

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
Permit Number: 070891
AUG 27 2007
CITY OF PORTLAND

This is to certify that HERSHKOPF JOSEPH & CAMELA S. BOSCHINI JT Corp
has permission to 16' x 16' floating foundation
AT 836 WASHINGTON AVE 170 B017006

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HEAVY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept.
Health Dept.
Appeal Board
Other
Department Name

Handwritten signature of the Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

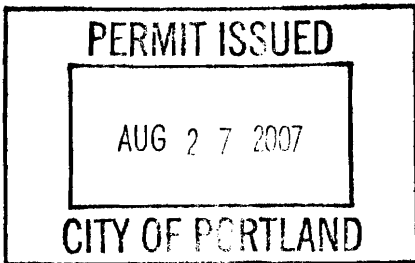
Permit No: 07-0891	Issue Date:	CBL: 170 B017006
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Location of Construction: 836 WASHINGTON AVE	Owner Name: HERSZKOPF JOSEPH & CARME	Owner Address: 836 WASHINGTON AVE # 6	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone 2075522779
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: Residential / 12 residential condos-	Proposed Use: Residential / 12 condos - for bldg #4, unit #6 - 16' x 16' floating foundation deck	Permit Fee: \$30.00	Cost of Work: \$900.00	CEO District: 4
Proposed Project Description: 16' x 16' floating foundation deck		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-2 Type: SB IRC 2003	
		Signature: <i>Crea Cass</i>	Signature: <i>[Signature]</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: 07/24/2007	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Mingr <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>7/31/07</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
	Signature: <i>OK with conditions</i>		



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0891	Date Applied For: 07/24/2007	CBL: 170 B017006
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Location of Construction: 836 WASHINGTON AVE	Owner Name: HERSZKOPF JOSEPH & CARME	Owner Address: 836 WASHINGTON AVE # 6	Phone:
Business Name:	Contractor Name: property owner	Contractor Address: Portland	Phone (207) 552-2779
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Residential / 12 condos - for bldg #4, unit #6 - 16' x 16' floating foundation deck	Proposed Project Description: 16' x 16' floating foundation deck
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 07/31/2007
Note: see comments			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) Separate permits shall be required for future decks, sheds, pools, and/or garages.</p> <p>2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</p> <p>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p> <p>4) This property shall remain 12 residential condominiums in total in four buildings. Any change of use shall require a separate permit application for review and approval.</p>			
Dept: Building	Status: Approved	Reviewer: Tammy Munson	Approval Date: 08/28/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>
Dept: Fire	Status: Not Applicable	Reviewer: Capt Greg Cass	Approval Date: 08/01/2007
Note:			Ok to Issue: <input checked="" type="checkbox"/>

Comments:
7/31/2007-mes: my research shows that this was not approved as a PRUD, but as allowed under a "multi-family dwelling with a minimum of 1 acre and using 3,000 sq. of land area per dwelling unit. So the 8' side yard setback is ok.
8/3/2007-gg: received granted site exemption as of 8/3/07. /gg (filed with permit (Tammy))

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection:** Prior to pouring concrete
- Re-Bar Schedule Inspection:** Prior to pouring concrete
- Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

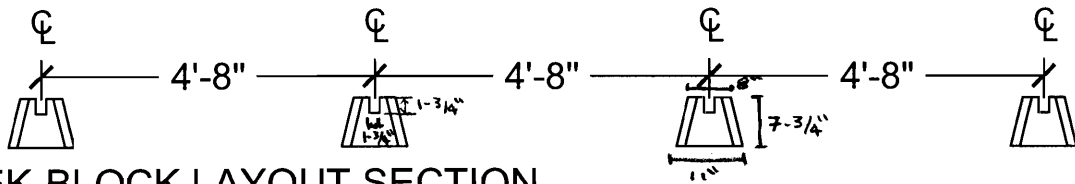
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

_____ 8/29/07
Signature of Applicant/Designee Date
Donna Martin Admin 8-29-07
Signature of Inspections Official Date

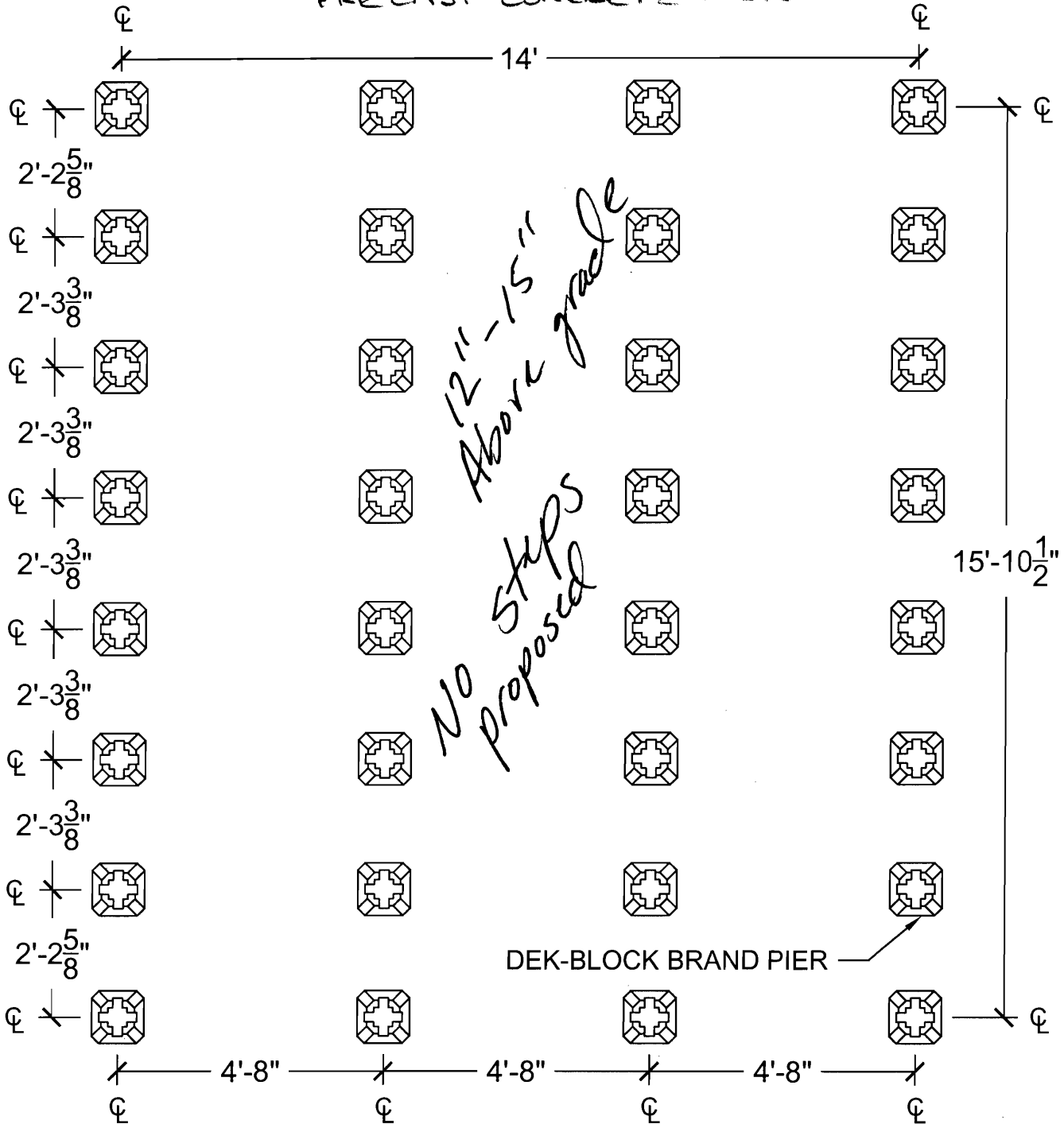
CBL: 170 B 017 Building Permit #: 07-6891



1 DEK-BLOCK LAYOUT SECTION

SCALE: 3/8" = 1' - 0"

PRE CAST CONCRETE PIER



DEK-BLOCK BRAND PIER

2 DEK-BLOCK LAYOUT PLAN

SCALE: 3/8" = 1' - 0"

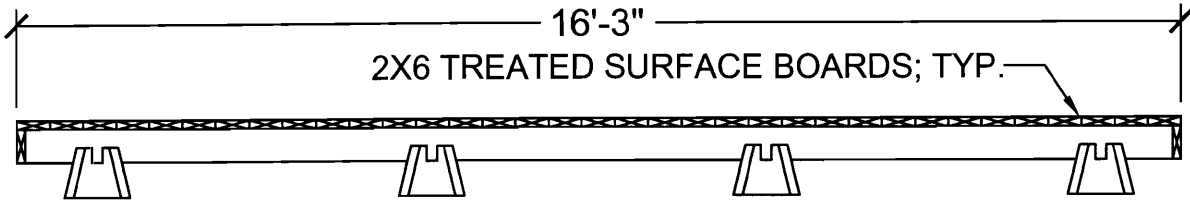


Floating Foundation Deck Systems
DekBrands PO Box 14804 Mpls, MN 55414

16' x 16'
www.DECKPLANS.com

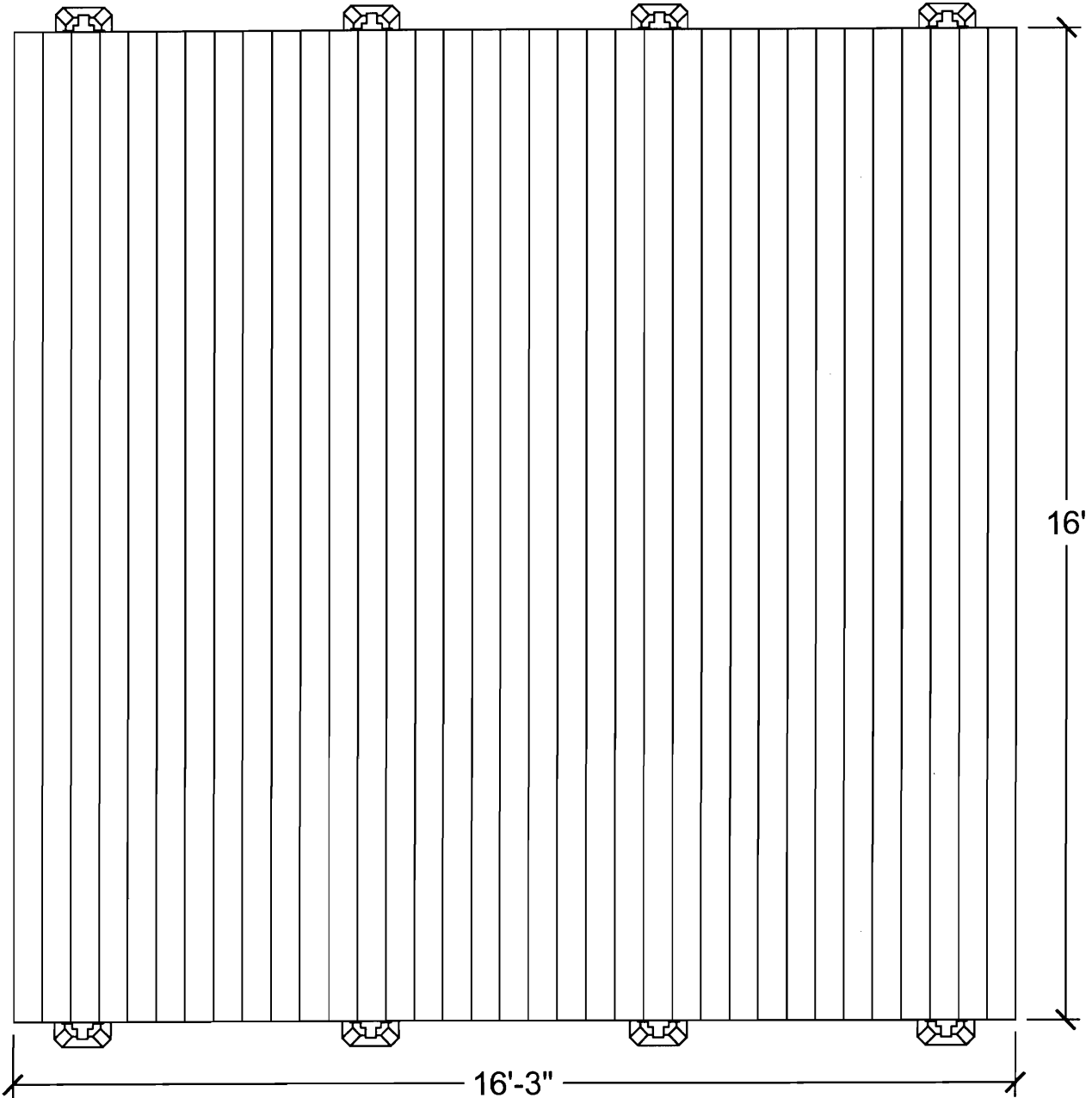
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Live Technical Support
1-800-664-2705
7 Days a Week - 365 Days a Year
(5:00 am - 9:00 pm CST)



1 DECKING SECTION

SCALE: 3/8" = 1' - 0"



2 DECKING PLAN

SCALE: 3/8" = 1' - 0"



Floating
Foundation
Deck Systems

DekBrands PO Box 14804 Mpls, MN 55414

16' x 16'
www.DECKPLANS.com

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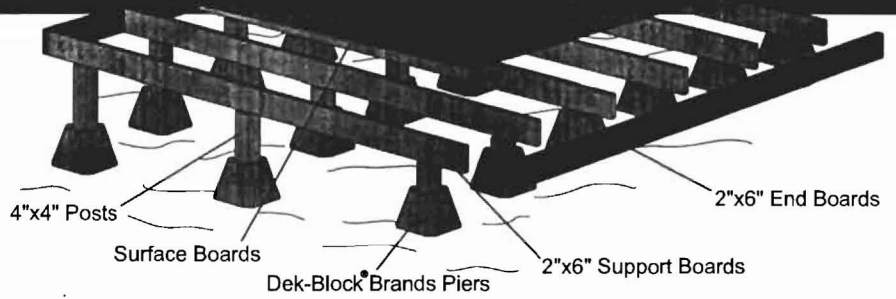
Live Technical Support







1-800-664-2705

7 Days a Week - 365 Days a Year
(5:00 am - 9:00 pm CST)

Deck System

16'x16' Rectangular Deck



<input checked="" type="checkbox"/>	Material List	#	@	Per	Total
	Dek-Blocks				
<input type="checkbox"/>	Dek-Block Brand Piers	32	@	\$ _____	\$ _____
	Support Boards				
<input type="checkbox"/>	16' - 2"x6" Treated Lumber	8	@	\$ _____	\$ _____
	End Boards				
<input type="checkbox"/>	16' - 2"x6" Treated Lumber	2	@	\$ _____	\$ _____
	Surface Boards				
<input type="checkbox"/>	16' - 2"x6" Treated Lumber	35	@	\$ _____	\$ _____
	Detailing				
<input type="checkbox"/>	2½ " Deck Screws; lbs.	11	@	\$ _____	\$ _____
	Optional Posts for 30" Elevation				
<input type="checkbox"/>	8' - 4"x4" Treated Posts	6	@	\$ _____	\$ _____
				Total	\$ _____

Shop Today

Build on Saturday

Enjoy on Sunday

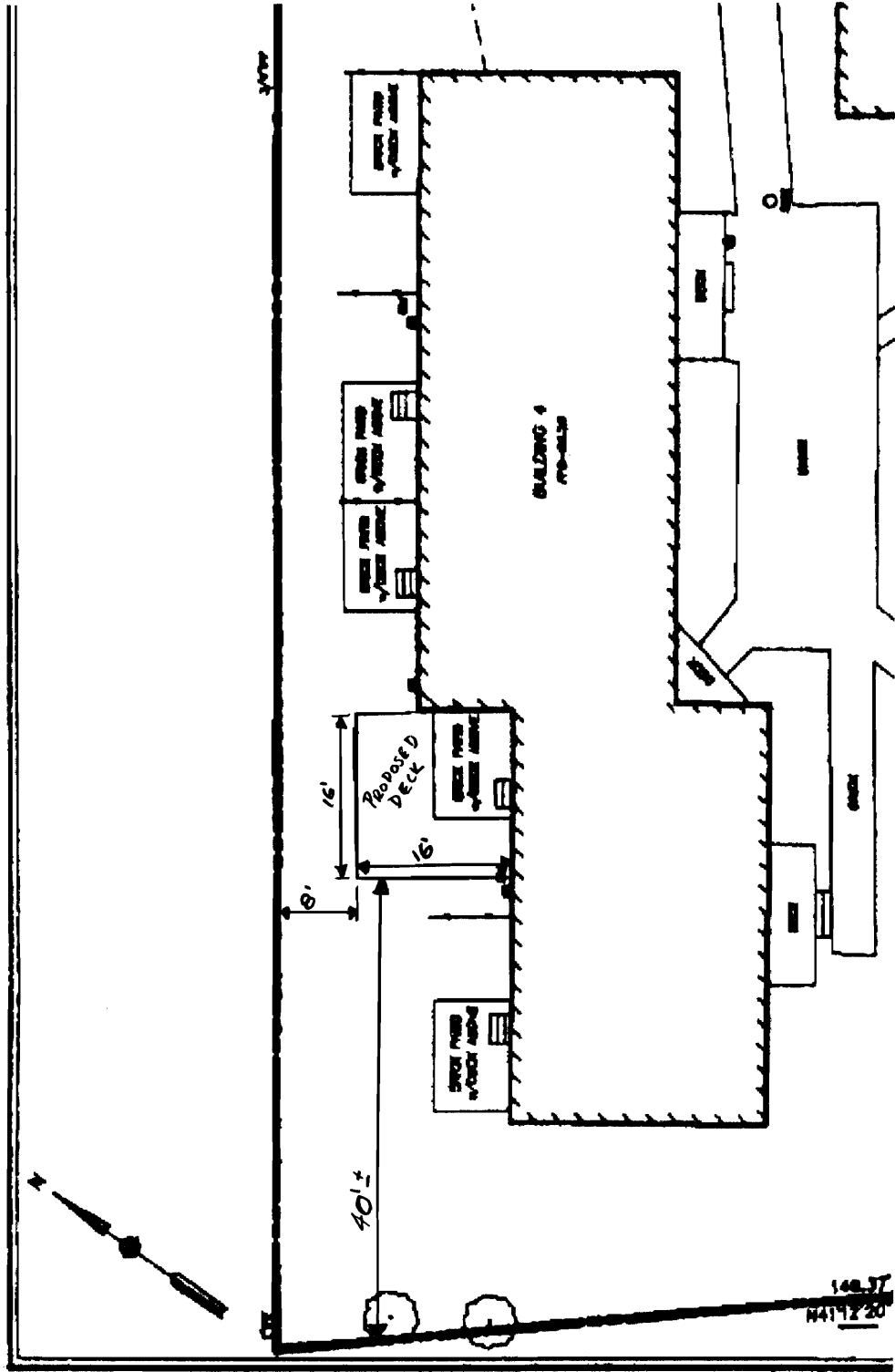
These plans are intended for consumer use only. Copyright 2000 Proshop Plans Co. They may not be reproduced, copied, distributed or disseminated without the written permission of DEKBRANDS. DEKBRANDS and Dek-Block are trademarks of Proshop Plans Co., Inc. U.S. Patent 5,392,575, 5,953,874, 6,324,801B1, 6,446,403B2, 6,550,201B2, and 6,609,346B2 Pat. Pend/App. Pend. Manufactured under license.



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Hundreds of Free Plans, tips, and Ideas Available Online

Live Technical Support:
7 days a week - 5:00am to 9:00pm CST
1-800-664-2705

ZOOM IN OF PLOT PLAN





General Building Permit Application

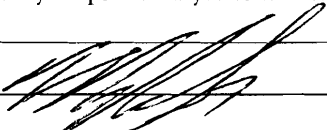
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 836 WASHINGTON AVENUE UNIT #6		
Total Square Footage of Proposed Structure 256	Square Footage of Lot ± 48,000	
Tax Assessor's Chart, Block & Lot Chart# 170 Block# 17 Lot# 12	Owner: JOSEPH HERSHKOFF & CARMELA SOTO BOSCHINI	Telephone: (207) 899-1749
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: JOSEPH HERSHKOFF 836 WASHINGTON AVE UNIT 6 PORTLAND, ME 04103 (207) 899-1749	Cost Of Work: \$ 900 Fee: \$ _____ C of O Fee: \$ 30,000
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>16x16 Floating Foundation Deck. Detached. Side Yard</u>		
Contractor's name, address & telephone: <u>Self</u>		
Who should we contact when the permit is ready: <u>Joseph Hershkopf</u> Mailing address: <u>836 WASHINGTON AVENUE</u> <u>UNIT #6</u> <u>PORTLAND, ME 04103</u> Phone: <u>(207) 552-2779</u>		

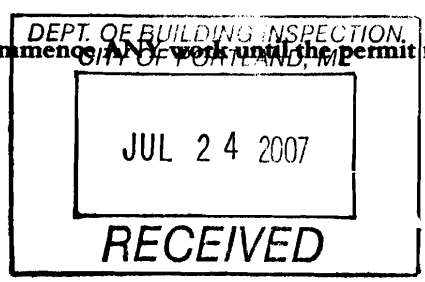
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 7/23/07
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This is not a permit; you may not commence any work until the permit is issued.





**Cedar Court
Condominium
Association**

836 Washington Avenue
Suite 9
Portland Me, 04103

July 18, 2007

836 Washington ave, unit #6

Dear Sir or Madam:

The Cedar Court association approves a new deck to be built off the back patio door of unit #6

Sincerely,

Jeff Corbin
President Cedar Court Condominium Association

Ordinance Revised
Then 3-1-80

Ordinances changed significantly
in May, 1984

Section 602.6

R-5 RESIDENCE ZONE

A. No building shall be erected, altered, enlarged, rebuilt, or used, and no premises shall be used, except for the following uses:

Use
602.6 A.

1. Any use permitted in the R-3 Residence Zone.
2. Two-family dwelling in a detached building.
3. Multi-family dwelling with a maximum of fourteen dwelling units when located on a lot having a minimum area of one acre, but only after the site plan including walks, drives, yard spaces and off-street parking areas has been approved by the City Planning Board.
4. Accessory buildings and uses customarily subordinate or incidental to a conforming principal building or use.
5. Any of the following conditional uses if and as authorized by the Board of Appeals:
 - a. Water pumping station, reservoir and standpipe, electrical power substation, transformer station, and electrical switching yard, and telephone exchange building.

Effective
5/19/72

"3.A. Planned Residential Unit Development consisting of attached dwelling units or a series of attached dwelling units, designed or intended primarily for separate ownership, provided that overall density or front yard requirements and parking requirements are met as set forth in Section 602.6.B. Front yard requirements are defined in relationship to publicly accepted streets. All other space and bulk requirements contained in any other ordinance are hereby waived in respect to such a development, except that such development shall meet the appropriate subdivision requirements of Chapter 603 of the Municipal Code and site plan requirements of Chapter 604 of the Municipal Code as now enacted or as hereafter amended."

5. Principal buildings or structures - 2-1/2 stories or 35 feet
Accessory buildings or structures - 1 story of 15 feet
6. Principal building or group of buildings - 40% of lot area
Accessory buildings or structures - 30% maximum coverage of rear yard.
7. 6,000 square feet for all uses, excepting hospitals which shall have at least 2 acres and public or private non-profit schools which shall have at least 1/2 acre, where access to a public sewer is available, or 6,000 square feet or the area required under Lot Requirements in Unsewered Residential Districts, Section 602.19, whichever is larger, where the property is unsewered.
8. 3,000 square feet.
9. 60 feet, except as provided in Paragraph B-2 above.
10. 50 feet.

Maximum height
602.6 B. 5

Maximum building area - 602.6 B. 6

Minimum lot area
602.6 B. 7

Minimum area per family 602.6 B. 8

Minimum width of lot 602.6 B. 9

Minimum lot frontage on street
602.6 B. 10

Off-street parking
602.6 C.

C. Off-street parking shall be provided as required in Section 602.14 of this Ordinance.

"D. No building or structure shall be erected, altered, enlarged, rebuilt, or used and no premises shall be used within the land area situated between the shoreland zone line and the normal high water mark of the waters of the Stroudwater River, Presumpscot River, Fore River, Portland Harbor, Back Cove, and the bays, coves, sounds, inlets, and open waters of Casco Bay, as shown on the City of Portland Zoning Map and on all land areas of all islands not having a shoreland zone line on the City of Portland Zoning Map, which does not comply with the requirements of Section 602.19A of this Ordinance."



CITY OF PORTLAND

JOSEPH E. GRAY, JR.
DIRECTOR OF PLANNING
AND URBAN DEVELOPMENT

May 27, 1983

J. David Pirone
147 Brackett Street
Portland, Maine 04102

Re: 836 Washington Avenue

Dear Sir:

Your application to construct four (4) foundations only at 836 Washington Avenue, Portland, Maine has been reviewed and a building permit is herewith issued subject to the following requirements.

SITE PLAN REVIEW

- Public Works: Approval on May 17, 1983 by Marc Guimont, City Engineer.
- Fire Dept: Approved February 26, 1983 by Lt. James Collins
- Building Dept.: Approved May 27, 1983
- Planning Dept.: Number of units in initial plan reduced from 13 to 12. Surface drawings calculations have been approved by Public Works.

Outside lighting will be directed downward and away from abutters. Additional landscaping will be provided: (a) to screen parking areas from residential abutters; (b) to install a berm with shrubs to shield Maxim property from auto headlights and provide additional trees and shrubs at the rear of the lot adjacent to the Maxim property; (c) to provide a hedge along the Pistaki property the first three units of the front of the site.

Above landscaping and plantings will be subject to approval by Ann Grimes, City Arborist, and review by the Planning staff.

Call this office before placing concrete in foundation forms - Mr. Williams, 775-5451, Ext. 377.

If you have any questions on these requirements, please call this office.

Sincerely,

P. SAMUEL HOFFSES,
CHIEF OF INSPECTION SERVICES

CC: Alex Jaegerman
Marc Guimont

PSH/mlb

ZOOM IN OF PLOT PLAN

