

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0871	Issue Date:	CBL: <u>170-F</u> 171-7863001
-----------------------	-------------	---

Location of Construction: 901 WASHINGTON AVE	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	PERMIT ISSUED JUL 24 2006
Business Name:	Contractor Name: Time Warner	Contractor Address: 118 Johnson Road Portland	
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: B-7
Past Use: Commercial/ Office Call Ctr	Proposed Use: Commercial/ Office Call Ctr- Tenant Fit-up	Permit Fee: \$2,622.00	Cost of Work: \$289,000.00
Proposed Project Description: Office Call Ctr- Tenant Fit-up		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>See Conditions</i>	INSPECTION: Use Group: <u>B</u> Type: <u>2B</u> <u>7/21/06</u> <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____	

Permit Taken By: Idobson	Date Applied For: 06/15/2006	Zoning Approval		
1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <u>7/6/06</u>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____	

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Batir, LLC

30 Revere Street
Waterbury, CT 06708
(203) 887-8345
Batir@aol.com

July 21, 2006

Mr. Mike Nugent
City of Portland
(207) 874-8730

Fax 207-874-8716

Re: Time Warner
901 Washington Street
Portland, Maine

Dear Mr. Nugent:

After recounting my employee offices, cubicles /work stations I arrive at a total occupancy of 321 persons. This number has been confirmed with the current Time Warner furniture layout.

It is possible that the discrepancy between your count and mine arises from the fact that the break room, meeting rooms and conference room are for the use by those 321 employees and not in addition to their desks.

This morning I will call you to continue our discussion and to learn how you feel that the occupancy is to be posted.

Thank you.

Sincerely,
Batir, LLC



Davis Caplan, AIA

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0871	Date Applied For: 06/15/2006	CBL: 170 F 021 171 A005001
-----------------------	---------------------------------	---

Location of Construction: 901 WASHINGTON AVE	Owner Name: BROWN J B & SONS	Owner Address: PO BOX 207	Phone:
Business Name:	Contractor Name: Time Warner	Contractor Address: 118 Johnson Road Portland	Phone: (207) 253-2237
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

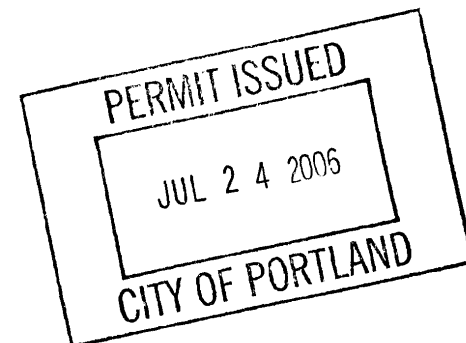
Proposed Use: Commercial/ Office Call Ctr- Tenant Fit-up	Proposed Project Description: Office Call Ctr- Tenant Fit-up
---	---

Dept: Zoning **Status:** Approved **Reviewer:** Marge Schmuckal **Approval Date:** 07/06/2006
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Mike Nugent **Approval Date:** 07/21/2006
Note: **Ok to Issue:**

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Cptn Greg Cass **Approval Date:** 07/21/2006
Note: **Ok to Issue:**

- 1) Occupant load of 321 to be posted at main entrance.
Training rooms not to be used by outside groups.

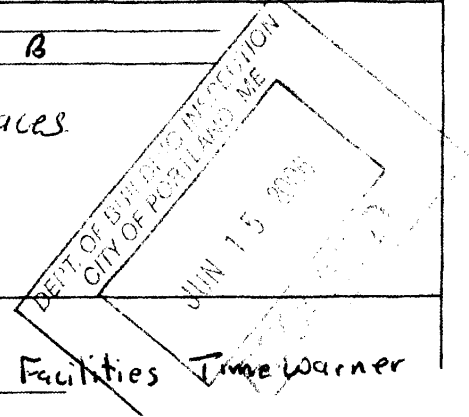


Building Permit Application



If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>901 Washington Avenue Portland, Me 04103</u>		
Total Square Footage of Proposed Structure <u>30,000 sf interior space</u>		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# <u>177170</u> Block# <u>AF</u> Lot# <u>5001</u>		Owner: <u>J.B. Brown + Sons</u> <u>P.O. Box 207</u> <u>Portland, Maine 04112</u>
Lessee/Buyer's Name (If Applicable) <u>Time Warner New England</u>		Applicant name, address & telephone: <u>Tom Smith 253-2237</u> <u>118 Johnson Rd</u> <u>Portland, Me 04102</u>
Current Specific use: <u>Call Center (vacant)</u>		Cost Of Work: \$ <u>289,000</u>
Proposed Specific use: <u>Call Center Use Group B</u>		Fee: \$ <u>2,622.00</u>
Project description: <u>Tenant Improvements to interior spaces.</u>		C of O Fee: \$
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Tom Smith Director Facilities Time Warner</u>		
Mailing address: <u>118 Johnson Road</u> Phone: <u>253-2237</u> <u>Portland, Maine 04102</u>		



Please submit...

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
Parcel ID 170 F001001
Location 901 WASHINGTON AVE
Land Use RETAIL & PERSONAL SERVICE

Owner Address BROWN J B & SONS
 PO BOX 207
 PORTLAND ME 04112

Book/Page
Legal 170-F-1 174-B-2
 WASHINGTON AVE 893-911
 RAINBOW MALL RD
 192128 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$597,670	\$2,245,060	\$2,842,730

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$707,500	\$2,769,900	\$3,477,400

* Value subject to change based upon review of property status as of 4/1/06.
 The tax rate will be determined by City Council in May 2006.

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1971	1	41875	1

Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
4.411	41875		OFFICE BUILDING - LOW-RISE	WASHINGTON PARK

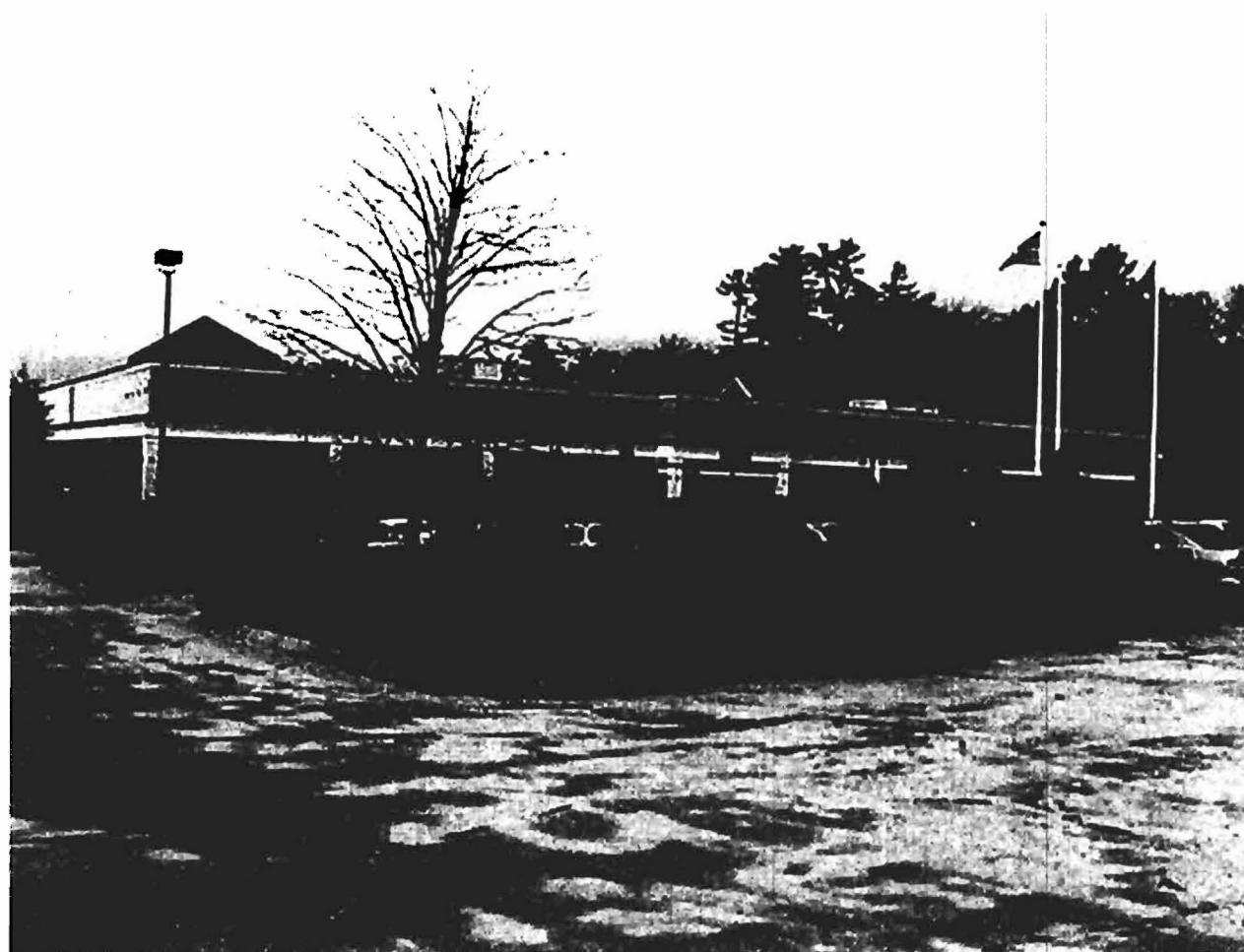
Exterior/Interior Information

Section	Levels	Size	Use
1	01/01	38301	OFFICE BUILDING
1	M1/M1	3574	MULTI-USE OFFICE
	0/0		
	0/0		

Height	Walls	Heating	A/C
15	BRK/CONC BLK	HOT AIR	CENTRAL
8	ENCLOSURE	HOT AIR	CENTRAL
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE

Building Other Features

Line	Structure Type	Identical Units
1	CANOPY - ROOF/SLAB	1
1	LOADING DOCK - STEEL/CONC	1
2	ENCLOSED ENTRY	1
1	SPRINKLER - WET	1



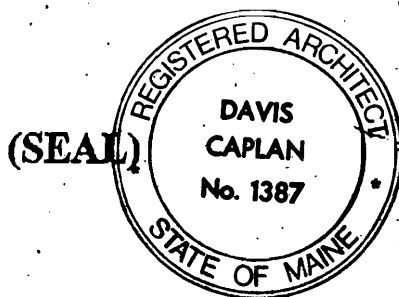


CITY OF PORTLAND
 BUILDING CODE CERTIFICATE
 389 Congress St., Room 315
 Portland, Maine 04101

ACCESSIBILITY CERTIFICATE

Designer: DAVIS CAPLAN
 Address of Project: 901 WASHINGTON ST, PORTLAND, MAINE
 Nature of Project: TENANT FIT UP OF AN
EXISTING BUSINESS OCCUPANCY

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act.



Signature: [Handwritten Signature]

Title: ARCHITECT

Firm: DAVIS CAPLAN

Address: 30 REVERE STREET

WATERBURY, CT 06708

Phone: 203-573-9665

NOTE: If this project is a new Multi Family Structure of 4 units or more, this project must also be designed in compliance with the Federal Fair Housing Act. On a separate submission, please explain in narrative form the method of compliance.



CITY OF PORTLAND
BUILDING CODE CERTIFICATE
389 Congress St., Room 315
Portland, Maine 04101

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: DAVIS CAPLAN

RE: Certificate of Design

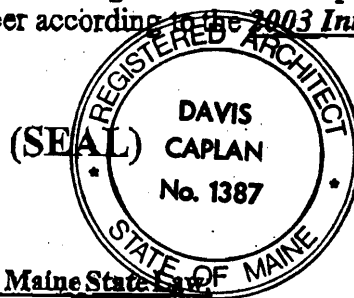
DATE: 9 JUNE 2006

These plans and / or specifications covering construction work on:

901 WASHINGTON STREET

PORTLAND, MAINE

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the 2003 International Building Code and local amendments.



Signature: [Signature]

Title: ARCHITECT

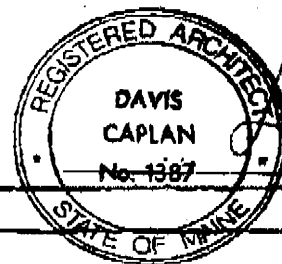
Firm: DAVIS CAPLAN

Address: 30 PEARCE ST

WATERBURY, CT 06708

As per Maine State Stat.

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



FROM DESIGNER: DAVIS CAPLAN
 DATE: 13 JUNE 2006
 Job Name: TIME WARNER CASLE
 Address of Construction: 901 WASHINGTON AVE

2003 International Building Code

Construction project was designed according to the building code criteria listed below:

Building Code and Year 2003 Use Group Classification(s) BUSINESS

Type of Construction 2B

Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC YES

Is the Structure used for EXISTING use, separated or non separated (see Section 302.3)

Supervisory alarm system? YES Geotechnical/Soils report required? (See Section 1807.2) N/A - EXISTING

STRUCTURAL DESIGN CALCULATIONS

Submitted for all structural members
(1001.1, 1001.1.1)

DESIGN LOADS ON CONSTRUCTION DOCUMENTS
(1002)

Uniformly distributed floor live loads (703.2.1, 703.7)

Floor Area Use Loads Shown

Floor Area Use	Loads Shown

Wind loads (1603.1.4, 1609)

Design option utilized (1603.1.7, 1609E)

Basic wind speed (1609.3)

Building category and wind importance factor, I_w (Table 1604.6, 1609E)

Wind exposure category (1609.4)

Internal pressure coefficient (ASCE 7)

Component and cladding pressures (1603.1.1, 1609.5.2.2)

Mainframe wind pressures (703.1.1, 1609.5.2.1)

Earthquake design data (1603.1.5, 1614-1623)

Design option utilized (1614.1)

Seismic use group ("Category") (Table 1604.5, 1614.2)

Spectral response coefficient, S_{DS} & S_{D1} (1615.1)

Site class (1616.1.6)

Live load reduction
(1002.1.3, 1007.2, 1007.14)

Roof live loads (1003.1.2, 1003.1.1)

Roof snow loads (703.7.3, 703.7)

Ground snow load, P_g (1002.2)

If $P_g > 10$ psf, flat-roof snow load, P_f (1004.3)

If $P_g > 10$ psf, snow exposure factor, C_e (Table 1004.3.1)

If $P_g > 10$ psf, snow load importance factor, I_s (Table 1004.3)

Roof thermal factor, C_t (Table 1004.3.2)

Sloped roof snowload, P_s (1004.4)

Seismic design category (1616.3)

Ratio seismic-resisting system (Table 1617.8.2)

Response modification coefficient, R , and ductility amplification factor, C_d (Table 1617.8.2)

Analysis procedure (1618.6, 1617E)

Design base shear (1617A, 1617E.4)

Flood loads (1609.1.6, 1612)

Floodhazard area (1612.3)

Elevation of structure

Other loads

Concentrated loads (1607.4)

Partition loads (1607.5)

Impact loads (1007.8)

Misc. loads (Table 1007.6, 1007.8.1, 1007.7, 1007.12, 1007.14, 1010, 1011, 2404)

N/A
 THE BUILDING IS EXISTING. NOTICE OF
 OUR INVOLVEMENT IS TO ASSIST TENANT
 TO OCCUPY TENANT FIT UP AND RELOCATE.
 NO STRUCTURAL CHANGES

Batir, LLC

30 Revere Street
Waterbury, CT 06708
(203) 887-8345
Batir@aol.com

July 21, 2006

Mr. Mike Nugent
City of Portland
(207) 874-8730

Fax 207-874-8716

Re: Time Warner
901 Washington Street
Portland, Maine

Dear Mr. Nugent:

As a supplement to my LSP-1 drawing and the letter that I faxed to you this morning please accept the attached illustration dated July 21, 2006. Hopefully it will serve to clarify our conversation.

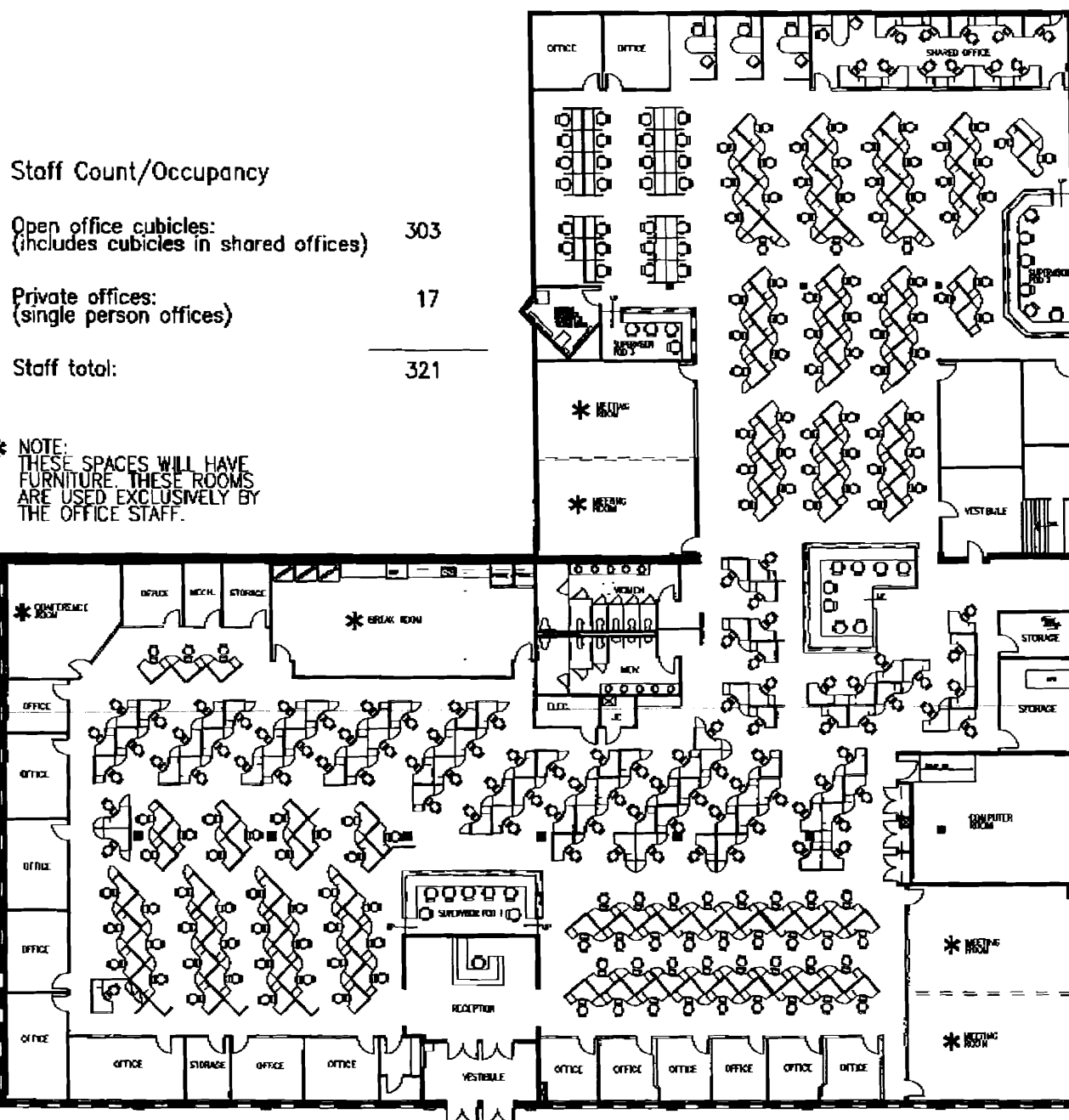
If it is possible I would like to speak with you again today so that I may learn if this is the information that you require to proceed with your plan approval.

Thank you.

Sincerely,
Batir, LLC


Davis Caplan, AIA

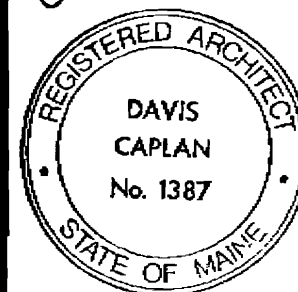
PAGE 1 OF 2 PAGES



JULY 21, 2006

TIMEWARNER CABLE OF MAINE

FLOOR PLAN FOR 901 WASHINGTON AVE. LOCATION



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	171 A005001
Location	901 WASHINGTON AVE
Land Use	RETAIL & PERSONAL SERVICE
Owner Address	BROWN J B & SONS PO BOX 207 PORTLAND ME 04112

Book/Page	
Legal	171-A-5 171-B-2 RAINBOW MALL RD 50 -78 PHEASANT HILL RD 57-79 294607 SF

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$865,060	\$3,274,940	\$4,140,000

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$1,066,100	\$3,925,300	\$4,991,400

* Value subject to change based upon review of property status as of 4/1/06.
The tax rate will be determined by City Council in May 2006.

Building Information

Bldg #	Year Built	# Units	Bldg Sq. Ft.	Identical Units
1	1971	1	61438	1

Total Acres	Total Buildings	Sq. Ft.	Structure Type	Building Name
6.763	61438		OFFICE BUILDING - LOW-RISE	WASHINGTON PARK

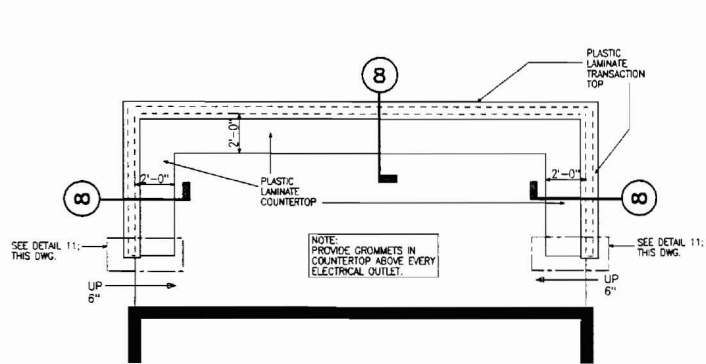
Exterior/Interior Information

Section	Levels	Size	Use
1	01/01	59850	OFFICE BUILDING
1	M1/M1	1500	OFFICE BUILDING
1	02/02	88	MULTI-USE STORAGE

Height	Walls	Heating	A/C
16	CONC. BLOCK	HOT AIR	CENTRAL
8	ENCLOSURE	HOT AIR	CENTRAL
6	CONC. BLOCK	HOT AIR	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE
		NONE	NONE

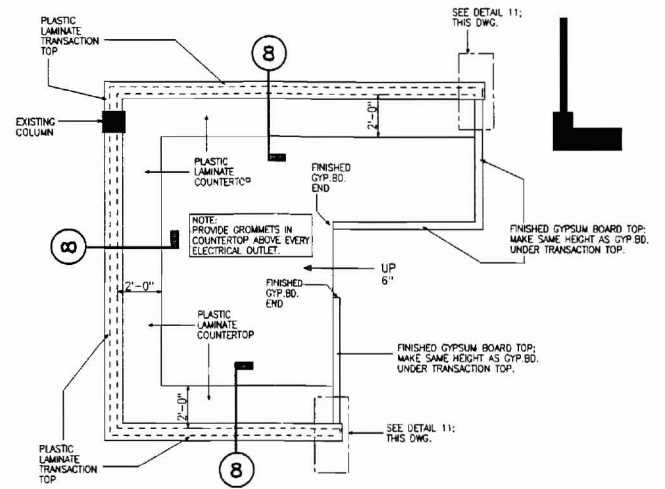
Building Other Features

Line	Structure Type	Identical Units
1	CANOPY - ROOF/SLAB	1
1	SPRINKLER - WET	1
1	OPEN AREA - BANK/OFFICE	1



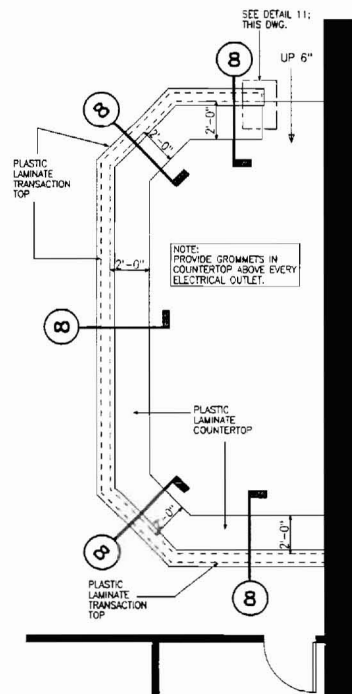
ENLARGED PLAN VIEW SUPERVISOR POD 1

SCALE: 1/4"=1'-0"



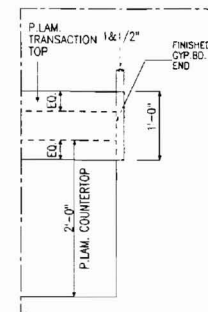
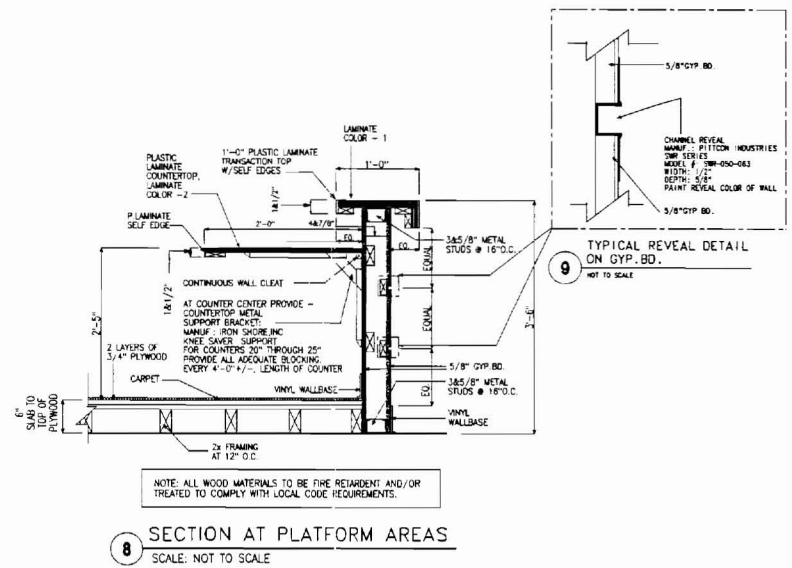
ENLARGED PLAN VIEW HELP DESK POD 1

SCALE: 1/4"=1'-0"



ENLARGED PLAN VIEW SUPERVISOR POD 2

SCALE: 1/4"=1'-0"



11 TYPICAL DETAIL AT TRANSACTION TOP

NOT TO SCALE

TENANT FINISH SPECIFICATIONS

- C-1 GENERAL CARPET TILE -
MANUF. HANWINGTON COMMERCIAL - INFINITY MODULAR
PATTERN WORLDVIEW
COLOR NAME TO BE DETERMINED
- C-2 ACCENT CARPET TILE -
MANUF. HANWINGTON COMMERCIAL - INFINITY MODULAR
PATTERN WORLDVIEW
COLOR TO BE DETERMINED
- WB-1 4" VINYL COVE WALLBASE -
FOR CARPET AND VCT AREAS
1/8" THICK
MANUF. JOHNSONITE
COLOR TO BE DETERMINED
- P-1 GENERAL WALL PAINT -
MANUF. BENJAMIN MOORE
COLOR: REGAL AQUAVELVET
- P-2 METAL DOOR FRAME PAINT & ACCENT WALL PAINT -
MANUF. BENJAMIN MOORE
COLOR: REGAL AQUAVELVET
FINISH ON METAL: DIRECT TO METAL
FINISH ON GYP. BO.: EGGSHELL
- P-3 ACCENT PAINT -
MANUF. BENJAMIN MOORE
COLOR: REGAL AQUAVELVET
FINISH: REGAL AQUAVELVET
- P-4 ACCENT PAINT -
MANUF. BENJAMIN MOORE
COLOR: REGAL AQUAVELVET
FINISH: REGAL AQUAVELVET
- P-5 ACCENT PAINT -
MANUF. BENJAMIN MOORE
COLOR: REGAL AQUAVELVET
FINISH: REGAL AQUAVELVET
- P-6 ACCENT PAINT -
MANUF. BENJAMIN MOORE
COLOR: REGAL AQUAVELVET
FINISH: REGAL AQUAVELVET
- P-7 ACCENT PAINT -
MANUF. BENJAMIN MOORE
COLOR: REGAL AQUAVELVET
FINISH: REGAL AQUAVELVET
- PL-1 PLASTIC LAMINATE COUNTERTOP
MANUF. & PATTERN # TO BE DETERMINED
PATTERN NAME TO BE DETERMINED
- PL-2 PLASTIC LAMINATE TRANSACTION TOPS
MANUF. & PATTERN # TO BE DETERMINED
PATTERN NAME TO BE DETERMINED

REDUCER STRIPS

- WHERE CARPET MEETS VCT OR VCT MEETS CONCRETE PROVIDE REDUCER STRIP TO MATCH COLOR OF WALLBASE.

EXCLUSIONS

THE FOLLOWING SPACES ARE TO REMAIN AS IS WITH REGARD TO EXISTING FINISHED SURFACES: 100, 113, 114, 118, 119, 120, 122, 123, 125, 126, 143, 145 & 146.

FLOOR COVERINGS

- The scope of work includes the following:
 - Preparation of existing surfaces to accept new floor coverings (note: Concrete work may be required upon completion of new plumbing lines & electrical floor outlets.)
 - All carpets per the interior finish specifications.
 - All wall base per specifications on this drawing.
- The contractor shall provide all materials and labor to complete the installation.
- Substitutions: The contractor shall not deviate or alter the product specifications called for on this drawing, without the express permission of S.P.A.C.E., Inc.

PAINTING

- The scope of painting includes the following items:
 - All new walls to receive 1 coat of primer and 2 coats of the specified finish color.
 - All existing gypsum board surfaces to be re-painted as required.
 - All metal door frames to be painted per the specifications.
 - All wood door frames & wood glazing frames to be painted per the specifications.
 - All existing wood base to be re-painted to match existing color.
 - All new wood base to be painted to match existing.
 - All wood trim (doors & glazing millwork) to be re-painted * to match existing color.
 - All new wood trim, new wood doors & new glazing millwork to be painted to match existing.
- * CONTRACTOR TO PROVIDE COST ADJUSTMENT TO LEAVE ALL EXISTING WOOD DOORS & GLAZING FRAMES AS IS. (NOT REPAINTED.)

SUBMITTAL NOTES

The contractor shall provide confirming samples for all material finishes specified on these drawings. This process shall be as follows:
The contractor shall submit individual samples to SPACE, Inc. concerning the following materials:

Floor covering (carpet, tile and other flooring materials)
Wallbase samples
Wallcoverings and other wall finish treatments (paint, etc.)
Laminate samples
Decorative Lighting: Manufacturer's specification pages shall be submitted
Millwork: Shop drawings of all custom cabinets

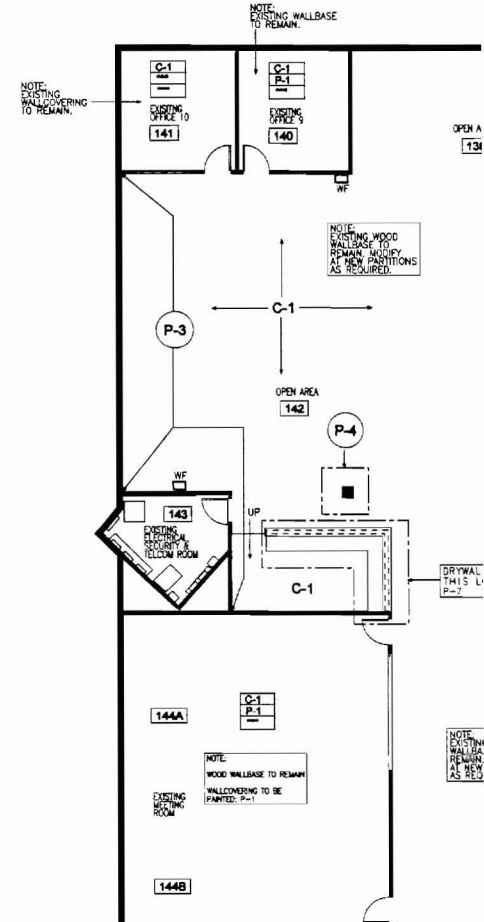
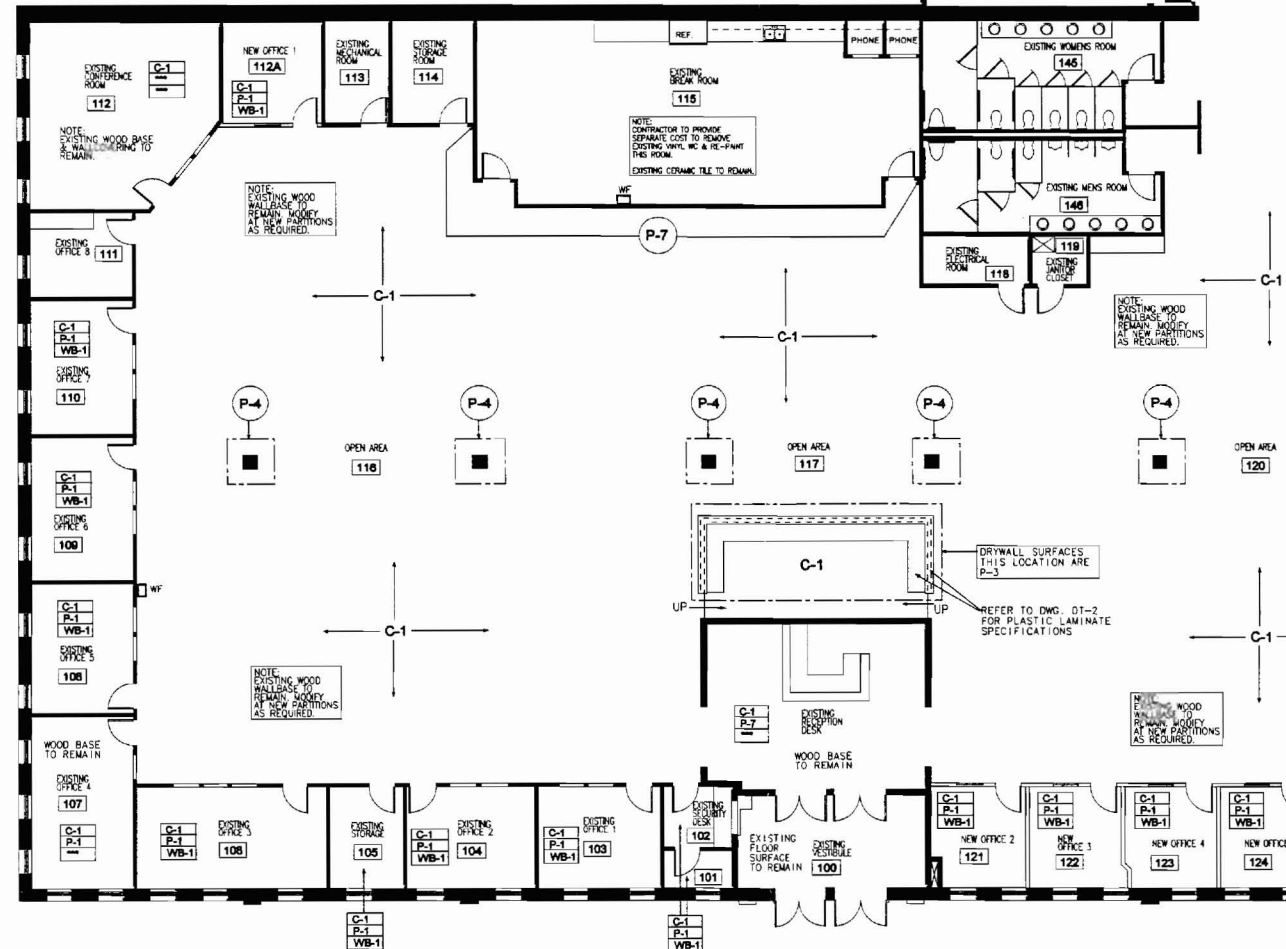
Samples shall be submitted to SPACE, Inc. for review/approval/comment. SPACE, Inc. shall notify the contractor in written form concerning approval (or change to any of the specifications).

Placement of orders:

The contractor shall place orders for goods, products and materials only upon final confirmation with written approval from SPACE, Inc.

Should the contractor fail to provide confirming submittals or circumvent the submittal process he shall be responsible for any errors or conflicting specifications that may appear on the drawings issued by SPACE, Inc. and shall assume all responsibility.

CARPET TYPE → C-
PAINT COLOR → P-
WALLBASE TYPE → WB-



DEMOLITION LEGEND

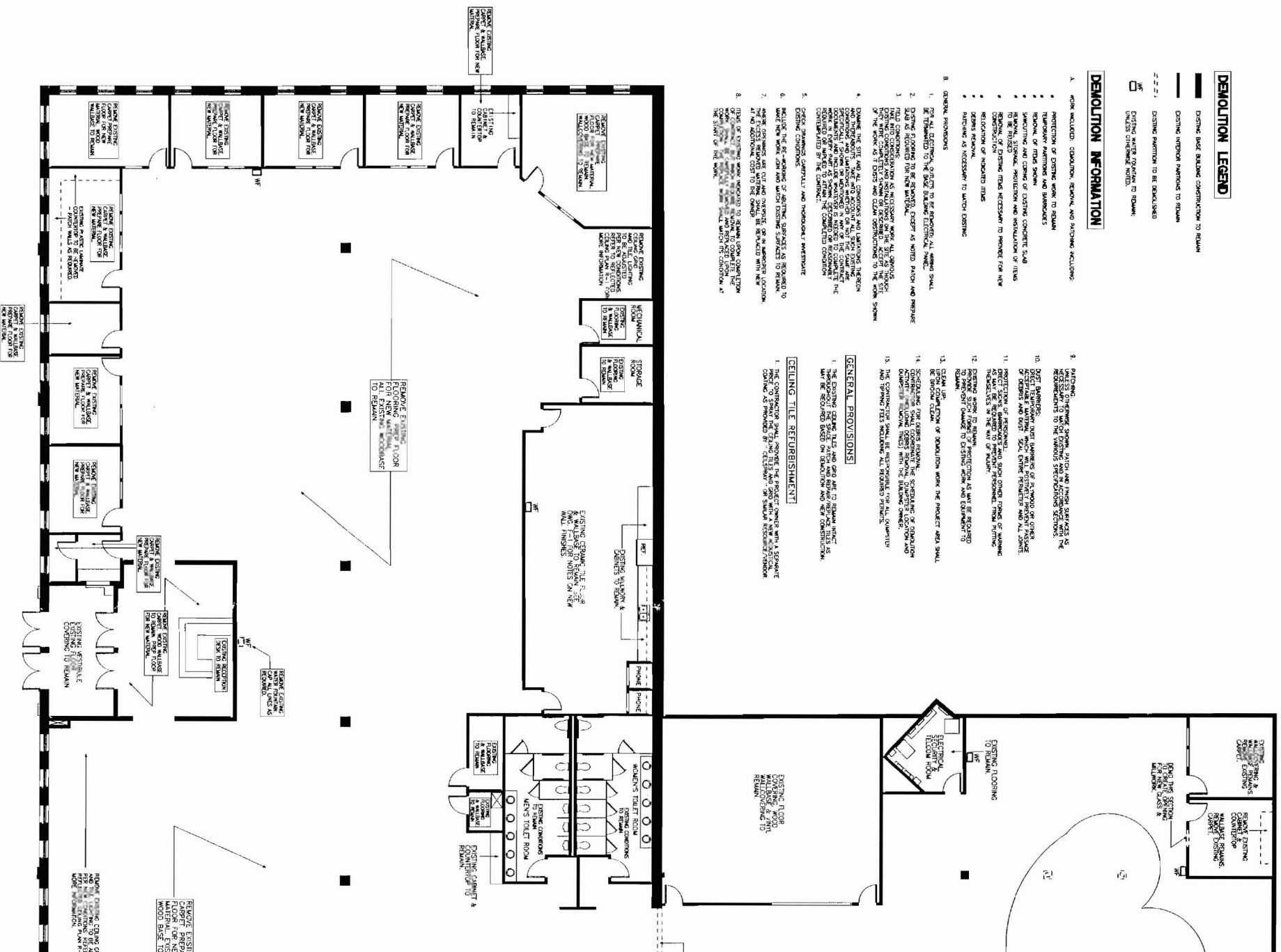
- █ EXISTING BASE BUILDING CONSTRUCTION TO REMAIN
- ▬ EXISTING INTERIOR PARTITION TO REMAIN
- ▬ EXISTING PARTITION TO BE DEMOLISHED
- ≡≡≡ EXISTING WATER REMOVAL TO REMAIN
- ☐ EXISTING OVERHEAD HOOD

DEMOLITION INFORMATION

- A. WORK INCLUDED: DEMOLITION, REMOVAL, AND PATCHING INCLUDING:
- PROTECTION OF EXISTING WORK TO REMAIN
 - TEMPORARY PARTITIONS AND BARMOULETS
 - REMOVAL OF TRUS SHOW
 - SMOOTHING AND CURING OF EXISTING CONCRETE SLAB
 - REMOVAL OF EXISTING WALL, INSULATION AND INSULATION TO BE REUSED
 - REMOVAL OF EXISTING TRUSS NECESSARY TO PROVIDE FOR NEW
 - REVISIONS OF HANGERS NEAR
 - STAIRS REMOVAL
 - PATCHING AS NECESSARY TO MATCH EXISTING
- B. GENERAL PROVISIONS
1. FOR ALL DEMOLITION, PATCHING TO BE REPAIRED, ALL WORK SHALL BE REFINISHED TO THE BASE BUILDING ELECTRICAL FINISH.
 2. EXISTING FLOORING TO BE REPAIRED, EXCEPT AS NOTED PATCH AND REPAIRS SHALL BE REPAIRED TO MATCH EXISTING.
 3. FIELD CONDITIONS:
 4. PATCHING AND REPAIRS SHALL BE REPAIRED TO MATCH EXISTING.
 5. PATCHING AND REPAIRS SHALL BE REPAIRED TO MATCH EXISTING.
 6. PATCHING AND REPAIRS SHALL BE REPAIRED TO MATCH EXISTING.
 7. PATCHING AND REPAIRS SHALL BE REPAIRED TO MATCH EXISTING.
 8. PATCHING AND REPAIRS SHALL BE REPAIRED TO MATCH EXISTING.
- C. PATCHING:
9. PATCHING:
 10. PATCHING:
 11. PATCHING:
 12. PATCHING:
 13. PATCHING:
 14. PATCHING:
 15. PATCHING:
- D. GENERAL PROVISIONS
1. GENERAL PROVISIONS
 2. GENERAL PROVISIONS
 3. GENERAL PROVISIONS
 4. GENERAL PROVISIONS
 5. GENERAL PROVISIONS
 6. GENERAL PROVISIONS
 7. GENERAL PROVISIONS
 8. GENERAL PROVISIONS
 9. GENERAL PROVISIONS
 10. GENERAL PROVISIONS
 11. GENERAL PROVISIONS
 12. GENERAL PROVISIONS
 13. GENERAL PROVISIONS
 14. GENERAL PROVISIONS
 15. GENERAL PROVISIONS

CEILING TILE REFURBISHMENT

1. CEILING TILE REFURBISHMENT
2. CEILING TILE REFURBISHMENT
3. CEILING TILE REFURBISHMENT
4. CEILING TILE REFURBISHMENT
5. CEILING TILE REFURBISHMENT
6. CEILING TILE REFURBISHMENT
7. CEILING TILE REFURBISHMENT
8. CEILING TILE REFURBISHMENT
9. CEILING TILE REFURBISHMENT
10. CEILING TILE REFURBISHMENT
11. CEILING TILE REFURBISHMENT
12. CEILING TILE REFURBISHMENT
13. CEILING TILE REFURBISHMENT
14. CEILING TILE REFURBISHMENT
15. CEILING TILE REFURBISHMENT



NOTE: IF THERE IS AN EXISTING OUTLET WITHIN 10' OF NEW OUTLET LOCATION DO NOT PROVIDE NEW.

ELECTRICAL DESIGN/ NEW CIRCUITS

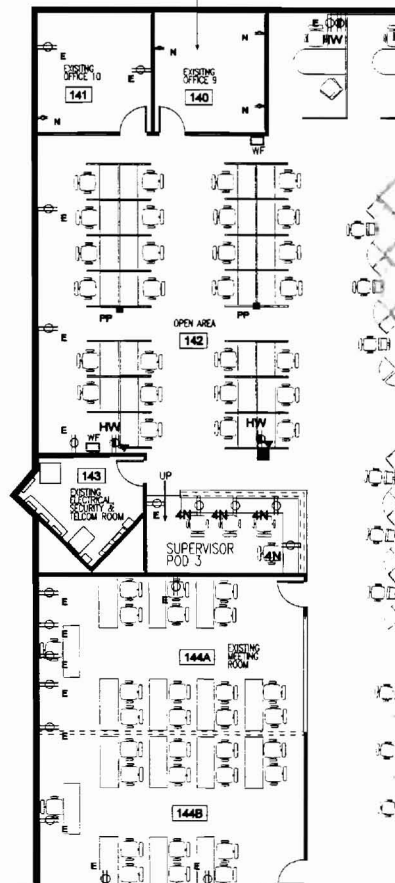
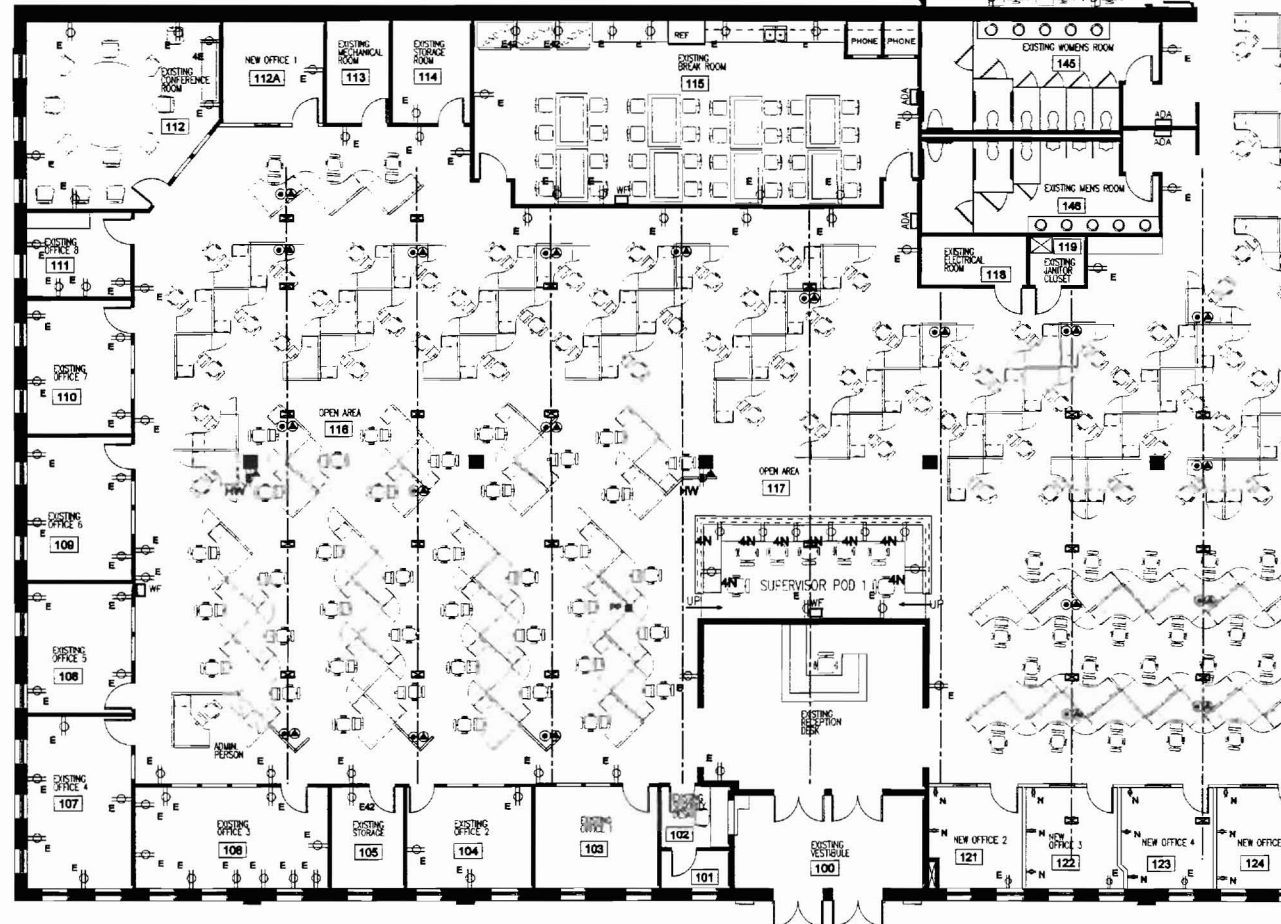
- E EXISTING ELECTRICAL DUPLEX OUTLET TO REMAIN
- 4E EXISTING ELECTRICAL DOUBLE DUPLEX OUTLET TO REMAIN
- N NEW ELECTRICAL DOUBLE DUPLEX OUTLET
- 4N NEW ELECTRICAL DOUBLE DUPLEX OUTLET
- E42 EXISTING ELECTRICAL DUPLEX OUTLET MOUNTED AT 42" TO REMAIN
- PP NEW POWER POLE LOCATION TO SYSTEMS FURNITURE - CONTRACTOR TO PROVIDE POWER SUPPLY TO POLE. INSTALLATION OF POWER POLE BY FURNITURE VENDOR.
- HW NEW ELECTRICAL OUTLET TO BE HARD WIRED TO SYSTEMS FURNITURE PANEL.
- NEW FLOOR ACCESS FOR TELEPHONE/DATA WIRING TO SYSTEMS FURNITURE. SLAB CORING & FLUSH MOUNTED RECEPTACLE PROVIDED BY CONTRACTOR.
- NEW FLOOR ACCESS FOR ELECTRICAL POWER TO SYSTEMS FURNITURE - SLAB CORING, FLUSH MOUNTED RECEPTACLE, WIRING & CONNECTION TO SYSTEMS FURNITURE PANEL BY CONTRACTOR.
- NEW WALL MOUNTED TELEPHONE/DATA OUTLET TO SYSTEMS FURNITURE
- ADA EXISTING ADA DOOR ACTIVATION/OPENER BUTTON
- APPROXIMATE LOCATION OF EXISTING WALKER DUCT ACCESS COVER
- APPROXIMATE LOCATION OF EXISTING WALKER DUCT ELECTRICAL TROUGH
- WF EXISTING WATER FOUNTAIN TO REMAIN

ELECTRICAL DESIGN/ NEW CIRCUITS







1. CONTRACTOR SHALL PROVIDE ANY REQUIRED ELECTRICAL DESIGN AND ELECTRICAL CALCULATIONS ON A DESIGN BUILD BASIS. BASED ON THE NUMBER AND TYPES OF DEVICES SHOWN THE ELECTRICAL CONTRACTOR SHALL DETERMINE NUMBER OF ADDITIONAL CIRCUITS REQUIRED (BEYOND WHAT IS EXISTING ON THE FLOOR.)

ELECTRICAL INFORMATION

1. PROVIDE ALL TESTS REQUIRED BY AUTHORITIES HAVING JURISDICTION AND CERTIFICATION IN WRITING THAT THE TESTS ARE ACCEPTABLE TO THOSE AUTHORITIES HAVING JURISDICTION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NECESSARY PERMITS, INSPECTIONS AND RELATED FEES.
3. ALL WORK PROVIDED SHALL COMPLY WITH NATIONAL ELECTRICAL CODE AND/OR REGULATION OF AUTHORITIES HAVING JURISDICTION. WHEN REGULATIONS ARE IN CONFLICT THE MORE STRINGENT REGULATIONS SHALL APPLY.
4. BOXES: PROVIDE STANDARD CODE ACCEPTED GALVANIZED STEEL BOXES.
5. OUTLETS: PROVIDE UL LISTED, CODE ACCEPTED, STANDARD FLUSH DUPLEX, GROUNDED OUTLETS WITH SIDE WIRING LUGS EXCEPT WHERE OTHERWISE NOTED.
6. SWITCHES: PROVIDE UL LISTED, CODE ACCEPTED, STANDARD SILENT TYPE SWITCHES.
7. COLORS: THE COLOR OF ALL OUTLETS, RECEPTACLES, SWITCHES AND COVERPLATES WITHIN THE PROJECT AREA SHALL MATCH COLOR OF EXISTING TYPES.
8. IF ANY OUTLETS CANNOT BE INSTALLED AS NOTED OR AS SHOWN ON PLANS DUE TO CONFLICTS WITH STRUCTURAL, MECHANICAL OR ELECTRICAL CONDITIONS CONTRACTOR SHALL CLARIFY WITH OWNER BEFORE PROCEEDING WITH WORK IN QUESTION.
9. ALL WALL OUTLETS AND SWITCHES SHALL BE INSTALLED AT HEIGHTS TO MATCHING EXISTING DEVICES EXCEPT WHERE NOTED OTHERWISE.
10. ALL NEW CIRCUITS SHALL BE PROPERLY LABELED ON THE PROPER BUILDING ELECTRICAL PANEL DIRECTORIES.
11. WHEN OUTLETS ARE GROUPED TOGETHER SPACE NO MORE THAN 2" APART.
12. ALL OUTLETS NEAR A WATER SOURCE SHALL BE G.F.I. TYPE.



LEGEND

-  EXISTING 2 X 2 ACOUSTICAL CEILING TILE & GRID TO REMAIN REPAIR AND REPLACE AS REQUIRED BASED ON DEMOLITION OF EXISTING PARTITIONS
-  NEW 2 X 2 ACOUSTICAL CEILING TILE & GRID TO MATCH EXISTING TYPES. INSTALL TO MATCH PREVAILING HEIGHTS.
-  EXISTING 2 X 4 FLUORESCENT LAMP LIGHT FIXTURE TO REMAIN
-  EXISTING 2 X 4 FLUORESCENT LAMP LIGHT FIXTURE TO BE RELOCATED
-  EXISTING 2 X 4 FLUORESCENT LAMP LIGHT FIXTURE IN NEW LOCATION
-  NEW 2 X 4 FLUORESCENT LAMP LIGHT FIXTURE TO MATCH EXISTING

LIGHT FIXTURES:

1. ALL NEW FIXTURES SHALL BE PROVIDED COMPLETE INCLUDING LAMPS TRANSFORMERS, BALLASTS, SUPPORTS, HANGARS AND BRACKETS, CANOPIES, SOCKETS, REFLECTORS, DIFFUSING MATERIAL, LOUVERS AND CAPS, COUPLING PLATES, ETC.
2. ALL FIXTURES SHALL BE WIRED AND ASSEMBLED AND SHALL BEAR AN UNDERWRITERS LABORATORY LABEL. FIXTURES SHALL BE PROPERLY SUPPORTED AS RECOMMENDED BY THE MANUFACTURER. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL ALL MEANS NECESSARY TO SUPPORT THE LIGHTING SYSTEM. FIXTURES SHALL BE SUPPORTED INDEPENDENT OF THE CEILING GRID.
3. CONTRACTOR TO SUBMIT CONFIRMING SPECIFICATION SHEETS/SUBMITTALS ON ALL NEW LIGHT FIXTURES SPECIFIED.

SWITCHING

1. PROVIDE A SINGLE SWITCH FOR EACH INDIVIDUAL ROOM, AS REQUIRED.
2. CONTRACTOR TO PROVIDE SWITCHING PLAN TO SPACE, INC. FOR ALL OTHER AREAS FOR APPROVAL.

GENERAL PROVISIONS

1. THE EXISTING CEILING TILES AND GRID ARE TO REMAIN INTACT THROUGHOUT THE SPACE PATCH AND REPAIR/REPLACE TILES AS MAY BE REQUIRED BASED ON DEMOLITION AND NEW CONSTRUCTION.

CEILING TILE REFURBISHMENT

1. THE CONTRACTOR SHALL PROVIDE THE PROJECT OWNER WITH A SEPARATE PRICE TO SPRAY THE CEILING TILES AND GRID WITH A NEW ACOUSTICAL COATING AS PROVIDED BY "COUSPAIN" OR SIMILAR RESOURCE/VENDOR.

HVAC/ MECHANICAL SYSTEM

1. THE EXISTING SYSTEM IS TO BE UTILIZED. THE CONTRACTOR SHALL ADJUST THE LOCATION OF SUPPLY AND RETURN AIR DIFFUSERS BASED ON CHANGES TO EXISTING PARTITIONS. WHERE REQUIRED (BASED ON THE CREATION OF NEW OFFICES), ADDITIONAL SUPPLY AND RETURN AIR DIFFUSERS SHALL BE ADDED.

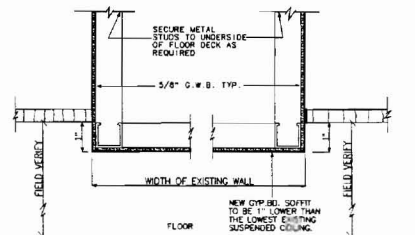
THE CONTRACTOR SHALL ADJUST THE LOCATIONS OF ALL OTHER DEVICES (THERMOSTATS, CONTROL, ETC.) AS MAY BE REQUIRED.

SHOULD ENGINEERED MECHANICAL PLANS BE REQUIRED THE CONTRACTOR SHALL PROVIDE FOR/COORDINATE THIS WORK.

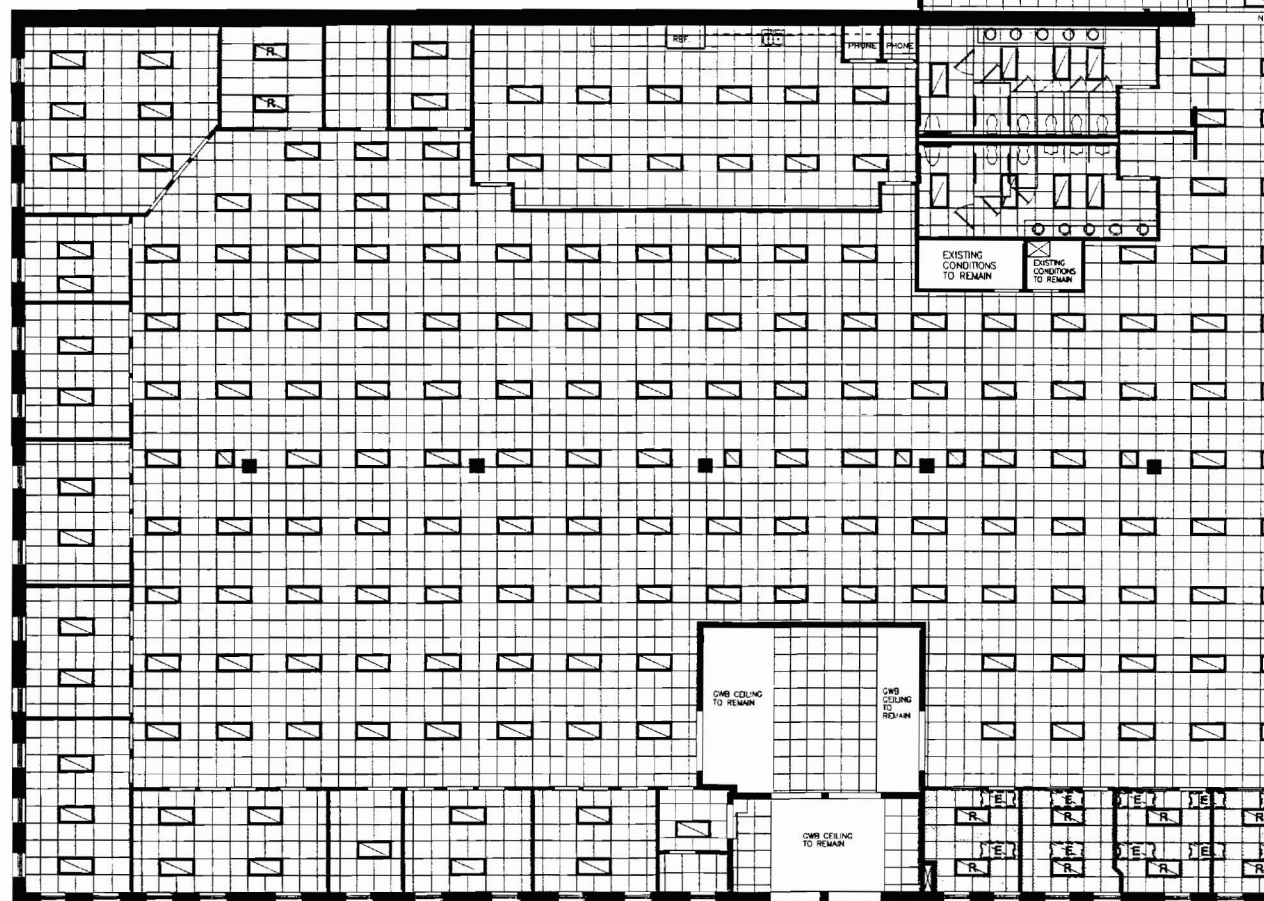
SPRINKLER SYSTEM

1. THE EXISTING SPRINKLER SYSTEM SHALL BE UTILIZED, WHERE REQUIRED (BASED ON CHANGES TO PARTITION LOCATIONS AND NEW PARTITIONS). EXISTING SPRINKLER HEADS SHALL BE RELOCATED AND NEW SPRINKLER HEADS SHALL BE ADDED TO MEET ALL APPLICABLE LOCAL AND STATE CODE REQUIREMENTS.

SHOULD ENGINEERED SPRINKLER PLANS BE REQUIRED THE CONTRACTOR SHALL PROVIDE FOR/COORDINATE THIS WORK.



1 SECTION THRU GYPSUM BOARD SOFFIT
NOT TO SCALE



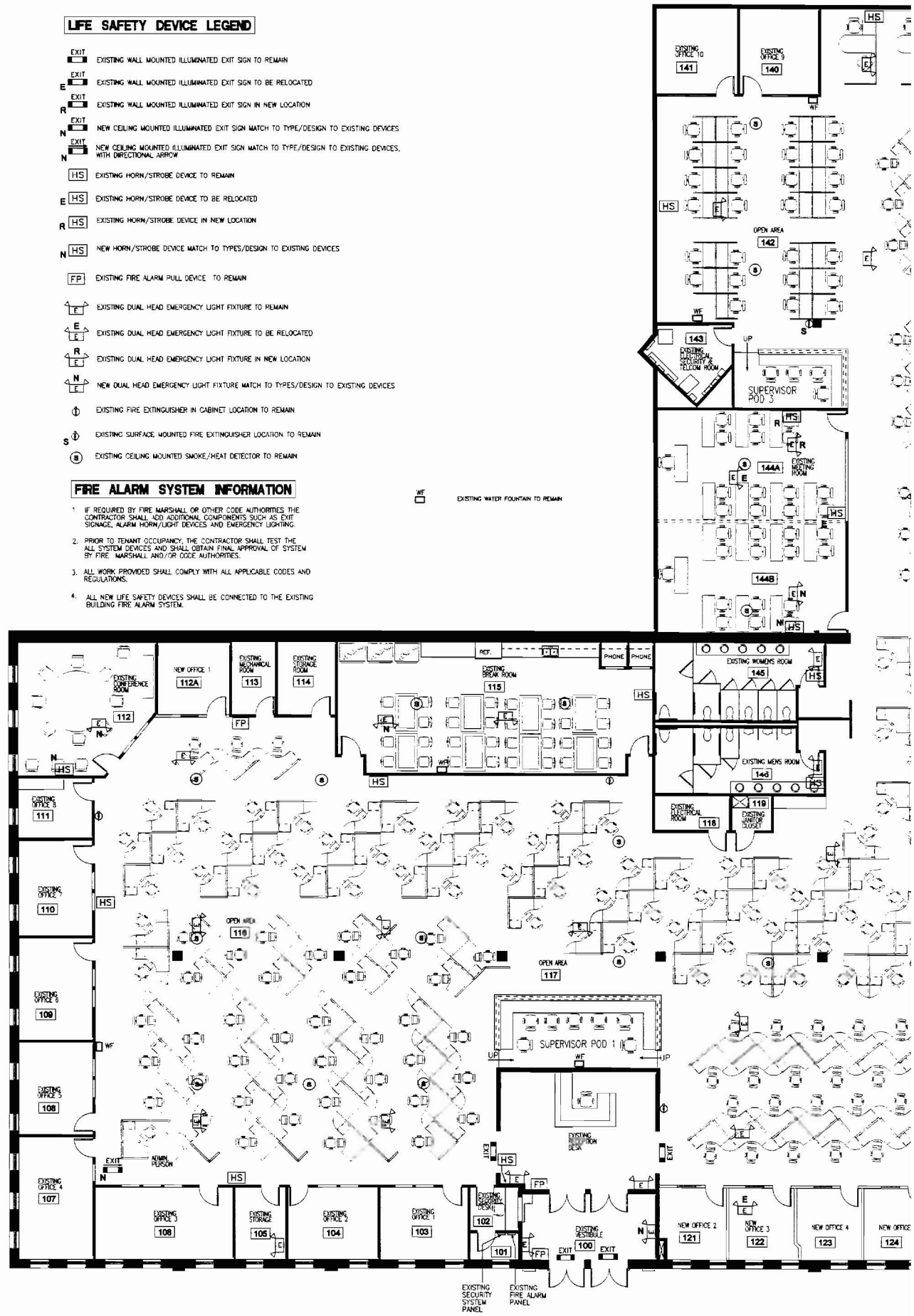
LIFE SAFETY DEVICE LEGEND

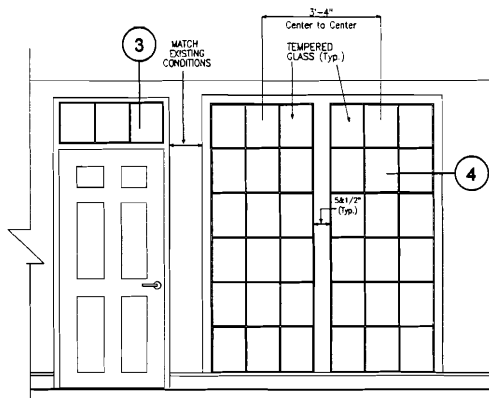
- EXISTING WALL MOUNTED ILLUMINATED EXIT SIGN TO REMAIN
- EXISTING WALL MOUNTED ILLUMINATED EXIT SIGN TO BE RELOCATED
- EXISTING WALL MOUNTED ILLUMINATED EXIT SIGN IN NEW LOCATION
- NEW CEILING MOUNTED ILLUMINATED EXIT SIGN MATCH TO TYPE/DESIGN TO EXISTING DEVICES
- NEW CEILING MOUNTED ILLUMINATED EXIT SIGN MATCH TO TYPE/DESIGN TO EXISTING DEVICES, WITH DIRECTIONAL ARROW
- EXISTING HORN/STROBE DEVICE TO REMAIN
- EXISTING HORN/STROBE DEVICE TO BE RELOCATED
- EXISTING HORN/STROBE DEVICE IN NEW LOCATION
- NEW HORN/STROBE DEVICE MATCH TO TYPES/DESIGN TO EXISTING DEVICES
- EXISTING FIRE ALARM PULL DEVICE TO REMAIN
- EXISTING DUAL HEAD EMERGENCY LIGHT FIXTURE TO REMAIN
- EXISTING DUAL HEAD EMERGENCY LIGHT FIXTURE TO BE RELOCATED
- EXISTING DUAL HEAD EMERGENCY LIGHT FIXTURE IN NEW LOCATION
- NEW DUAL HEAD EMERGENCY LIGHT FIXTURE MATCH TO TYPES/DESIGN TO EXISTING DEVICES
- EXISTING FIRE EXTINGUISHER IN CABINET LOCATION TO REMAIN
- EXISTING SURFACE MOUNTED FIRE EXTINGUISHER LOCATION TO REMAIN
- EXISTING CEILING MOUNTED SMOKE/HEAT DETECTOR TO REMAIN

FIRE ALARM SYSTEM INFORMATION

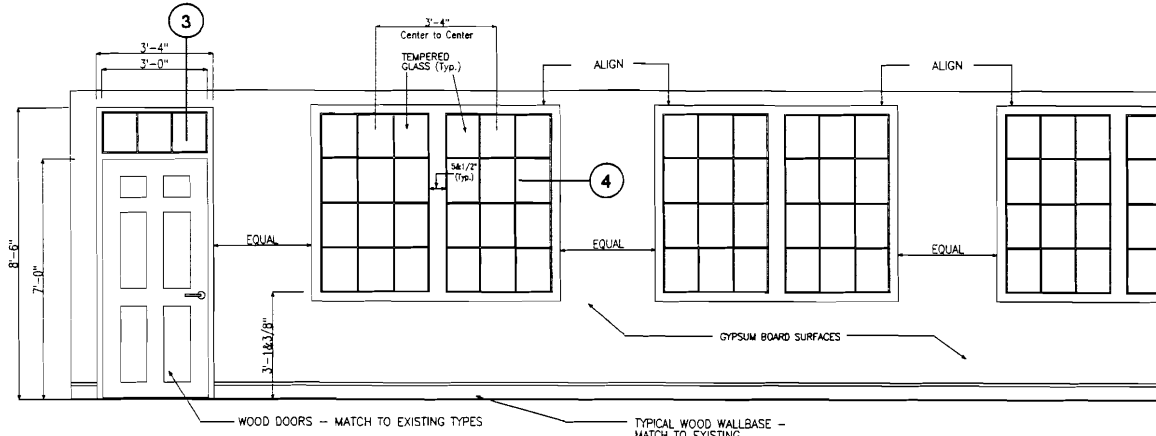
1. IF REQUIRED BY FIRE MARSHALL OR OTHER CODE AUTHORITIES THE CONTRACTOR SHALL ADD ADDITIONAL COMPONENTS SUCH AS EXIT SIGNAGE, ALARM HORN/LIGHT DEVICES AND EMERGENCY LIGHTING.
2. PRIOR TO TENANT OCCUPANCY, THE CONTRACTOR SHALL TEST THE ALL SYSTEM DEVICES AND SHALL OBTAIN FINAL APPROVAL OF SYSTEM BY FIRE MARSHALL AND/OR CODE AUTHORITIES.
3. ALL WORK PROVIDED SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS.
4. ALL NEW LIFE SAFETY DEVICES SHALL BE CONNECTED TO THE EXISTING BUILDING FIRE ALARM SYSTEM.

EXISTING WATER FOUNTAIN TO REMAIN

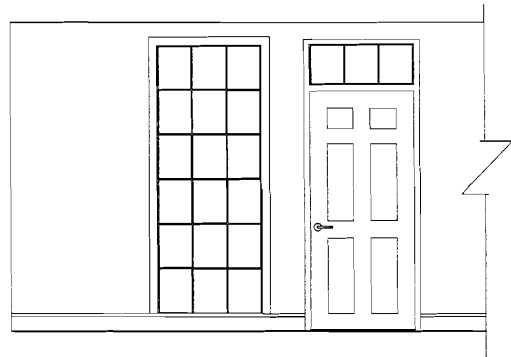




A ELEVATION AT OFFICE 140
SCALE: 1/2" = 1'-0"



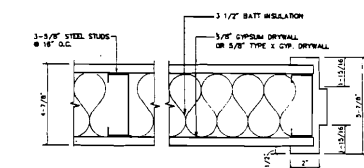
B ELEVATION AT OFFICE 138
SCALE: 1/2" = 1'-0"



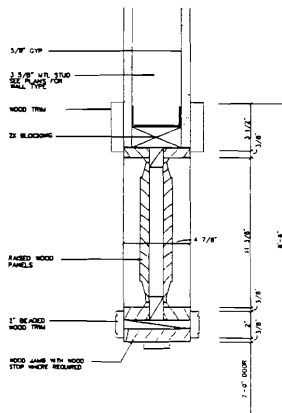
C ELEVATION AT OFFICE 112A
SCALE: 1/2" = 1'-0"



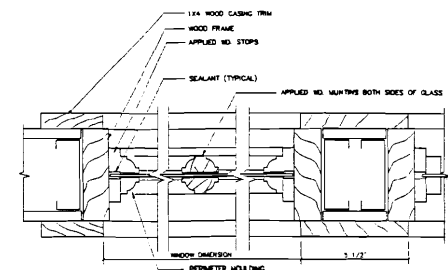
D ELEVATION AT OFFICES 121-126
SCALE: 1/2" = 1'-0"



2 DOOR DETAIL (HEAD SHOWN)
SCALE: N.T.S.



3 TRANSOM DETAIL
3" = 1'-0"



4 INTERIOR WINDOW DETAILS (HEAD SHOWN)
SCALE: NONE

5 DETAIL
SCALE: 3"