

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that J B BROWN & SONS»

Located At 901 WASHINGTON AVE

Job ID: 2011-08-1942-SIGN

CBL: 170 - - F - 001 - 001 - - - -

has permission to remove an old free-standing sign and replace with a new 8' x 10' free-standing sign provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

N/A

Fire Prevention Officer

Mary Schuchtd 8/12/11

Code Enforcement Officer / Plan Reviewer

**THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

*******Please call before placing concrete for a setback inspection *******



Strengthening a Remarkable City. Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development
Penny St. Louis

Job ID: 2011-08-1942-SIGN

Located At: 901 WASHINGTON
AVE

CBL: 170 - - F - 001 - 001 - - - -

Conditions of Approval:

Zoning

1. Any LED display SHALL NOT continuously flash, nor continuously blink, and SHALL NOT scroll. Electronic message board signs SHALL NOT change messages no more than once every twenty (20) minutes. This City and State regulation SHALL BE strictly enforced.
2. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-08-1942-SIGN	Date Applied: 8/5/2011	CBL: 170 - - F - 001 - 001 - - - - -	
Location of Construction: 901 WASHINGTON AVE	Owner Name: J B & SONS BROWN - Via Veroneau	Owner Address: PO BOX 207 PORTLAND, ME - MAINE 04112	Phone: 774-5908
Business Name:	Contractor Name: Welch Signage & Digital Graphics,	Contractor Address: 7 Lincoln Ave, Scarborough, ME 04074	Phone:
Lessee/Buyer's Name:	Phone:	Permit Type: free-standing sign	Zone: C56
Past Use: multi tenant Offices -	Proposed Use: Same - multi tenant offices - to remove old sign and replace with new approx 8' x 10' free standing sign	Cost of Work:	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: Type: Signature:
Proposed Project Description: New Sign for Washington Park		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Lannie		Zoning Approval	

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
2. Building Permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland	<input type="checkbox"/> Variance	<input checked="" type="checkbox"/> Not in Dist or Landmark
<input type="checkbox"/> Wetlands	<input type="checkbox"/> Miscellaneous	<input type="checkbox"/> Does not Require Review
<input type="checkbox"/> Flood Zone	<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Requires Review
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Interpretation	<input type="checkbox"/> Approved
<input type="checkbox"/> Site Plan	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions
<input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM	<input type="checkbox"/> Denied	<input type="checkbox"/> Denied
Date: <i>8/12/11</i>	Date:	Date: <i>8/12/11</i>

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the appication is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



Signage/Awning Permit Application

B-2 /
CSB
FRONT

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>901 Washington Ave</u>		
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>170</u> <u>F</u> <u>132</u>	Owner: <u>J.B. Brown & Sons</u> <u>36 Danforth St.</u> <u>Portland, ME 04103</u>	Telephone: <u>774-5908</u>
Lessee/Buyer's Name (If Applicable)	Contractor name, address & telephone: <u>Welch Signage</u> <u>7 Lincoln Ave</u> <u>Scarborough, ME</u> <u>04074</u>	Total s.f. of signage x \$2.00 Per s.f. plus \$30.00/\$65.00 For I.I.D. signage= Total Fee: \$ _____ Awning Fee= cost of work _____ Total Fee: \$ _____
Who should we contact when the permit is ready: <u>Vin Verneau</u> phone: <u>774-5908</u> <i>Free Standing Sign</i>		
Tenant/allocated building space frontage (feet): Length: _____ Height: _____ Lot Frontage (feet) <u>371'</u> Single Tenant or Multi Tenant Lot <u>Multi</u> <i>140' Allowed - 80' Show</i>		
Current Specific use: <u>office space</u> <i>18' max high - 10' show</i> If vacant, what was prior use: _____ <i>5' setback - 12.5' x 35'</i> Proposed Use: _____ <i>4.41 Acres</i>		
Information on proposed sign(s): Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No _____ Dimensions proposed: <u>18' x 8' +/-</u> Height from grade: <u>2'</u> Bldg. wall sign? (attached to bldg) Yes _____ No <input checked="" type="checkbox"/> Dimensions proposed: _____ <i>8 x 10 = 80' Show OK</i>		
Proposed awning? Yes _____ No <input checked="" type="checkbox"/> Is awning backlit? Yes _____ No _____ Height of awning: _____ Length of awning: _____ Depth: _____ Is there any communication, message, trademark or symbol on it? Yes _____ No _____ If yes, total s.f. of panels w/communications, message, trademark or symbol: _____ s.f.		
Information on existing and previously permitted sign(s): Freestanding (e.g., pole) sign? Yes <input checked="" type="checkbox"/> No _____ Dimensions: <u>9' x 12' +/-</u> <i>(being replaced)</i> Bldg. wall sign? (attached to bldg) Yes _____ No _____ Dimensions: _____ Awning? Yes <input checked="" type="checkbox"/> No _____ Sq. ft. area of awning w/communication: <u>0</u>		
A site sketch and building sketch showing exactly where existing and new signage is located must be provided. Sketches and/or pictures of proposed signage and existing building are also required.		

Please submit all of the information outlined in the Sign/Awning Application Checklist.
Failure to do so may result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>8/5/11</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

AUG - 5 2011

Dept. of Building Inspection
City of Portland



Shows Scale of new sign to existing site sign



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

8-5-20 11

Received from

J.P. Brown

Location of Work

701 Washington

Cost of Construction

\$

Building Fee:

Permit Fee

\$

Site Fee:

Certificate of Occupancy Fee:

Total:

174

Building (I1)

Plumbing (I5)

Electrical (I2)

Site Plan (U2)

Other

5:511

CBL:

1707102

Check #:

4428

Total Collected \$

174

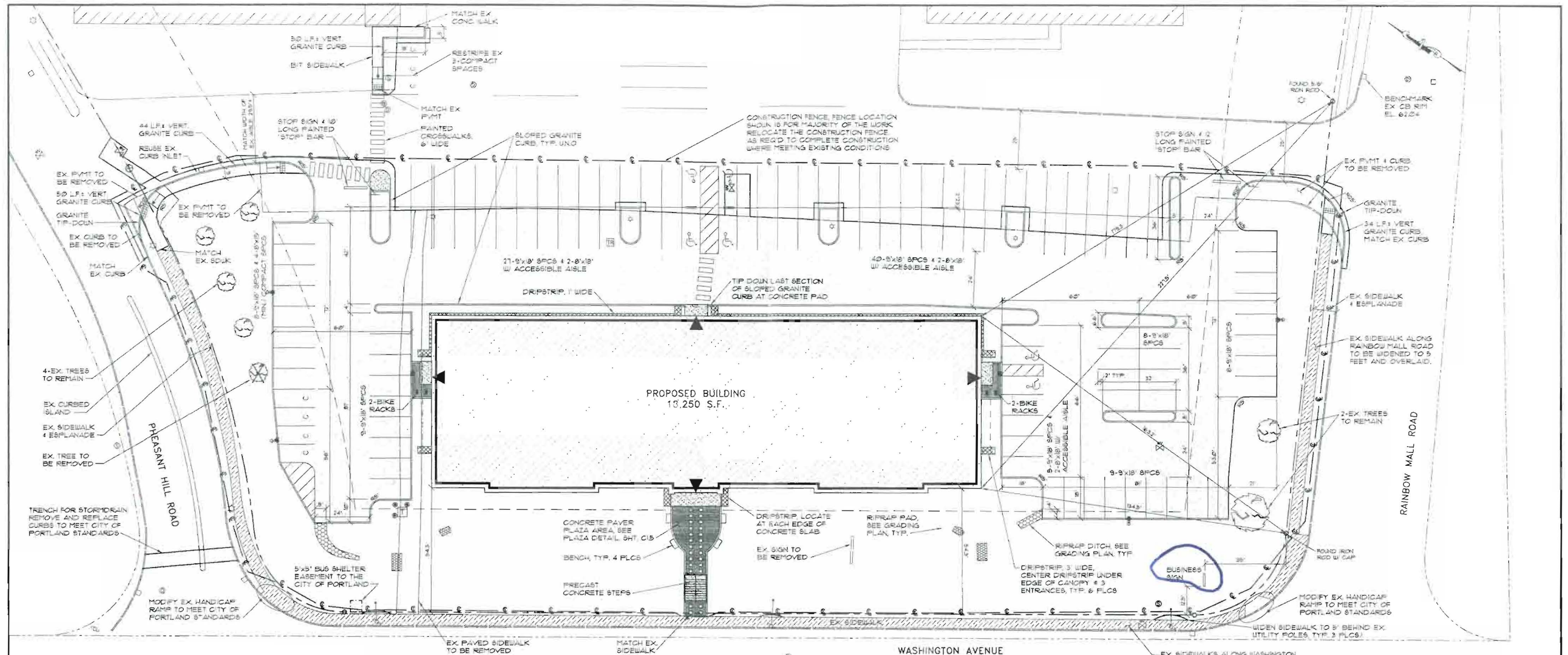
**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by:

J.P.

7058-12130-174

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



CITY OF PORTLAND SITE PLAN NOTES

- LANDSCAPING SHALL MEET THE "ARBORICULTURAL SPECIFICATIONS AND STANDARDS OF PRACTICE AND LANDSCAPE GUIDELINES" OF THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- THE ENTIRE SITE SHALL BE DEVELOPED AND/OR MAINTAINED AS DEPICTED ON THE SITE PLAN. APPROVAL OF THE PLANNING AUTHORITY OR PLANNING BOARD SHALL BE REQUIRED FOR ANY ALTERATION TO OR DEVIATION FROM THE APPROVED SITE PLAN, INCLUDING, WITHOUT LIMITATION, TOPOGRAPHY, DRAINAGE, LANDSCAPING, RETENTION OF WOODED OR LAWN AREAS, ACCESS, SITE, LOCATION, AND SURFACING OF PARKING AREAS AND LOCATION AND SIZE OF BUILDINGS.
- ALL POWERLINE UTILITIES IN THE PUBLIC RIGHT-OF-WAY SHALL BE OVERHEAD.
- SIDEWALKS AND CURBS SHALL BE DESIGNED AND BUILT WITH TIP-DOWN RAMPS AT ALL STREET CORNERS, CROSSWALKS AND DRIVEWAYS IN CONFORMANCE WITH THE CITY OF PORTLAND TECHNICAL AND DESIGN STANDARDS AND GUIDELINES.
- ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY SITE EXCAVATION OR REGRADING.
- ALL DISTURBED AREAS ON THE SITE NOT COVERED BY BUILDINGS OR PAVED AREAS SHALL BE STABILIZED WITH LOAM AND SEED OR OTHER METHODS AS REQUIRED BY BEST MANAGEMENT PRACTICES (SEE ABOVE).
- PRIOR TO CONSTRUCTION, A PRECONSTRUCTION MEETING SHALL BE HELD AT THE PROJECT SITE WITH THE CONTRACTOR, DEVELOPMENT REVIEW COORDINATOR, PUBLIC WORKS REPRESENTATIVE AND OWNER TO REVIEW THE CONSTRUCTION SCHEDULE AND CRITICAL ASPECTS OF THE SITE WORK. AT THAT TIME, THE SITE/BUILDING CONTRACTOR SHALL PROVIDE THREE (3) COPIES OF A DETAILED CONSTRUCTION SCHEDULE TO THE ATTENDING CITY REPRESENTATIVE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE A MUTUALLY AGREEABLE TIME FOR THE PRECONSTRUCTION MEETING.
- EXISTING VEGETATION SHALL BE CONSERVED IN AREAS SHOWN ON THIS SITE. FENCING OR OTHER PROTECTIVE BARRIERS SHALL BE ERRECTED OUTSIDE THE DRIP-LINE OF INDIVIDUAL GROUPINGS OF TREES DESIGNATED FOR PRESERVATION PRIOR TO THE ONSET OF CONSTRUCTION. REGRADING SHALL NOT TAKE PLACE WITHIN THE DRIP-LINE OF TREES DESIGNATED FOR PRESERVATION. NO STORAGE OR CONSTRUCTION MATERIALS SHALL BE PERMITTED WITHIN THE DRIP-LINE OF TREES TO BE PRESERVED.

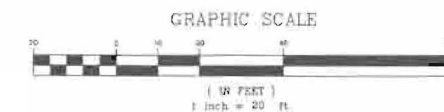
GENERAL NOTES

- OWNER/DEVELOPER: J.B. BROWN & SONS, 36 DANFORTH STREET, PORTLAND, CUMBERLAND COUNTY REGISTRY OF DEEDS BK 4213, PG. 13, DATED MAY 9, 1971.
- ARCHITECT: HKTA ARCHITECTS, 480 CONGRESS STREET, STE. 502, PORTLAND, MAINE.
- ENGINEER: PINKHAM & GREER CONSULTING ENGINEERS, FALMOUTH, MAINE.
- TOPOGRAPHIC WORK BY DANIEL J. DALFRONSO, PLS, SOUTH PORTLAND, MAINE. ADDITIONAL TOPOGRAPHIC AND BOUNDARY INFORMATION TAKEN FROM: WASHINGTON PARK, J.B. BROWN & SONS. FINAL SITE PLAN - PROPOSED OFFICE BUILDING. SITE PLAN 11-90 UTILITIES, LAYOUT & PLANTING BY TERRIEN ARCHITECTS, PORTLAND, MAINE, DATED 28 JANUARY 1988, REV. 1.
- 601LS DATA PROVIDED BY SUI COLE ENGINEERING, 286 PORTLAND ROAD, GRAY.
- ZONE: BUSINESS COMMUNITY (B2) AND A CONDITIONAL ZONE AGREEMENT OVER RESIDENTIAL 3 (R3) ZONE. PROPOSED USE: GENERAL BUSINESS AND PROFESSIONAL OFFICES.
- TAX MAP REFERENCE: 110-F-1, 111-A-5, 111-B-1, 114-B-2.
- TOTAL PARCEL: 1126 sqft.
- WAIVERS: NONE AT THIS TIME.
- CALL DIG-SAFE PRIOR TO COMMENCING WORK, 1-800-DIG-SAFE.
- BUILDING IS TO BE SERVICED BY PUBLIC WATER AND SANITARY SEWER.
- POWER, TELEPHONE AND CABLE ARE TO BE UNDERGROUND.
- ALL CONSTRUCTION AND SITE ALTERATIONS SHALL BE DONE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENT CONTROL BMPs PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION, MARCH 2003.

ZONE INFORMATION

ZONE: BUSINESS COMMUNITY (B2) AND A CONDITIONAL ZONE AGREEMENT OVER RESIDENTIAL 3 (R3) ZONE. PERMITTED USE:

SPACE STANDARDS	B2 ZONE	CONTRACT
MINIMUM LOT SIZE	5,000 SQ. FT.	NO CHANGE
MINIMUM STREET FRONTAGE	50 FEET	NO CHANGE
MINIMUM FRONT YARD	NONE	45 FEET
MINIMUM REAR & SIDE YARDS	10 FEET	NO CHANGE
MINIMUM LOT WIDTH	10 FEET	NO CHANGE
MAXIMUM BUILDING HEIGHT	45 FEET	NO CHANGE
MAXIMUM IMPERVIOUS RATIO	80%	NO CHANGE



RECEIVED

AUG - 5

Dept. of Building Inspections
City of Portland, Maine

FOR LEGEND SEE SHEET C1.3



1	5/3/11	REV'D PER CITY OF PORTLAND REVIEW COMMENTS
REV.	DATE	DESCRIPTION
J.B. BROWN & SONS 36 DANFORTH STREET, PORTLAND MAINE MARTIN'S POINT HEALTHCARE 901 WASHINGTON AVENUE, PORTLAND PINKHAM & GREER CONSULTING ENGINEERS FALMOUTH, MAINE SITE PLAN		
SCALE:	AS SHOWN	DRN BY: JDC
DATE:	APRIL 4, 2011	DESIGN BY: TSG
PROJECT:	10181	CHK BY: TSG

C1.1

5/3/11