ALL DETAILS ARE TYPICAL WHAT IS SHOWN IN ONE CONDITION APPLIES TO ALL OTHER SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
- DO NOT PENETRATE STRUCTURAL BEAMS, COLUMNS, OR SHEAR WALLS.

6. DEFINITIONS:
- NEW: MAY BE USED TO INDICATE ITEMS WHICH SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACT. TYPICALLY USED TO ENSURE CLARITY BETWEEN VARIOUS COMPONENTS OF THE DRAWINGS. NOT ALL ITEMS ARE LABELED AS "NEW" WHEN IT IS OBVIOUS BY OTHER INDICATION.
 - EXISTING: EXISTING BUILDING OR SITE COMPONENTS WHICH ARE IN PLACE AT THE START OF CONSTRUCTION. NOT ALL ITEMS ARE LABELED AS "EXISTING" WHEN IT IS OBVIOUS BY OTHER INDICATION. CONSULT THE ARCHITECT FOR CLARIFICATION.
 - REPAIR: RESTORE TO PROPER OPERATING AND AESTHETIC CONDITION.
 - RESTORE: BRING BACK TO FORMER CONDITION, BY REPAIRING OR PATCHING AS REQUIRED.
 - PATCH: RESTORE TO CONDITION MATCHING EXISTING ADJACENT CONSTRUCTION, SURFACE TEXTURE AND FINISH.
 - N.I.C. (NOT IN CONTRACT): WORK WHICH IS NOT INCLUDED IN THIS CONTRACT, BUT WHICH MAY REQUIRE CONTRACTOR COORDINATION.
 - REMOVE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE.
 - REPLACE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE. PROVIDE NEW MATERIAL AS INDICATED.
 - DEMOLISH: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE.
 - SALVAGE: REMOVE AND REINSTALL OR REMOVE AND DELIVER TO THE OWNER, AS INDICATED.

7. VERIFY THE FOLLOWING ITEMS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK, AND PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT:
- EXISTING CONDITIONS
 - THE SIZE AND LOCATION OF ALL EXISTING UTILITIES.
 - DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS.
 - MECHANICAL, ELECTRICAL AND PLUMBING COORDINATION HAVING POTENTIAL IMPACT ON CEILING HEIGHTS OR BUILDING APPEARANCE
 - DIMENSIONAL DISCREPANCIES
8. PROVIDE BOND-OUTS, BLOCKING, SLEEVES AND PIPES AS REQUIRED FOR ALL WALL, FLOOR, ROOF, AND CEILING PENETRATIONS THROUGH STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE ASSEMBLIES TO CONFORM TO U.L. RATED ASSEMBLIES AND ALL NFPA AND INTERNATIONAL BUILDING CODE REQUIREMENTS. ALL PENETRATIONS SHALL ALSO COMPLY WITH THE ACOUSTICAL ASSEMBLY RATING REQUIRED FOR EACH WALL OR FLOOR ASSEMBLY.
9. PROVIDE MECHANICAL, ELECTRICAL, PLUMBING AND OTHER SERVICES SYSTEMS AS REQUIRED BY CODE. GAS FIRED HVAC UNIT INSTALLED ON ROOF AND SIZED FOR SPACE.



FIELD SUMMARY AT ANDOVER COLLEGE.
PREVAILING CONSTRUCTION

PREVAILING GROUND FLOOR CEILING HEIGHT:	11'-0"
CEILING HEIGHT UNDER MEZZANINE:	8'-0"
CEILING HEIGHT AT MEZZANINE:	11'-4"
MEZZANINE CONSTRUCTION:	3/4" x 12" OC TYP JV 5/4" PFD DECK
GROUND FLOOR TO UNDERSIDE OF ROOF STRUCTURE:	VARIES FROM 18'-0" TO 14'-0"
GROUND FLOOR TO MEZZANINE FLOOR:	10'-8 1/4"

CHU BEARING WALLS
METAL DECK SUPPORTED BY BAR JOISTS
FRAMED INTO WF GIRDERS

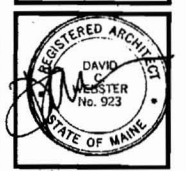
* UNDERSIDE OF WF GIRDERS VARIES AND MAY EXTEND UP TO 8" BELOW
UNDERSIDE OF BAR JOISTS AT SPECIFIC LOCATIONS.

1 WALL SECTION - EXISTING MEZZANINE
3/8" = 1'-0"

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ARCHITECTS
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PORTLAND, MAINE 04101
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www.pdtarch.com

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Martin's Point Healthcare
Andover Space Alterations, Fit-Up
PORTLAND, MAINE



JOB NO. 08-050
DRWN CHK AJR
SCALE: AS NOTED
ISSUE PERMIT SET 30 MAY 2008
TITLE CODE / BUILDING ANALYSIS
SHEET A0

Martin's Point Healthcare
Andover Space Alterations, Fit-Up
PORTLAND, MAINE



JOB NO.
08-050

DRWN. CHK
AJR

SCALE:
1/8"=1'-0"

ISSUE
PERMIT SET
30 MAY 2008

TITLE
DEMOLITION PLAN

SHEET

DI

GENERAL DEMOLITION AND REMOVAL NOTES

- THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. IN INSTANCES WHERE WALLS ARE INDICATED FOR REMOVAL, REMOVE ALL DOORS, WINDOWS, AND MISCELLANEOUS HARDWARE, ELECTRICAL, AND MECHANICAL ITEMS CONTAINED WITHIN THE WALL. REMOVE ANY EXISTING CONSTRUCTION WHICH LOGICALLY IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION.
- VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
- PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS, WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
- REMOVE ALL EXISTING PLUMBING AND MECHANICAL ITEMS NOT TO BE USED IN NEW CONSTRUCTION. COORDINATE THE INFORMATION ON DRAWINGS.
- REMOVAL OF THE MATERIALS AS INDICATED SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES TO REMAIN OR THE CURRENT CONDITION OF THE BUILDING ELEMENTS.
- REMOVE ALL DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING- OR SEALING-OFF CONCEALED SPACES.
- CUT TRENCHES IN EXISTING CONCRETE FLOORS WITH NO MORE THAN A 1:2 SLOPE. PATCH CONCRETE TO MATCH ADJACENT THICKNESS AND FINISH PRIOR TO THE INSTALLATION OF UNDERLAYMENT OR NEW FINISHES.
- ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
- SALVAGE. SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS FOR PATCH AND REPAIR AS INDICATED.
- PLUMBING AND HEATING SHAFT DEMOLITION NOT SHOWN ON DEMOLITION PLANS COORDINATE ADDITIONAL DEMOLITION TO ACCOMMODATE MECHANICAL AND ELECTRICAL.
- OPEN MALL TO ADD BLOCKING / SUPPORT FOR DOOR JAMB SUPPORT. TO CONNECT NEW WALL TO STUD WALL OF EXISTING MALL. TO ADD BLOCKING FOR CASEWORK AT EXISTING MALL.

GENERAL PATCHING AND REPAIR NOTES

- DAMAGES. EXISTING BUILDING OR SITE COMPONENTS, NOT SCHEDULED FOR WORK, WHICH ARE DAMAGED SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION BY METHODS APPROVED BY THE ARCHITECT.
- PATCHING. AFTER REMOVAL OF BUILDING COMPONENTS AS INDICATED, PATCH AND PREPARE THE REMAINING EXISTING EXPOSED SURFACES TO RECEIVE NEW WORK AND FINISH. FOR EXAMPLE, LEVEL FLOORS AT WALL REMOVALS; TOOTH-IN NEW GYI AT OPENINGS; PIECE-IN NEW PLASTER BACKINGS AND FINISH FLUSH, PIECE IN NEW CEILING SUSPENSION SYSTEM.
- WHERE NEW CONSTRUCTION EITHER INFILLS OR ADJUTS EXISTING CONSTRUCTION, THE FINISHED FACES SHALL ALIGN, AND THE SURFACES SHALL BE FINISHED TO MATCH.
- PATCH AND LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE ROOM FINISH SCHEDULE.
- AFTER REMOVAL OF BUILDING COMPONENTS, ANY RESULTING HOLES SHALL BE PATCHED. MAINTAIN EXISTING FIRE- OR SMOKE-RATINGS AS INDICATED. SUCH PATCHES SHALL BE FLUSH WITH ADJACENT SURFACES AND FINISHED TO MATCH.

WALLS:

- W1 REMOVE WALL AS REQUIRED FOR NEW OPENING(S)
- W2 REMOVE EXTERIOR WALL AS REQUIRED

LEGEND

- EXISTING PARTITIONS TO REMAIN
- EXISTING PARTITIONS TO BE REMOVED
- EXISTING FLOOR TO BE REMOVED

DOORS:

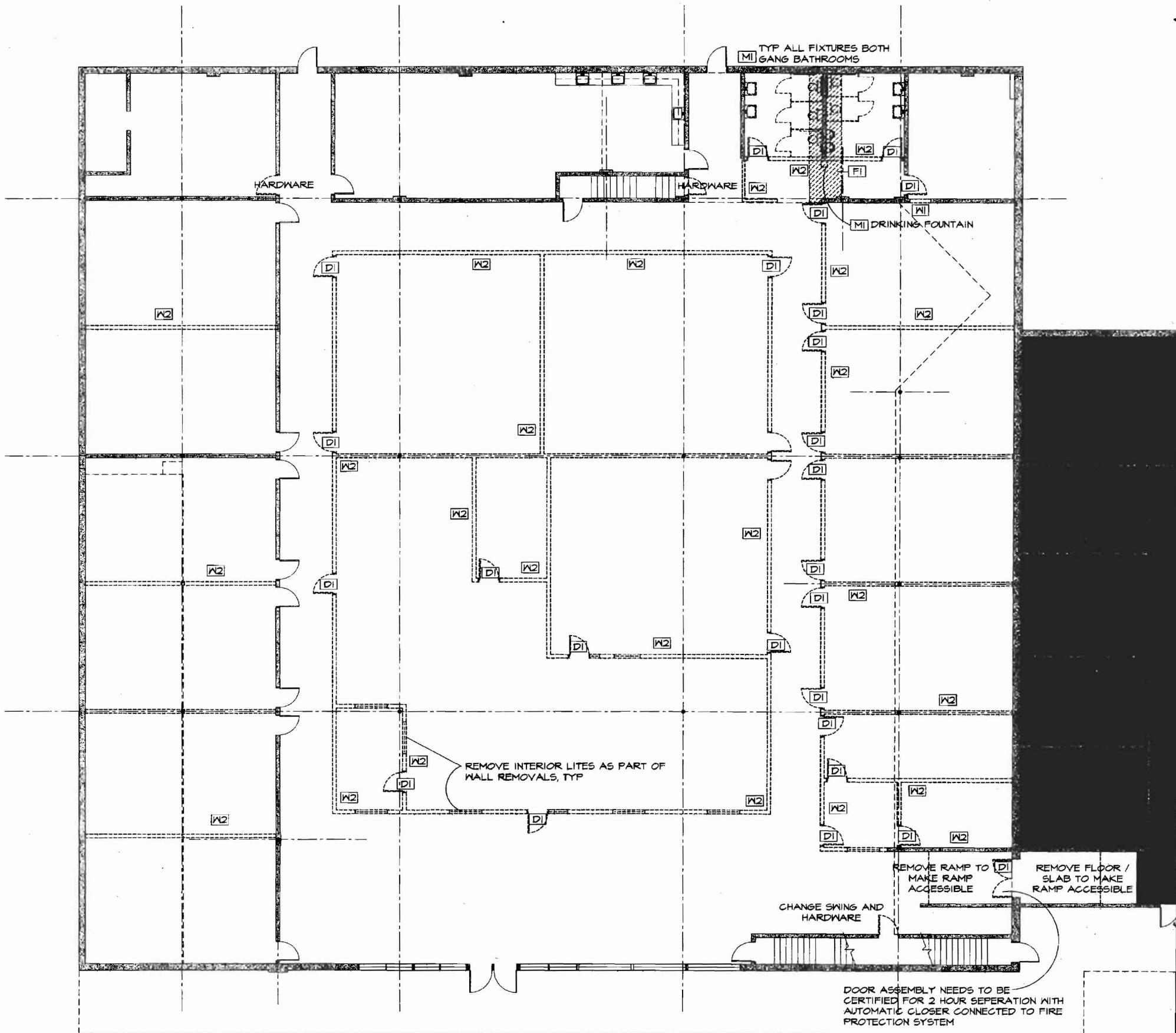
- D1 REMOVE DOOR, DOOR FRAME AND THRESHOLD IF ANY.

PLUMBING:

- M1 REMOVE EXISTING PLUMBING

FLOORS:

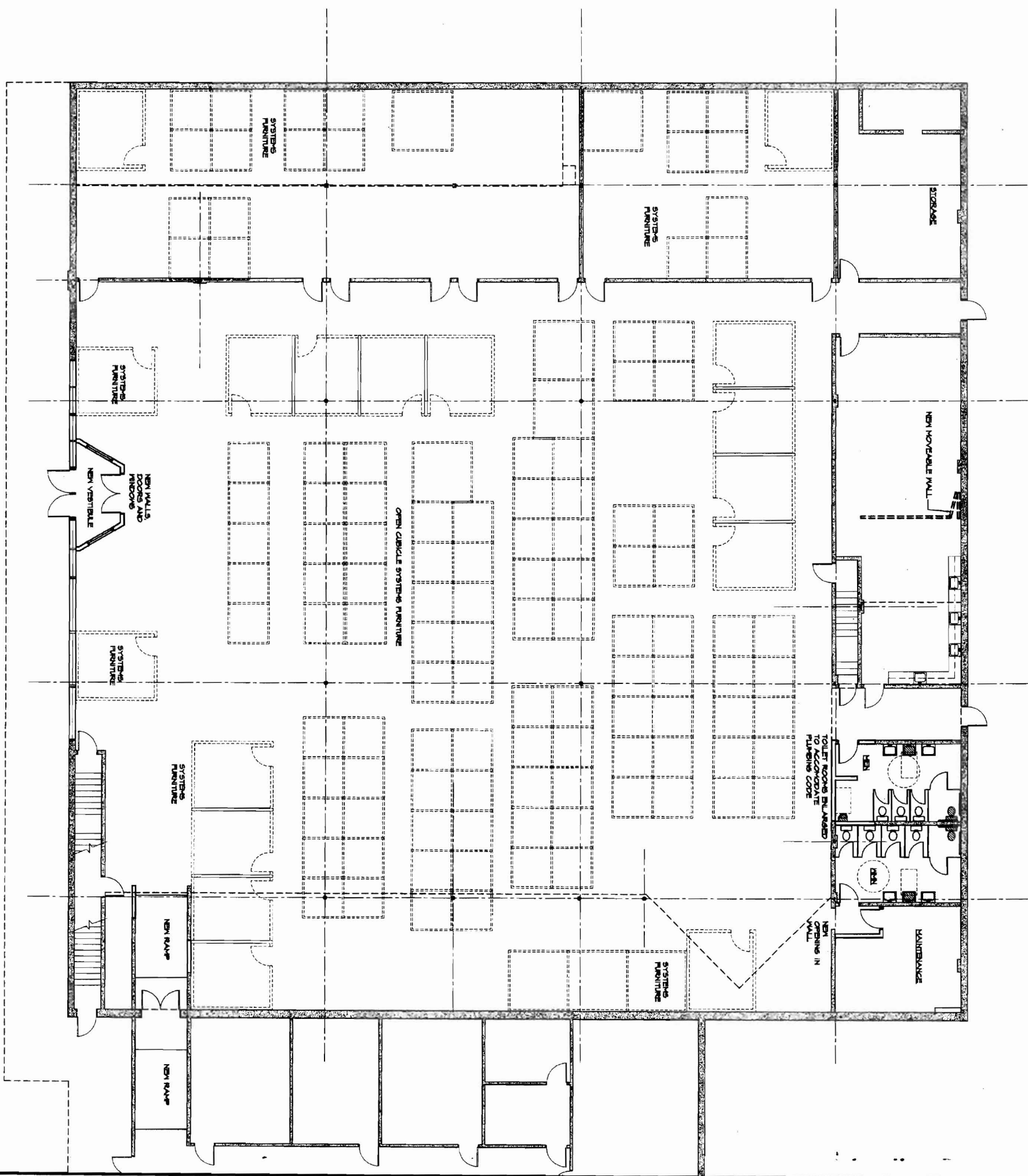
- F1 REMOVE FLOORING AS REQUIRED TO TIE INTO EXISTING SERVICES



May 30, 2008 - 1:45pm

15V:Master Proj File\2\Martin's Point\Andover College Building\CAD\MPAC-plan.dwg

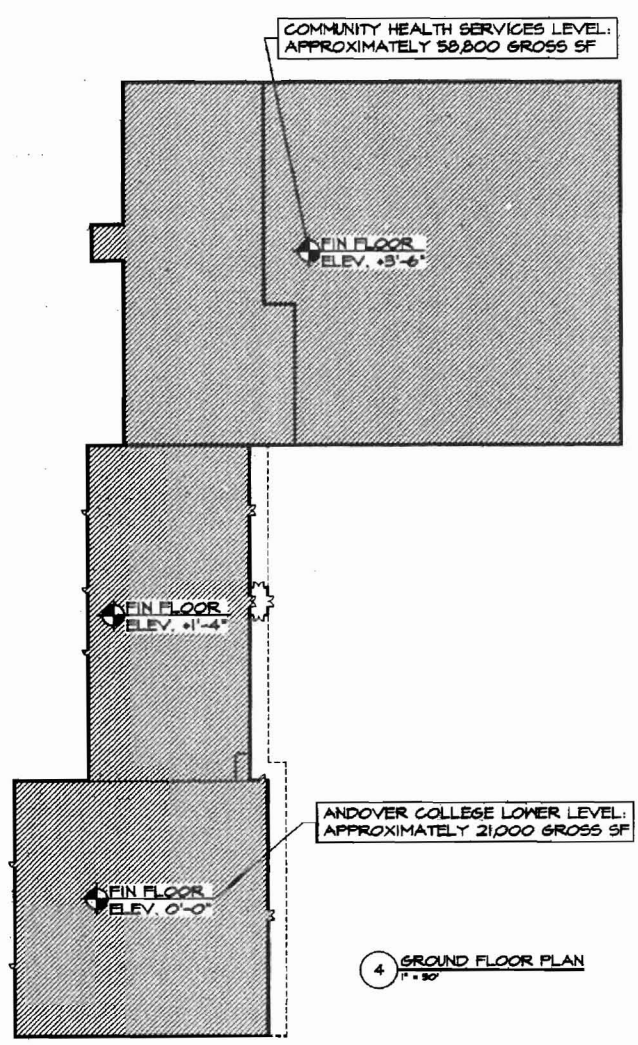
- PLAN GENERAL NOTES**
1. VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. PROCEED WITH THE WORK ONLY AFTER DISCREPANCY HAS BEEN RESOLVED.
 2. ALL NEW OPENINGS INTO EXISTING CMU WALLS FOR MECHANICAL OR ELECTRICAL PENETRATIONS SHALL RECEIVE A LINTE.
 3. FLOORING AND FLOOR FINISHES SHALL BE INSTALLED TO A MAXIMUM DIFFERENTIAL OF 1/8" BETWEEN DISPARATE MATERIALS. PROVIDE TRANSITION STRIPS OR THRESHOLDS (1/2" MAXIMUM) OF SAME MATERIAL AS FLOORING AND/OR AS NOTED ON THE DRAWINGS.
 4. TYPICAL DETAILS ARE TYPICAL THROUGHOUT THIS PROJECT AND APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE. PLEASE NOTE THAT THESE DETAILS MAY NOT BE DIRECTLY REPRESENTED FROM THE PLAN OR OTHER DETAILS.
 - ALL COLLARS ADJACENT TO OR INTERFERE WITH EXTERIOR WALL CONSTRUCTION SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION UNLESS NOTED OTHERWISE.
 - ALL EXISTING COLLARS SHALL BE RECONSTRUCTED WITH NEW OR EXISTING, SHALL BE FINISHED WITH A "J" BEAD AND SEALANT.
 - ALL NEW OPENINGS INTO EXISTING MASONRY WALLS FOR EITHER WINDOWS OR DOORS SHALL BE TOOTHED IN AT THE JAWES.
 - ALL COLLARS LOCATED ADJACENT TO OR INTERFERE WITH GWS PARTITION OR WALLS SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL ROOF LEAKS, HEAT PIPES, SENSORS, RISERS OR MISCELLANEOUS PIPES SHALL BE ENCLOSED WITHIN THE WALL CONSTRUCTION.
 - ALL DUCT PENETRATIONS THROUGH FLOORS SHALL BE ENCLOSED IN A CASSE.
 - UNLESS NOTED OTHERWISE, THE LOCATION OF DOOR AND WINDOW SHALL BE MAINTAINED AS SHOWN ON THE DRAWINGS.
 - MAINTAIN A CLEAR DIMENSION OF 1'-4" FROM ALL ADJACENT CONSTRUCTION TO THE LATCH (WALL) SIDE OF THE DOOR.
 - MAINTAIN OTHER CLEAR DIMENSIONS IN ACCORDANCE WITH THE LATEST VERSION OF THE ADA ACCESSIBILITY GUIDELINES (ADAA).



	Martin's Point Healthcare Andover Space Alterations, Fit-Up PORTLAND, MAINE	ARCHITECTS 49 DARTMOUTH STREET PORTLAND, MAINE 04101 www.pdtarch.com	COPYRIGHT 2008 PDT Architects <small>None of the information on this drawing is to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of PDT Architects.</small>
	JOB NO. 08-050 DRAWN: CHK AJR SCALE 1/8"=1'-0" ISSUE PERMIT SET 30 MAY 2008	TITLE FIRST FLOOR PLAN	SHEET A2

May 30, 2008 - 2:55pm

HY-Master Proq (Rev. 07) Martin's Point Andover College Building CAD:VFPAC-plan.dwg



2008 International Building Code

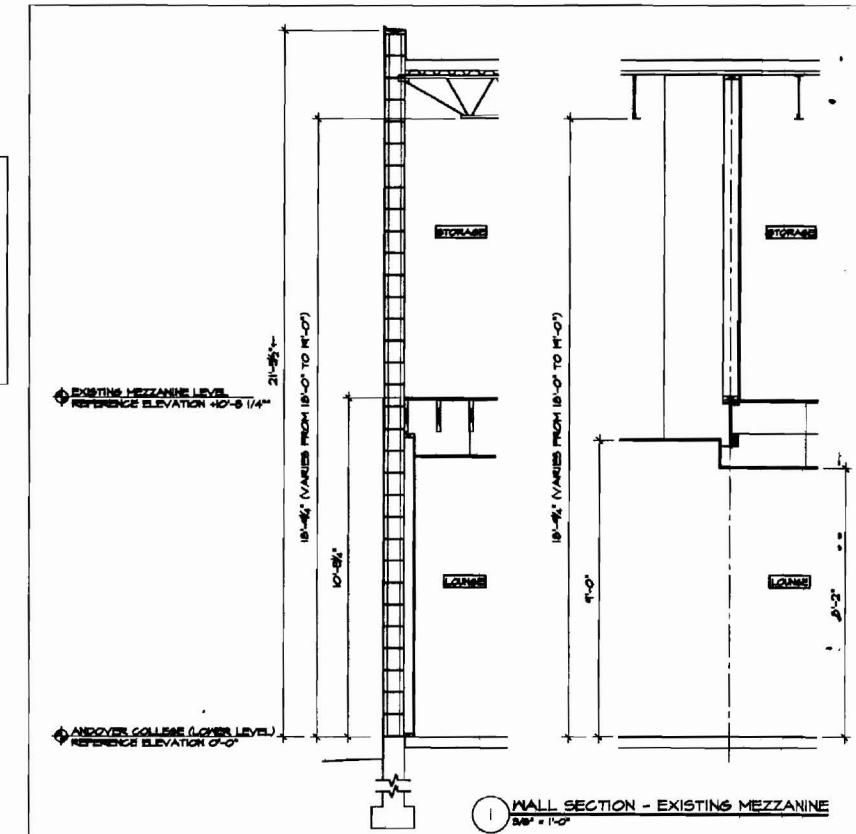
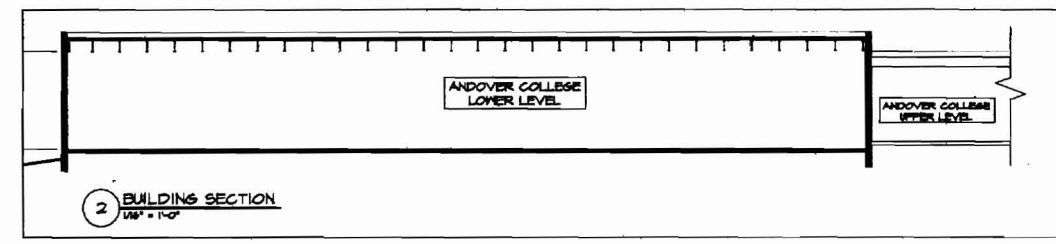
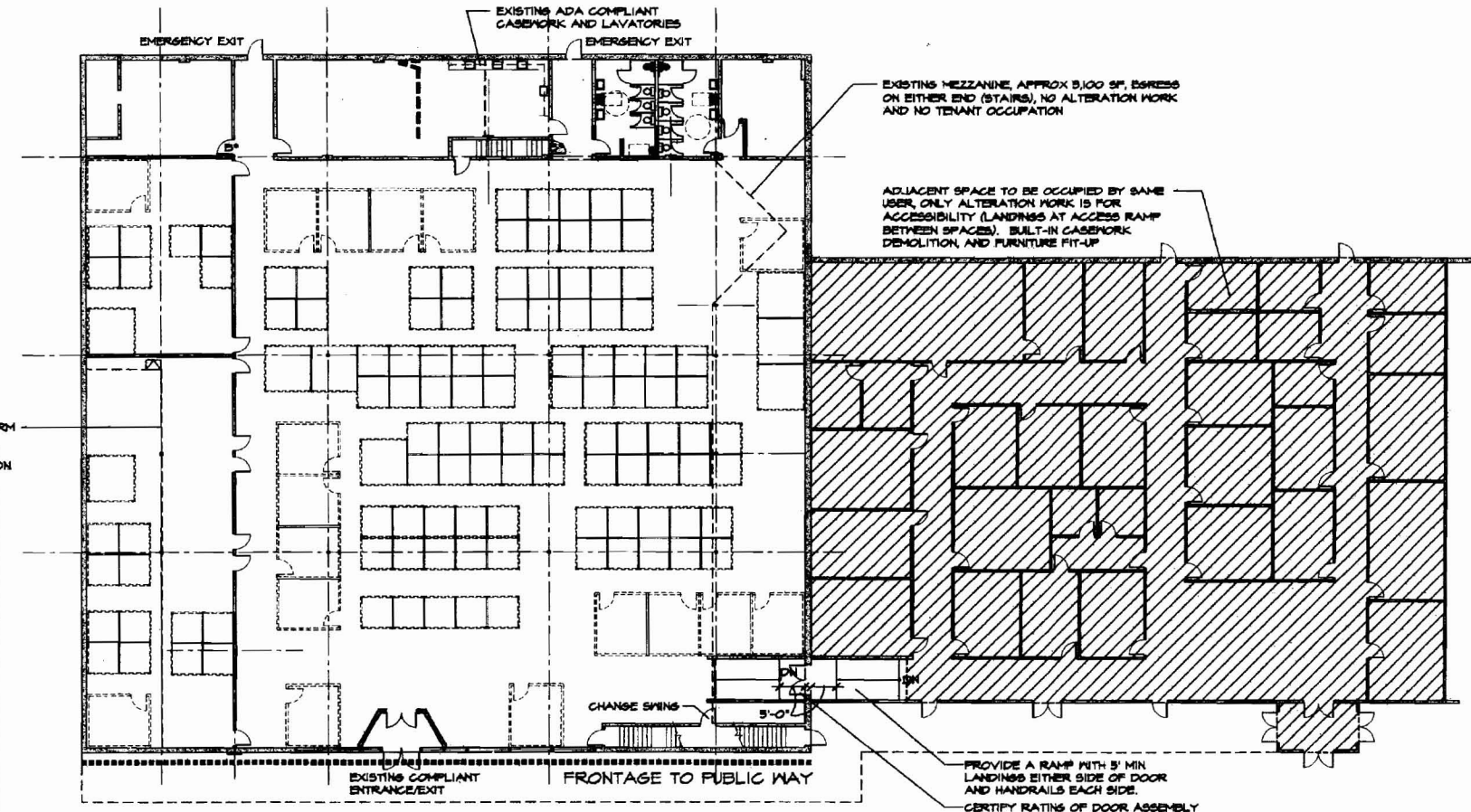
Existing single story structure @ 20,000 GSF
Use Group - Business (B), Previous use Business
Type II Construction, noncombustible walls, roof,
columns and beams, combustible joist and flooring at
mezzanine
Existing Mezzanine to be unattended and unoccupied
(Re)classify NFPA 10 Fully Sprinklered Building

Section 506 Area Modifications
Automatic Sprinkler Increase for single story building
300x
A=1000 + Table 506 (4000)(500)/100 = 56,000
GSF

NFPA 101, Life Safety Code 2006

Primary Occupancy: Existing Business (see Chapter 54)
541 General Requirements
Classification of Hazard of Contents (see Section 6.2)
= Ordinary Hazard
Table 7.5.1.2 Occupant Load
Business 100sq ft / person

2000 Maine State Internal Plumbing Code
Occupant Load - 115 (94 Men / 94 Men)
Water Closets - Male (4) 34, Female (5) 4+1
Urinals - (1)
Lavatories - Male (5), Female (5)



FIELD REVISION AT ANDOVER COLLEGE:
PREVAILING CONSTRUCTION

PREVAILING GROUND FLOOR CEILING HEIGHT: 11'-0" +/-
CEILING HEIGHT UNDER MEZZANINE: 8'-2" +/-
CEILING HEIGHT AT MEZZANINE: 7'-4" +/-
MEZZANINE CONSTRUCTION: 2X12 @ 12" OC TYP 1/4" S/4" FIN'D DECK
GROUND FLOOR TO UNDERSIDE OF ROOF STRUCTURE: VARIES FROM 18'-0" TO 14'-0" +/-
GROUND FLOOR TO MEZZANINE FLOOR: 10'-8 1/4" +/-

CH4 BEARING WALLS
METAL DECK SUPPORTED BY BAR JOISTS
FRAMED INTO WF GIRDERS

* UNDERSIDE OF WF GIRDERS VARIES AND MAY EXTEND UP TO 8" BELOW
UNDERSIDE OF BAR JOISTS AT SPECIFIC LOCATIONS.

PROJECT GENERAL NOTES

- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL NATIONAL, STATE, AND LOCAL CODES, ORDINANCES AND AGENCY REQUIREMENTS INCLUDING, BUT NOT LIMITED TO: HAZARDOUS MATERIAL REMOVAL, SOLID WASTE DISPOSAL, SEISMIC DESIGN, AND LIFE-SAFETY.
- COORDINATE THE WORK OF ALL SUBCONTRACTORS.
- PROVIDE WORK HOLES AND ACCESS HOLES TO INSTALL NEW SYSTEMS IN CONCEALED SPACES, AS REQUIRED OR INDICATED. REPAIR THE OPENINGS AS INDICATED IN NOTES.
- IT IS THE INTENT OF THE DRAWINGS AND SPECIFICATIONS TO HAVE THE CONTRACTOR PROVIDE A COMPLETE, FULLY OPERATIONAL BUILDING. PROVIDE ALL LABOR, MATERIALS AND INCIDENTALS NECESSARY TO ACHIEVE THIS INTENT. FAILURE OF THE DRAWINGS OR SPECIFICATIONS TO INDICATE EACH INCIDENTAL SHALL NOT RELIEVE THE CONTRACTOR FROM PROVIDING THE NECESSARY ITEMS AS PART OF THIS CONTRACT. THE DRAWINGS SHOW THE DESIGN AND LAYOUT, DESCRIBE THE QUALITY LEVEL AND CONSTRUCTION TECHNIQUES IN A GENERAL SENSE ONLY. ALL DETAILS ARE TYPICAL WHAT IS SHOWN IN ONE CONDITION APPLIES TO ALL OTHER SIMILAR CONDITIONS, UNLESS NOTED OTHERWISE.
- DO NOT PENETRATE STRUCTURAL BEAMS, COLUMNS, OR SHEAR WALLS.

- DEFINITIONS:
 - NEW: MAY BE USED TO INDICATE ITEMS WHICH SHALL BE FURNISHED AND INSTALLED BY THIS CONTRACT. TYPICALLY USED TO ENSURE CLARITY BETWEEN VARIOUS COMPONENTS OF THE DRAWINGS. NOT ALL ITEMS ARE LABELED AS "NEW" WHEN IT IS OBVIOUS BY OTHER INDICATION.
 - EXISTING: EXISTING BUILDING OR SITE COMPONENTS WHICH ARE IN PLACE AT THE START OF CONSTRUCTION. NOT ALL ITEMS ARE LABELED AS "EXISTING" WHEN IT IS OBVIOUS BY OTHER INDICATION. CONSULT THE ARCHITECT FOR CLARIFICATION.
 - REPAIR: RESTORE TO PROPER OPERATING AND AESTHETIC CONDITION.
 - RESTORE: BRING BACK TO FORMER CONDITION, BY REPAIRING OR PATCHING AS REQUIRED.
 - PATCH: RESTORE TO CONDITION MATCHING EXISTING ADJACENT CONSTRUCTION, SURFACE TEXTURE AND FINISH.
 - N.I.C. (NOT IN CONTRACT): WORK WHICH IS NOT INCLUDED IN THIS CONTRACT, BUT WHICH MAY REQUIRE CONTRACTOR COORDINATION.
 - REMOVE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE.
 - REPLACE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE. PROVIDE NEW MATERIAL AS INDICATED.
 - DEMOLISH: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY. DISPOSE OF OFF SITE UNLESS NOTED OTHERWISE.
 - SALVAGE: REMOVE AND REINSTALL OR REMOVE AND DELIVER TO THE OWNER, AS INDICATED.

- VERIFY THE FOLLOWING ITEMS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH WORK, AND PROCEED WITH THE WORK ONLY AFTER SUCH DISCREPANCIES ARE RESOLVED BY THE ARCHITECT:
 - EXISTING CONDITIONS
 - THE SIZE AND LOCATION OF ALL EXISTING UTILITIES.
 - DISCREPANCIES BETWEEN OR WITHIN THE CONTRACT DOCUMENTS.
 - MECHANICAL, ELECTRICAL AND PLUMBING COORDINATION HAVING POTENTIAL IMPACT ON CEILING HEIGHTS OR BUILDING APPEARANCE
 - DIMENSIONAL DISCREPANCIES
- PROVIDE BOND-OUTS, BLOCKING, SLEEVES AND PIPES AS REQUIRED FOR ALL WALL, FLOOR, ROOF, AND CEILING PENETRATIONS THROUGH STRUCTURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL COMPONENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SEALING ALL PENETRATIONS IN FIRE RATED ASSEMBLIES AND SMOKE ASSEMBLIES TO CONFORM TO U.L. RATED ASSEMBLIES AND ALL NFPA AND INTERNATIONAL BUILDING CODE REQUIREMENTS. ALL PENETRATIONS SHALL ALSO COMPLY WITH THE ACOUSTICAL ASSEMBLY RATING REQUIRED FOR EACH WALL OR FLOOR ASSEMBLY.
- PROVIDE MECHANICAL, ELECTRICAL, PLUMBING AND OTHER SERVICES SYSTEMS AS REQUIRED BY CODE. GAS FIRED HVAC UNIT INSTALLED ON ROOF AND SIZED FOR SPACE.

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Martin's Point Healthcare
Andover Space Alterations, Fit-Up
PORTLAND, MAINE

REGISTERED ARCHITECT
DAVID
WEBSTER
No. 923
STATE OF MAINE

JOB NO.
08-050

DRWN CHK
AJR

SCALE:
AS NOTED

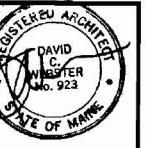
ISSUE
PERMIT SET
30 MAY 2008

TITLE
CODE / BUILDING
ANALYSIS

SHEET

A0

Martin's Point Healthcare
Andover Space Alterations, Fit-Up
PORTLAND, MAINE



JOB NO.
08-050

DRWN. CHK
AJR

SCALE:
1/8" = 1'-0"

ISSUE
PERMIT SET
30 MAY 2008

TITLE
DEMOLITION PLAN

SHEET

DI

GENERAL DEMOLITION AND REMOVAL NOTES

1. THE DEMOLITION DRAWINGS PROVIDE GENERAL COORDINATION INFORMATION ONLY, AND ARE SCHEMATIC IN NATURE. THEY DO NOT IDENTIFY ALL INDIVIDUAL ITEMS TO BE REMOVED. IN INSTANCES WHERE WALLS ARE INDICATED FOR REMOVAL, REMOVE ALL DOORS, WINDOWS, AND MISCELLANEOUS HARDWARE ELECTRICAL AND MECHANICAL ITEMS CONTAINED WITHIN THE WALL. REMOVE ANY EXISTING CONSTRUCTION WHICH LOGICALLY IS IN THE WAY OF NEW CONSTRUCTION OR PROHIBITS THE NEW CONSTRUCTION.
2. VERIFY EXISTING STRUCTURAL CONDITIONS PRIOR TO DEMOLITION OR REMOVALS.
3. PROTECT FROM DAMAGE AND WEATHER ANY EXISTING BUILDING COMPONENTS WHICH ARE EXPOSED AS A RESULT OF DEMOLITION OR REMOVALS.
4. REMOVE ALL EXISTING PLUMBING AND MECHANICAL ITEMS NOT TO BE USED IN NEW CONSTRUCTION. COORDINATE THE INFORMATION ON DRAWINGS.
5. REMOVAL OF THE MATERIALS AS INDICATED SHALL BE DONE WITHOUT DISTURBING ADJACENT SURFACES TO REMAIN OR THE CURRENT CONDITION OF THE BUILDING ELEMENTS.
6. REMOVE ALL DAMAGED AND/OR DISCARDED BUILDING CONSTRUCTION MATERIAL FROM CONCEALED SPACES. PRIOR TO CLOSING- OR SEALING-OFF CONCEALED SPACES.
7. CUT TRENCHES IN EXISTING CONCRETE FLOORS WITH NO MORE THAN A 1:2 SLOPE. PATCH CONCRETE TO MATCH ADJACENT THICKNESS AND FINISH PRIOR TO THE INSTALLATION OF UNDERLAYMENT OR NEW FINISHES.
8. ALL DEMOLITION/REMOVAL DEBRIS IS THE PROPERTY OF THE CONTRACTOR, UNLESS NOTED OTHERWISE.
9. SALVAGE: SALVAGE CERTAIN COMPONENTS FOR LIMITED REUSE TO MATCH EXISTING CONDITIONS FOR PATCH AND REPAIR AS INDICATED.
10. PLUMBING AND HEATING SHAFT DEMOLITION NOT SHOWN ON DEMOLITION PLANS COORDINATE ADDITIONAL DEMOLITION TO ACCOMMODATE MECHANICAL AND ELECTRICAL.
11. OPEN WALL TO ADD BLOCKING / SUPPORT FOR DOOR JAMB SUPPORT. TO CONNECT NEW WALL TO STUD WALL OF EXISTING WALL. TO ADD BLOCKING FOR CASEWORK AT EXISTING WALL.

GENERAL PATCHING AND REPAIR NOTES

1. DAMAGES: EXISTING BUILDING OR SITE COMPONENTS, NOT SCHEDULED FOR WORK, WHICH ARE DAMAGED SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION BY METHODS APPROVED BY THE ARCHITECT.
2. PATCHING: AFTER REMOVAL OF BUILDING COMPONENTS AS INDICATED, PATCH AND PREPARE THE REMAINING EXISTING EXPOSED SURFACES TO RECEIVE NEW WORK AND FINISH. FOR EXAMPLE: LEVEL FLOORS AT WALL REMOVALS; TOOTH-IN NEW CASU AT OPENINGS; PIECE-IN NEW PLASTER BACKING AND FINISH FLUSH; PIECE IN NEW CEILING SUSPENSION SYSTEM.
3. WHERE NEW CONSTRUCTION EITHER INFILLS OR ABUTS EXISTING CONSTRUCTION, THE FINISHED FACES SHALL ALIGN, AND THE SURFACES SHALL BE FINISHED TO MATCH.
4. PATCH AND LEVEL EXISTING FLOORS TO RECEIVE NEW FINISHES AS INDICATED IN THE ROOM FINISH SCHEDULE.
5. AFTER REMOVAL OF BUILDING COMPONENTS, ANY RESULTING HOLES SHALL BE PATCHED. MAINTAIN EXISTING FIRE- OR SMOKE-RATINGS AS INDICATED. SUCH PATCHES SHALL BE FLUSH WITH ADJACENT SURFACES AND FINISHED TO MATCH.

WALLS:

- (W1) REMOVE WALL AS REQUIRED FOR NEW OPENING(S)
- (W2) REMOVE EXTERIOR WALL AS REQUIRED

LEGEND

- (Solid line) EXISTING PARTITIONS TO REMAIN
- (Dashed line) EXISTING PARTITIONS TO BE REMOVED
- (Hatched area) EXISTING FLOOR TO BE REMOVED

DOORS:

- (D1) REMOVE DOOR, DOOR FRAME AND THRESHOLD IF ANY.

PLUMBING:

- (M1) REMOVE EXISTING PLUMBING

FLOORS:

- (F1) REMOVE FLOORING AS REQUIRED TO TIE INTO EXISTING SERVICES

