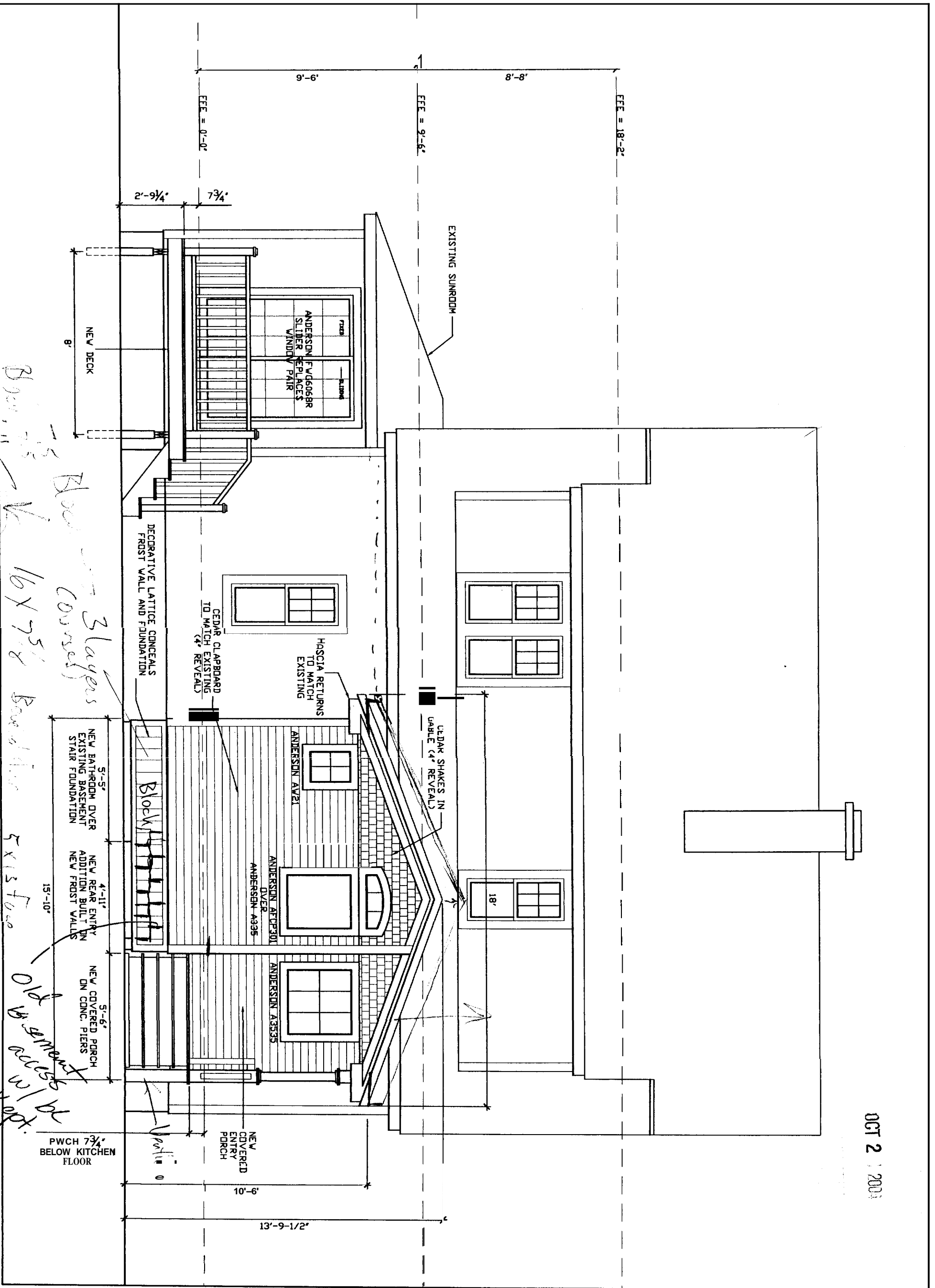


OCT 2 1 2004



NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION

3 layers
 Block courses
 16x7 1/2 Boarding 5x13 Foe
 Old basement porch
 26 (in)

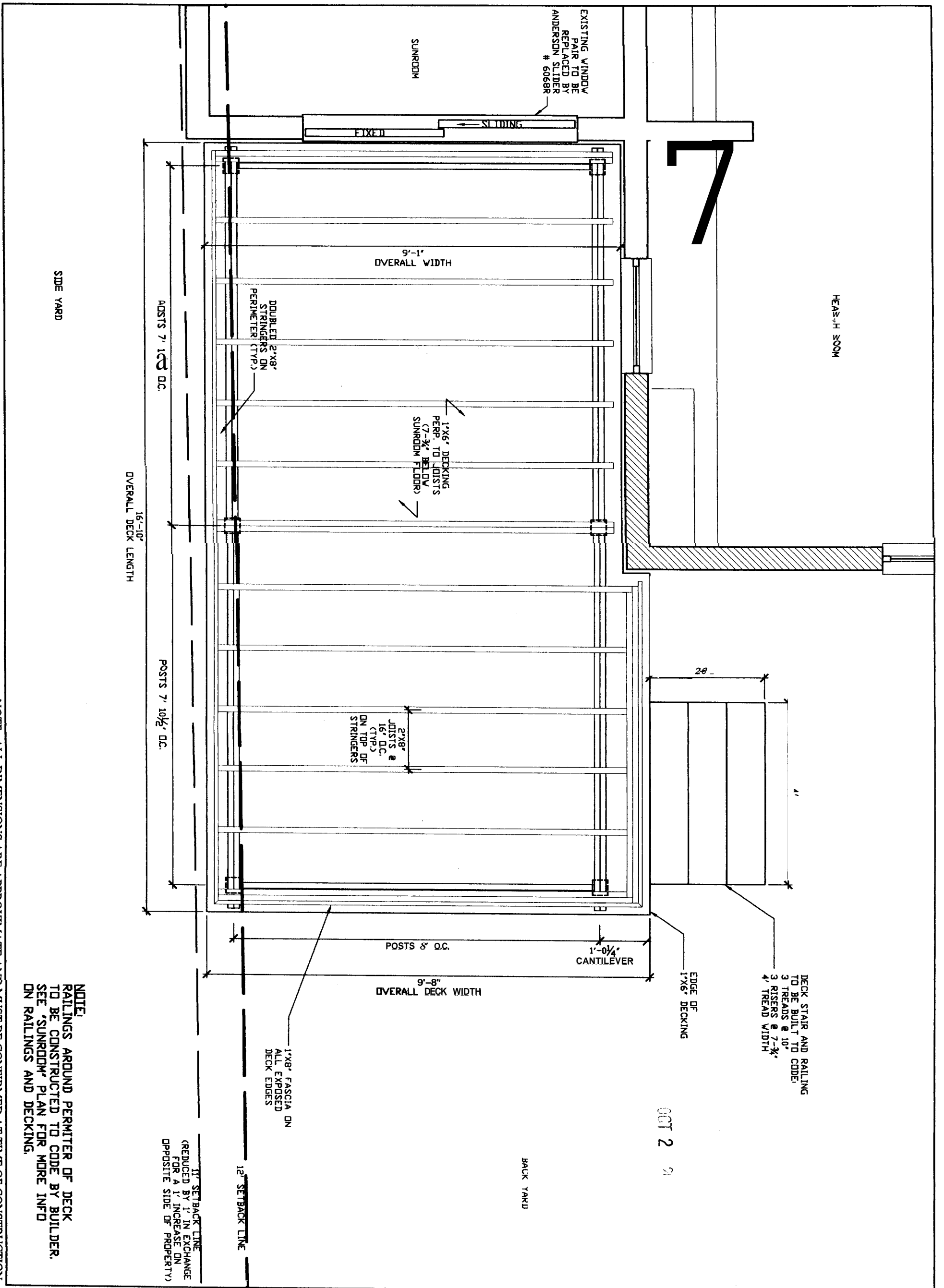


**INTERURBAN
 PLANNING & DESIGN, INC**
 430 Interlake Road
 New Gloucester, Maine 04253
 207.926.3939

DROWN RESIDENCE
 677 Ocean Avenue, Portland, Maine
PERMITTING SET

IN ACCEPTING THESE DRAWINGS THE CLIENT
 RELEASES THE ARCHITECT FROM LIABILITY FOR
 ANY ERRORS OR OMISSIONS THAT MAY
 OCCUR. THE ARCHITECT'S RESPONSIBILITY IS NOT A
 GUARANTEE OF THE ACCURACY OF THE DRAWINGS.
 THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO
 THE DESIGN AND CONSTRUCTION OF THE
 PROJECT AS SHOWN ON THESE DRAWINGS.
 THE ARCHITECT IS NOT RESPONSIBLE FOR
 ANY OTHER WORK NOT SHOWN ON THESE
 DRAWINGS. THE ARCHITECT'S RESPONSIBILITY
 IS LIMITED TO THE DESIGN AND CONSTRUCTION
 OF THE PROJECT AS SHOWN ON THESE
 DRAWINGS. THE ARCHITECT IS NOT
 RESPONSIBLE FOR ANY OTHER WORK NOT
 SHOWN ON THESE DRAWINGS.

New Rear	
Elevation	
DWG. 7 of 11	
1 OCT. 04	1/4" = 1'-0"



**INTERURBAN
PLANNING & DESIGN, INC**
400 Intervale Road
New Gloucester, Maine 05420
207.926.4939

DROWN RESIDENCE

677 Ocean Avenue, Portland, Maine

PERMITTING SET

IN ACCEPTING THESE DRAWINGS THE CLIENT REALIZES THAT THEY ARE CONCEPTUAL ONLY. THEY FURTHER UNDERSTAND THAT INTERURBAN PLANNING & DESIGN IS NOT A LICENSED ARCHITECTURE OR ENGINEERING COMPANY. THE FURTHER UNDERSTAND THAT IF IN THE BUILDERS OR GENERAL CONTRACTORS RESPONSIBILITY TO SEE THAT ALL CONSTRUCTION IS DONE IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND BUILDER WILL REVIEW THESE DRAWINGS PRIOR TO CONSTRUCTION TO VERIFY THAT THEY ARE SUITABLE FOR THE CLIENT'S NEEDS. IF ANY ERRORS ARE FOUND, INTERURBAN PLANNING & DESIGN WILL CORRECT THEM PRIOR TO START OF CONSTRUCTION.

Rear Deck

Framing Plan

DWG. 5 of 11

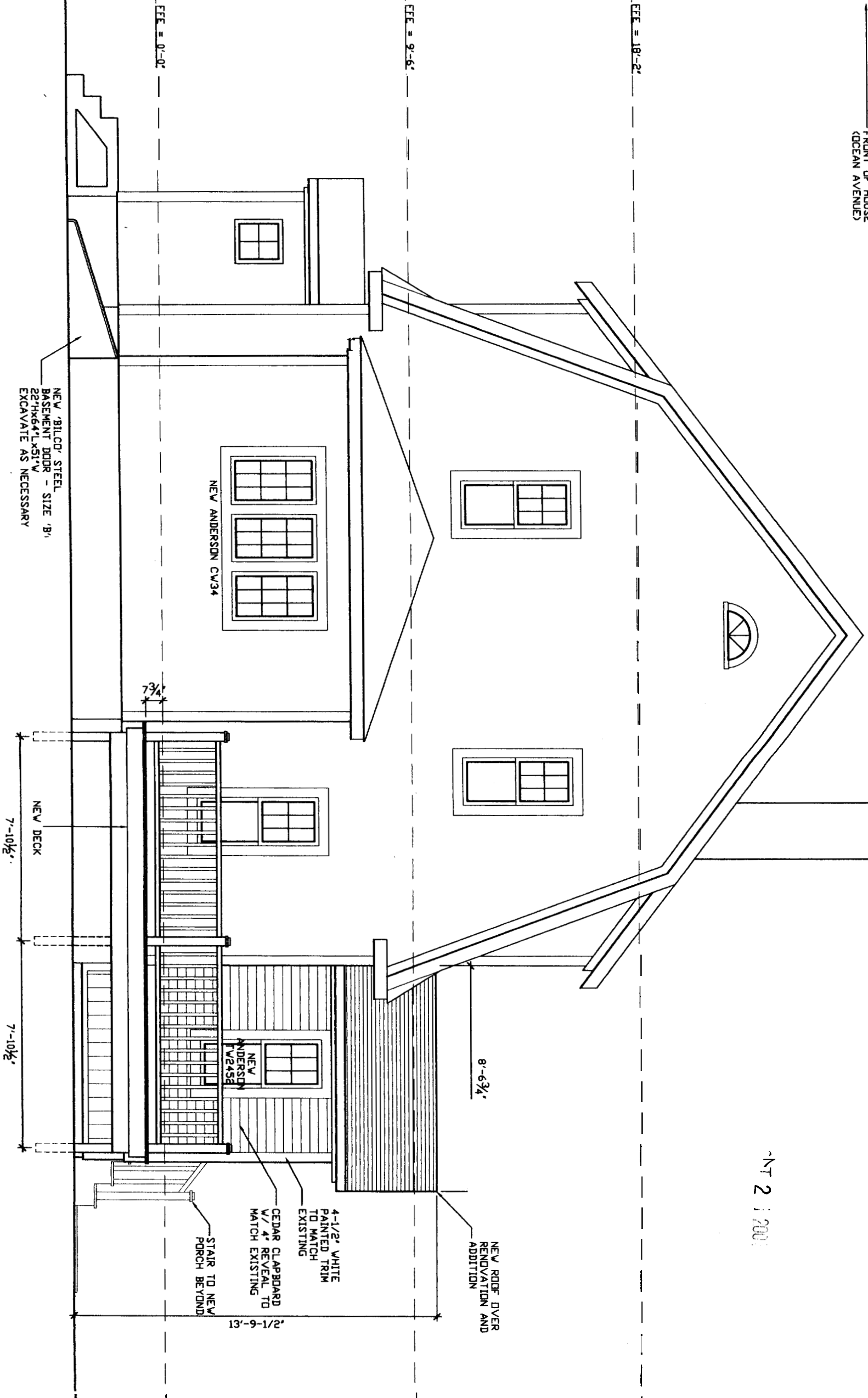
1 OCT. 04

1/2" = 1'-0"

FRONT OF HOUSE
(OCEAN AVENUE)

REAR OF HOUSE

NT 2 / 2001



**INTERURBAN
PLANNING & DESIGN, INC.**
400 Intervale Road
New Gloucester, Maine 04160
207.926.3939

DROWN RESIDENCE

677 Ocean Avenue, Portland, Maine

PERMITTING SET

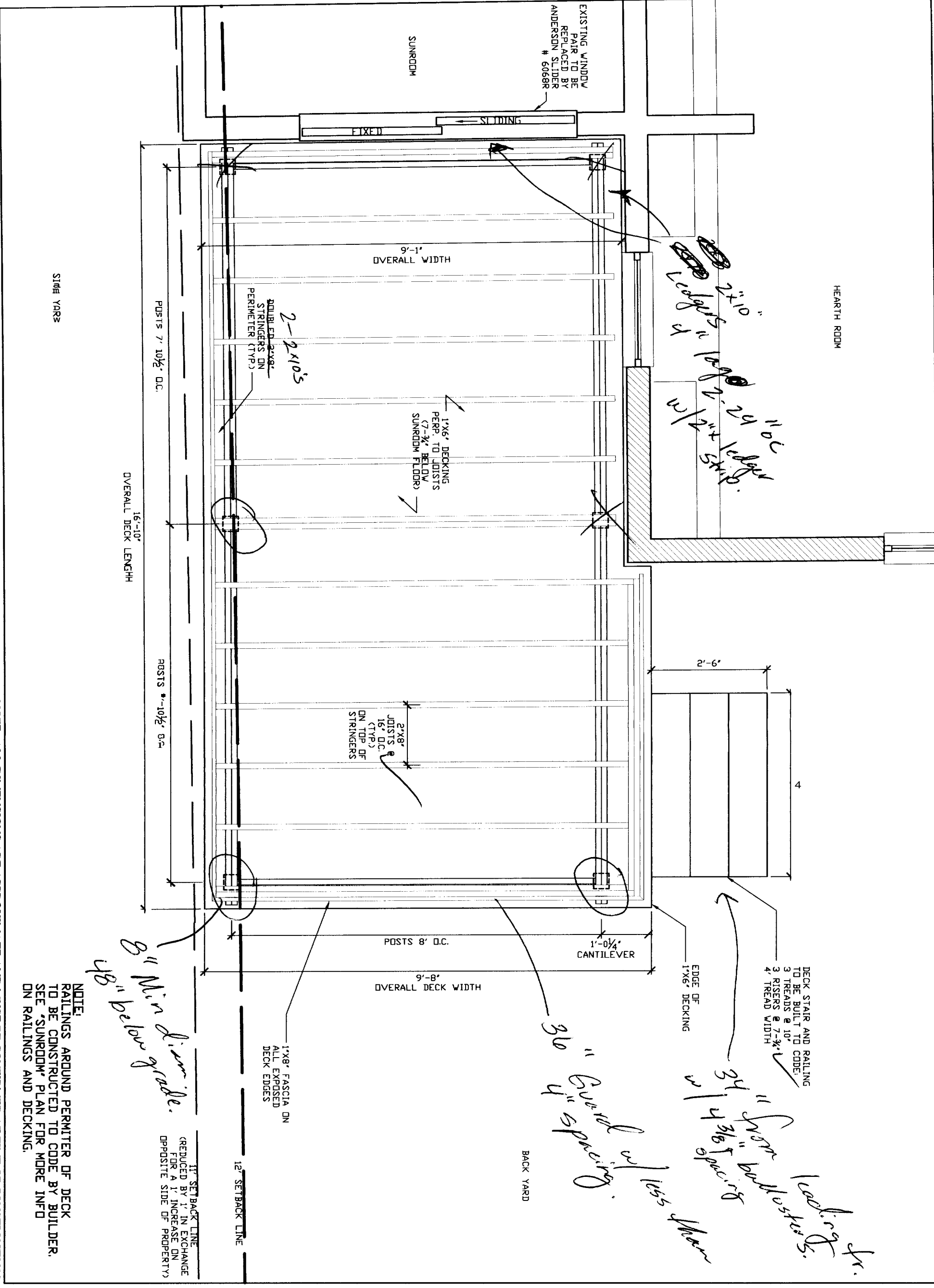
IN ACCEPTING THESE DRAWINGS THE CLIENT REALIZES THAT THEY ARE CONCEPTUAL ONLY. THEY PARTNER UNDERSTAND THAT INTERURBAN PLANNING & DESIGN IS NOT A LICENSED ARCHITECTURE OR ENGINEERING COMPANY. THE PARTNER UNDERSTANDS THAT ALL CONTRIBUTIONS IS DONE IN ACCORDANCE WITH APPLICABLE BUILDING CODES. THE CLIENT AND BUILDER WILL REVIEW THESE DRAWINGS PRIOR TO CONSTRUCTION TO VERIFY THAT THEY ARE SUITABLE FOR THE CLIENT'S NEEDS. IF ANY ERRORS ARE FOUND, INTERURBAN PLANNING & DESIGN WILL CORRECT THEM PRIOR TO START OF CONSTRUCTION.

**New South
Elevation**


DWG. 8 of 11

1 OCT. 04 1/4" = 1'-0"

DATE: 10/04/04 TIME: 10:00 AM DRAWN BY: JME CHECKED BY: JME SCALE: 1/4" = 1'-0"



NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION



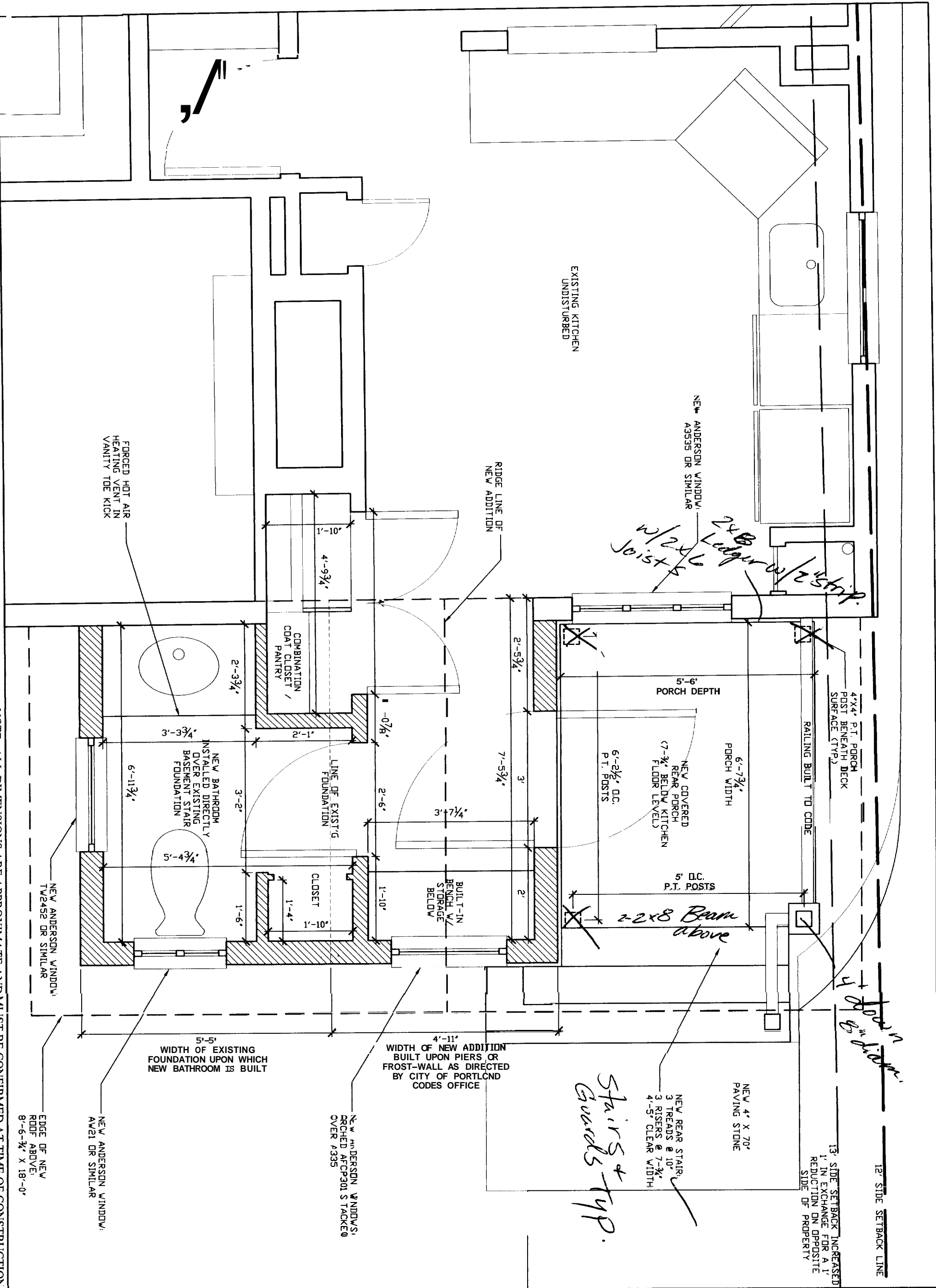
INTERURBAN
PLANNING & DESIGN, INC.
 430 Jervis de Koff Rd
 New Gloucester, Maine 04260
 207.276.6330

DROWN RESIDENCE
 677 Ocean Avenue, Portland, Maine
PERMITTING SET

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Rear Deck
Framing Plan
 DWG. 5 of 11

1 OCT. 04 1/2" = 1'-0"



NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION

INTERURBAN PLANNING & DESIGN, INC.
 45 Colburn de Kest
 New Gloucester, Maine 04260
 207.252.5550



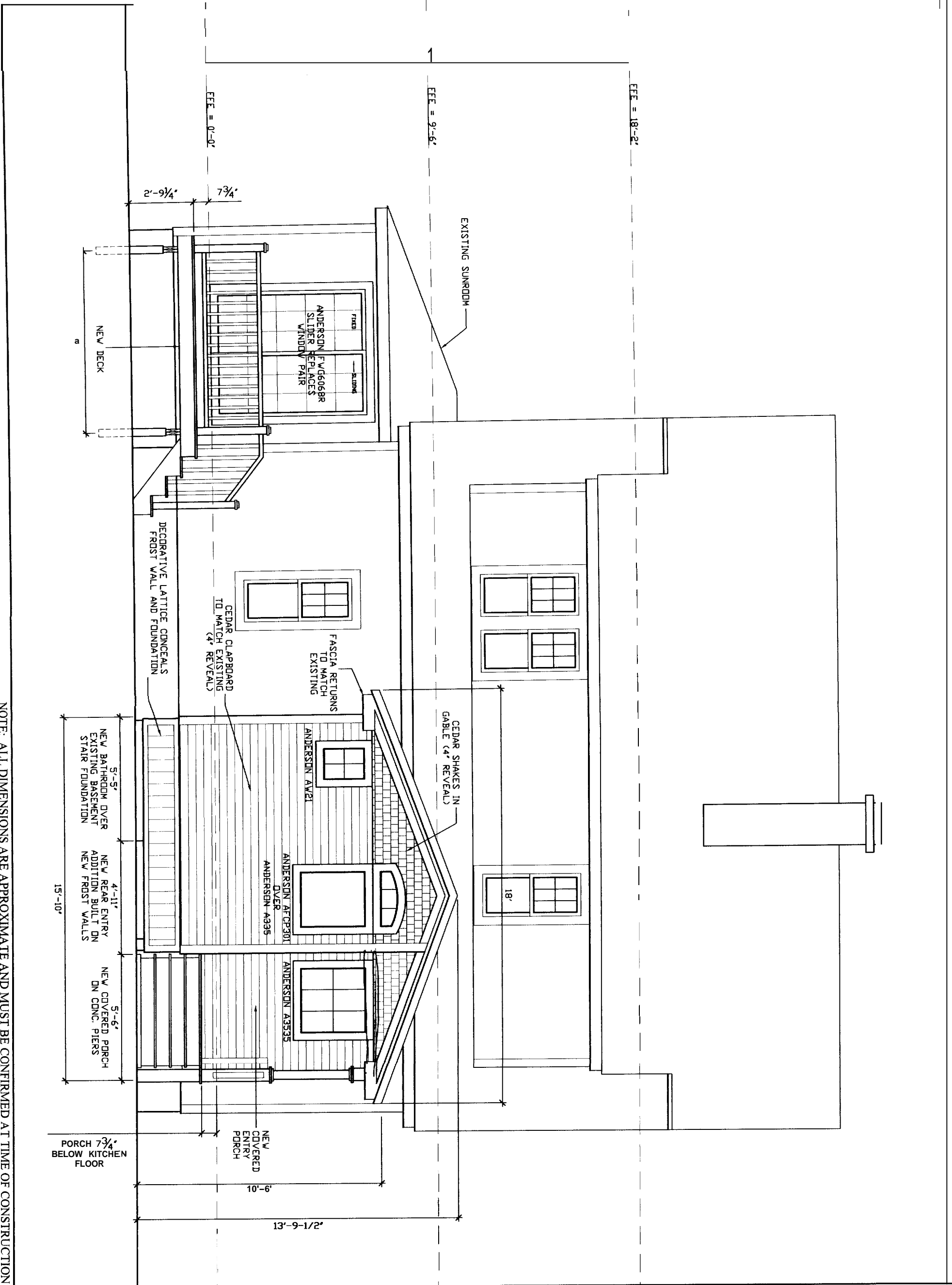
DROWN RESIDENCE
 677 Ocean Avenue, Portland, Maine
PERMITTING SET

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Renovation and Addition Plan

DWG. 4 of 11

1 OCT. 04 1/2" = 1'-0"



NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION



**INTERURBAN
PLANNING & DESIGN, INC.**
433 Interurban Road
New Gloucester, Maine 04260
207-526-5555

DROWN RESIDENCE

677 Ocean Avenue, Portland, Maine

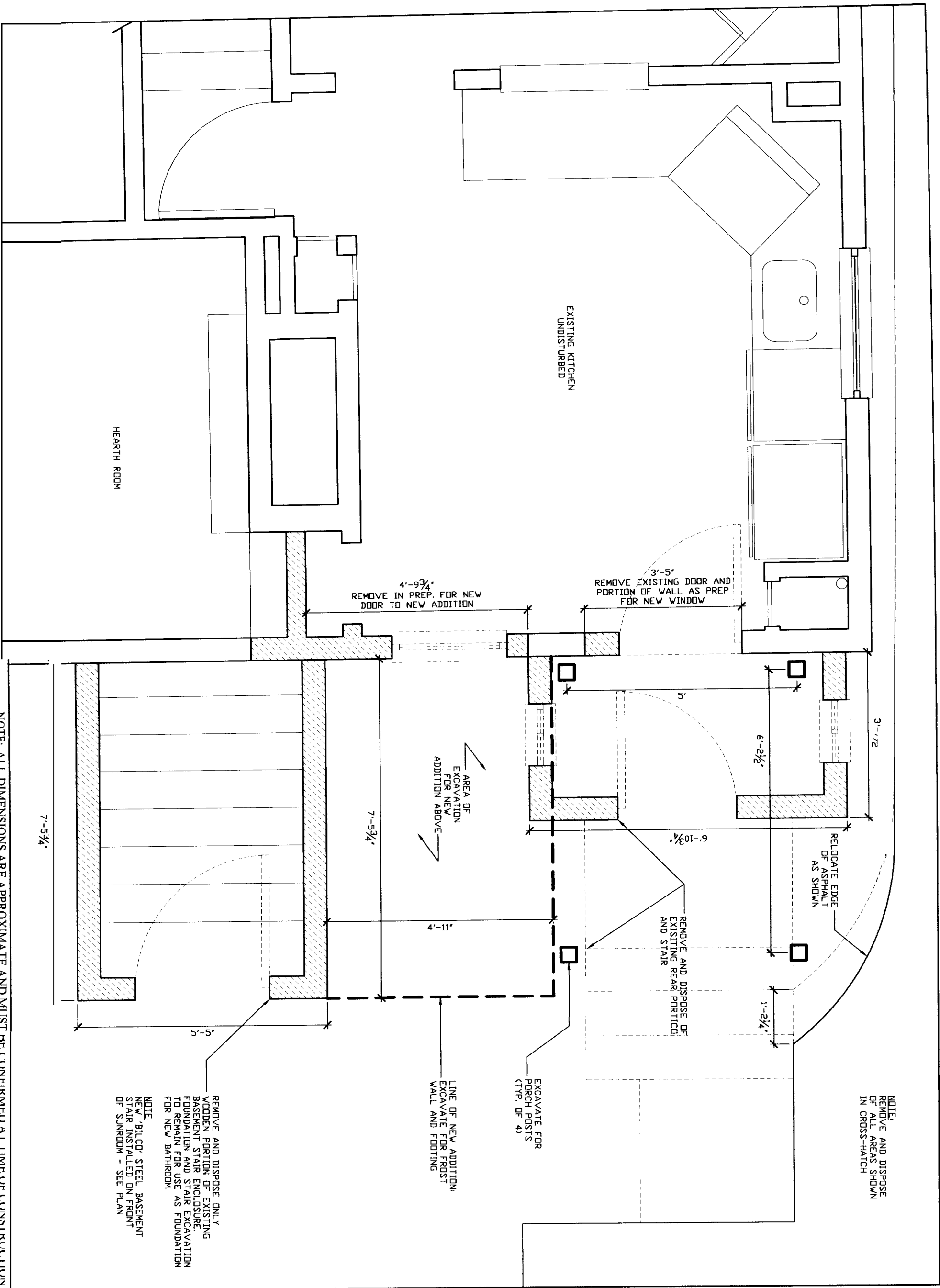
PERMITTING SET

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**New Rear
Elevation**

DWG. 7 of 11

1 OCT. 04 1/4" = 1'-0"



NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION



**INTERURBAN
PLANNING & DESIGN, INC.**
430 Main de Koff
New Gloucester, Maine 04220
207-226-8839

DROWN RESIDENCE
677 Ocean Avenue, Portland, Maine

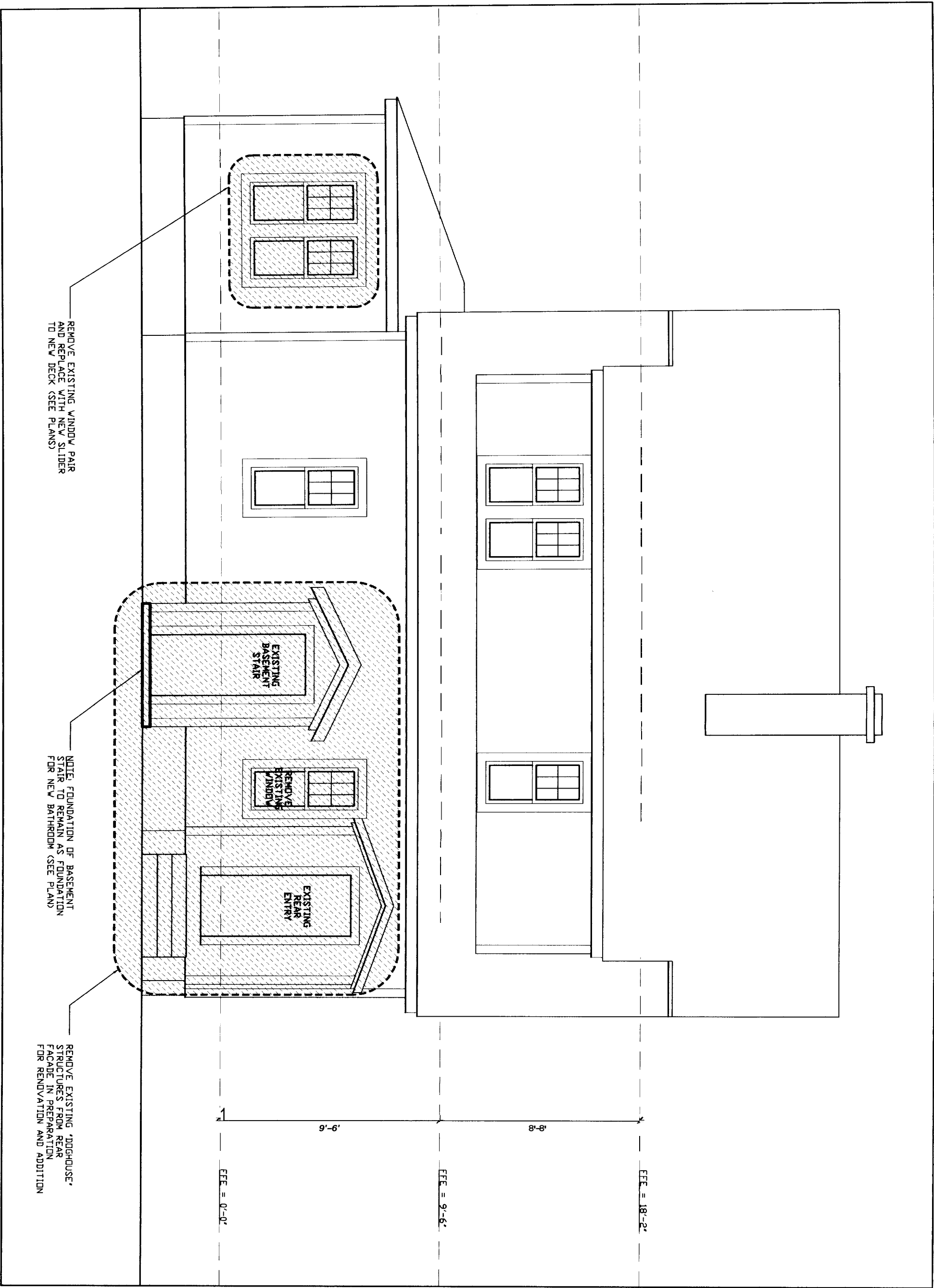
PERMITTING SET

IN ACCEPTING THESE DRAWINGS THE CLIENT REALIZES THAT THEY ARE CONCEPTUAL ONLY. THEY FURTHER UNDERSTAND THAT INTERURBAN PLANNING & DESIGN IS NOT A LICENSED ARCHITECTURE OR ENGINEERING COMPANY. THE FURTHER DEVELOPMENT OF ANY PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL CONSTRUCTION IS DONE IN ACCORDANCE WITH APPLICABLE BUILDING CODES. THE CLIENT AND BUILDER WILL REVIEW THESE DRAWINGS PRIOR TO CONSTRUCTION TO VERIFY THAT THEY ARE SUITABLE FOR THE CLIENT'S NEEDS. IF ANY ERRORS ARE FOUND, INTERURBAN PLANNING & DESIGN WILL CORRECT THEM PRIOR TO START OF CONSTRUCTION.

**Demolition &
Excavation Plan**

DWG. 2 of 11

100T.04 1/2" = 1'-0"



REMOVE EXISTING WINDOW PAIR AND REPLACE WITH NEW SLIDER TO NEW DECK (SEE PLANS)

NOTE: FOUNDATION OF BASEMENT STAIR TO REMAIN AS FOUNDATION FOR NEW BATHROOM (SEE PLAN)

REMOVE EXISTING 'DOGHOUSE' STRUCTURES FROM REAR FACADE IN PREPARATION FOR RENOVATION AND ADDITION

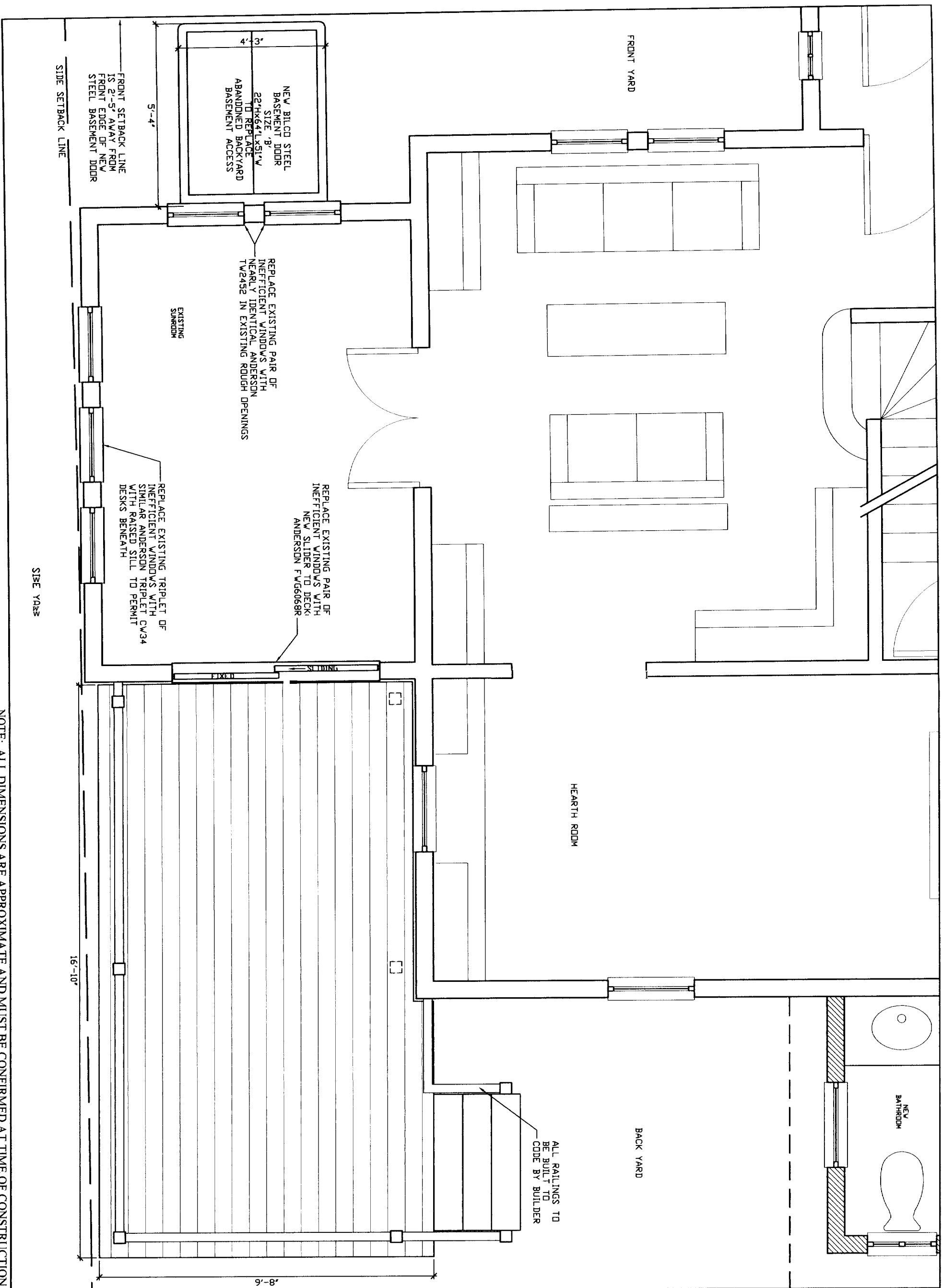
NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION

**INTERURBAN
PLANNING & DESIGN INC.**
433 Spring Ave. 3rd Fl.
New Gloucester, Maine 04263
207-926-9000

DROWN RESIDENCE
677 Ocean Avenue, Portland, Maine
PERMITTING SET

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Elevation Demolition	
DWG. 3 of 11	
1 OCT. 04	1/4" = 1'-0"



NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION

**INTERURBAN
PLANNING & DESIGN, INC.**
433 Howard Road
New Gloucester, Maine 04260
207-228-5330

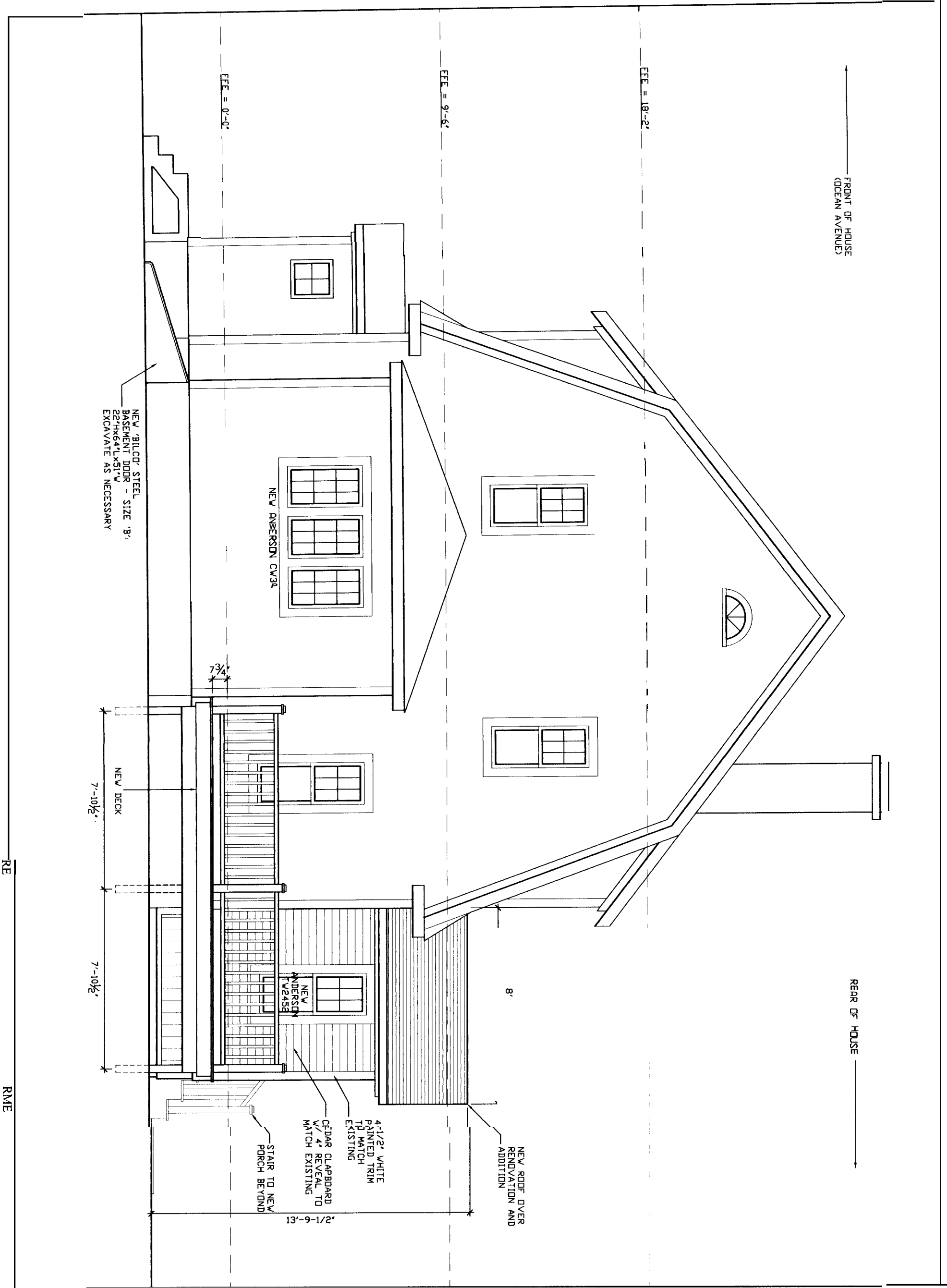
DROWN RESIDENCE
677 Ocean Avenue, Portland, Maine
PERMITTING SET

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**Sunroom Window
Replacement Plan**

DWG. 6 of 11

1 OCT. 04 3/8" = 1'-0"



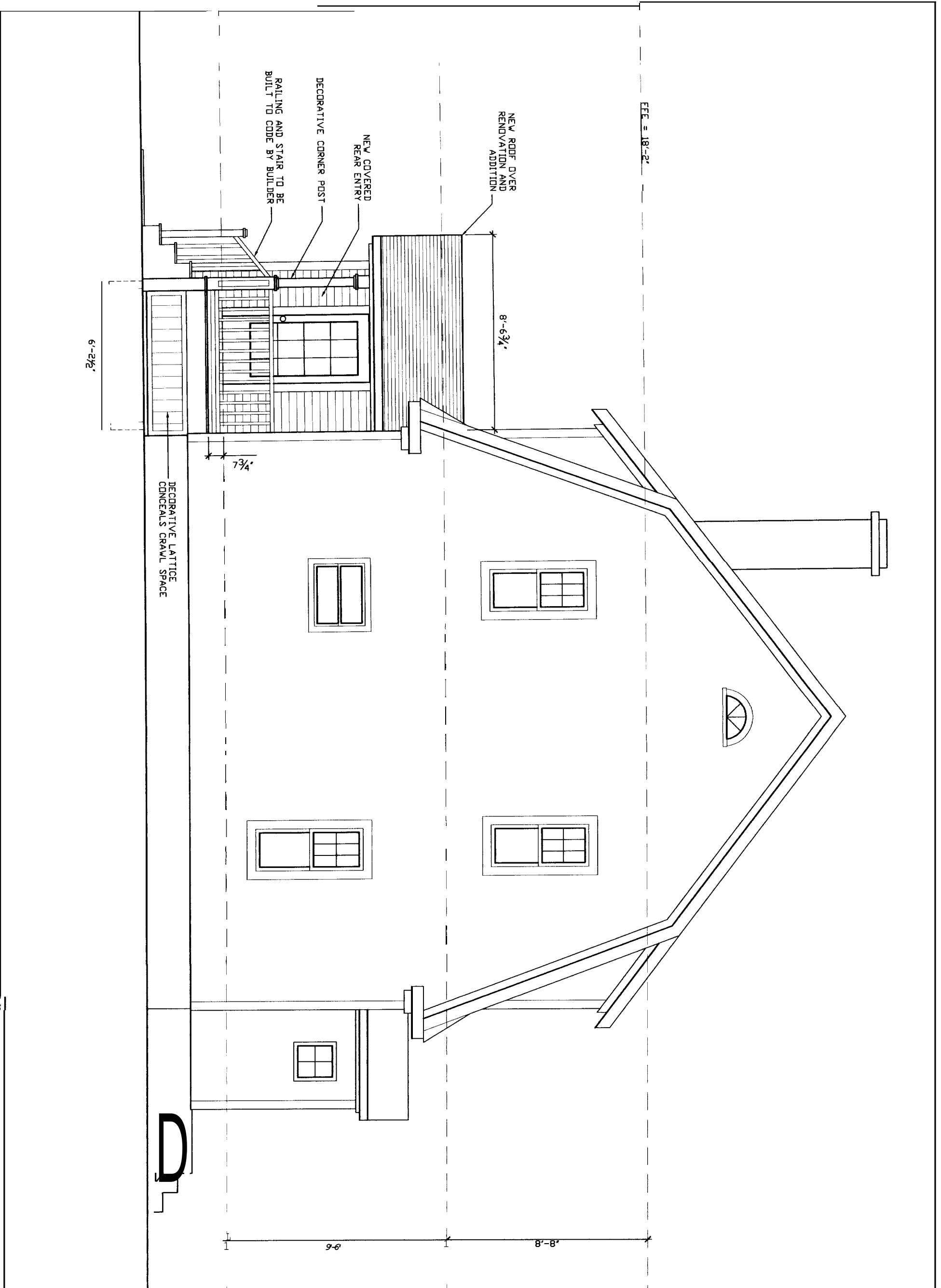

**INTERURBAN
PLANNING & DESIGN, INC.**
 433 Johnson & Ford
 New Gloucester, Maine 04260
 207-226-6300

DROWN RESIDENCE
 677 Ocean Avenue, Portland, Maine

PERMITTING SET

IN ACCEPTING THESE DRAWINGS THE CLIENT
 REALIZES THAT THEY ARE CONCEPTUAL ONLY.
 INTERURBAN PLANNING & DESIGN IS NOT A
 LICENSED ARCHITECTURAL FIRM AND IS NOT A
 COMPANY. THEY FURTHER UNDERSTAND THAT
 IT IS THE BUILDER'S OR GENERAL
 CONTRACTOR'S RESPONSIBILITY TO SEE THAT
 ALL CONSTRUCTION IS DONE IN ACCORDANCE
 WITH APPLICABLE BUILDING CODES. THE CLIENT
 AND BUILDER WILL REVIEW THESE DRAWINGS
 PRIOR TO CONSTRUCTION TO VERIFY THAT
 THEY ARE SUITABLE FOR THE CLIENT'S NEEDS.
 IF ANY ERRORS ARE FOUND, INTERURBAN
 PLANNING & DESIGN WILL CORRECT THEM
 PRIOR TO START OF CONSTRUCTION.

**New South
Elevation**
 DWG. 8 of 11
 1 OCT. 04 1/4" = 1'-0"



**INTERURBAN
PLANNING & DESIGN, INC**
433 Jervis St. Road
New Gloucester, Maine 04253
207-226-5530

DROWN RESIDENCE

677 Ocean Avenue, Portland, Maine

PERMITTING SET

IN ACCEPTING THESE DRAWINGS THE CLIENT REALIZES THAT THEY ARE CONCEPTUAL ONLY. THEY FURTHER UNDERSTAND THAT INTERURBAN PLANNING & DESIGN IS NOT A LICENSED ARCHITECTURE OR ENGINEERING COMPANY. THEY FURTHER UNDERSTAND THAT CONSULTING IS THE BUILDER'S OR GENERAL CONTRACTOR'S RESPONSIBILITY TO SEE THAT ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH APPLICABLE BUILDING CODES. THE CLIENT AND BUILDER WILL REVIEW THESE DRAWINGS PRIOR TO CONSTRUCTION TO VERIFY THAT THEY ARE SUITABLE FOR THE CLIENT'S NEEDS. IF ANY ERRORS ARE FOUND, INTERURBAN PLANNING & DESIGN WILL CORRECT THEM PRIOR TO START OF CONSTRUCTION.

**New North
Elevation**

DWG. 9 of 11

1 OCT. 04 1/4" = 1'-0"

DROWN RESIDENCE

677 Ocean Avenue, Portland, Maine

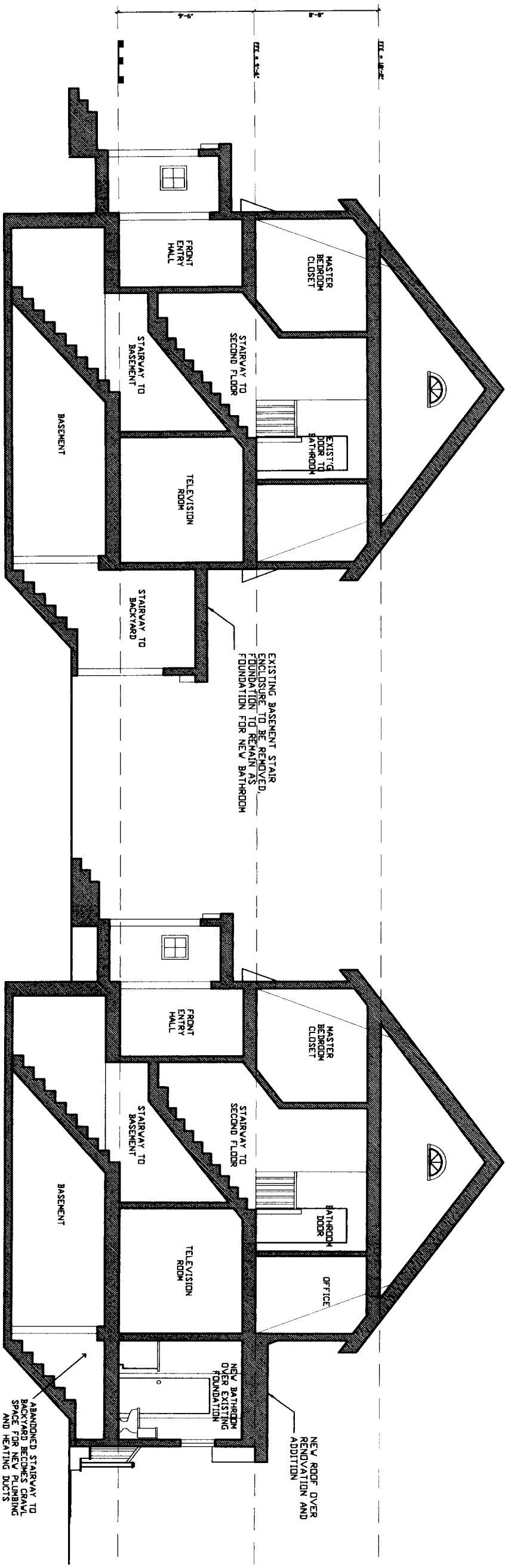
PERMITTING SET

IN ACCEPTING THESE DRAWINGS THE CLIENT REAFFIRMS THAT THEY ARE CONCEPTUAL ONLY, THEY FURTHER UNDERSTAND THAT INTERURBAN PLANNING & DESIGN IS NOT A LICENSED ARCHITECTURE OR ENGINEERING COMPANY. IT IS THE BUILDERS OR GENERAL CONTRACTORS RESPONSIBILITY TO SEE THAT ALL CONSTRUCTION IS DONE IN ACCORDANCE WITH APPLICABLE BUILDING CODES. THE CLIENT AND BUILDER WILL REVIEW THESE DRAWINGS PRIOR TO CONSTRUCTION TO VERIFY THAT THEY ARE SUITABLE FOR THE CLIENT'S NEEDS. IF ANY ERRORS ARE FOUND, INTERURBAN PLANNING & DESIGN WILL CORRECT THEM PRIOR TO START OF CONSTRUCTION.

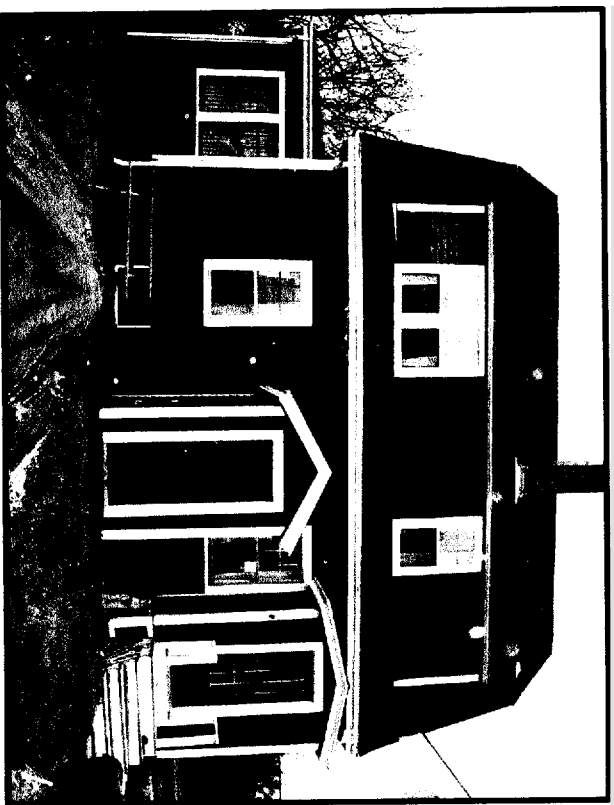
Sections:	
Before & After	
DWG. 10 of 11	
1 OCT. 04	1/8" = 1'-0"

BEFORE RENOVATION / ADDITION

AFTER RENOVATION / ADDITION



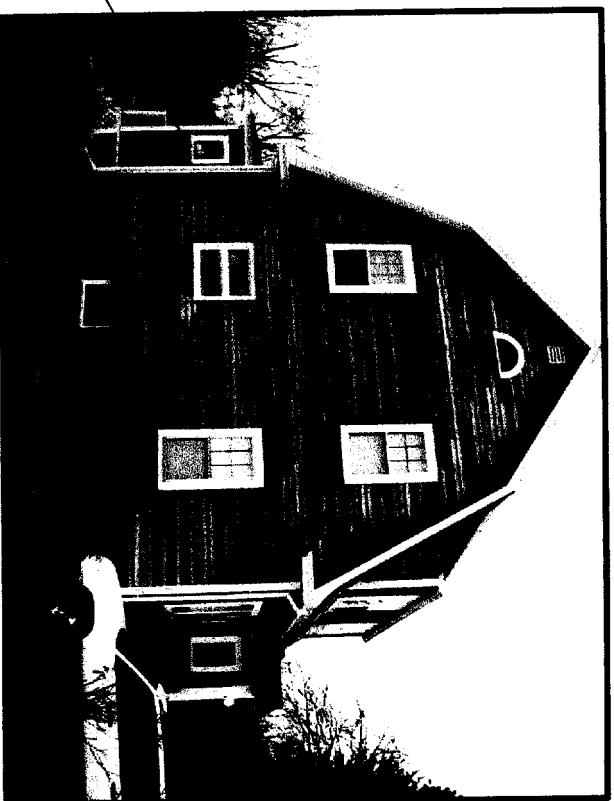
NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION



REAR ELEVATION



REAR OBLIQUE VIEW



NORTH ELEVATION

AREA OF
NEW REAR ENTRY



SOUTH ELEVATION

REPLACE WINDOWS
WITH NEW SLIDER
TO NEW DECK

AREA OF NEW DECK

DROWN RESIDENCE

677 Ocean Avenue, Portland, Maine

PERMITTING SET



**INTERURBAN
PLANNING & DESIGN, INC.**
433 Johnson de Koven
New Gloucester, Maine 04260
207-926-5555

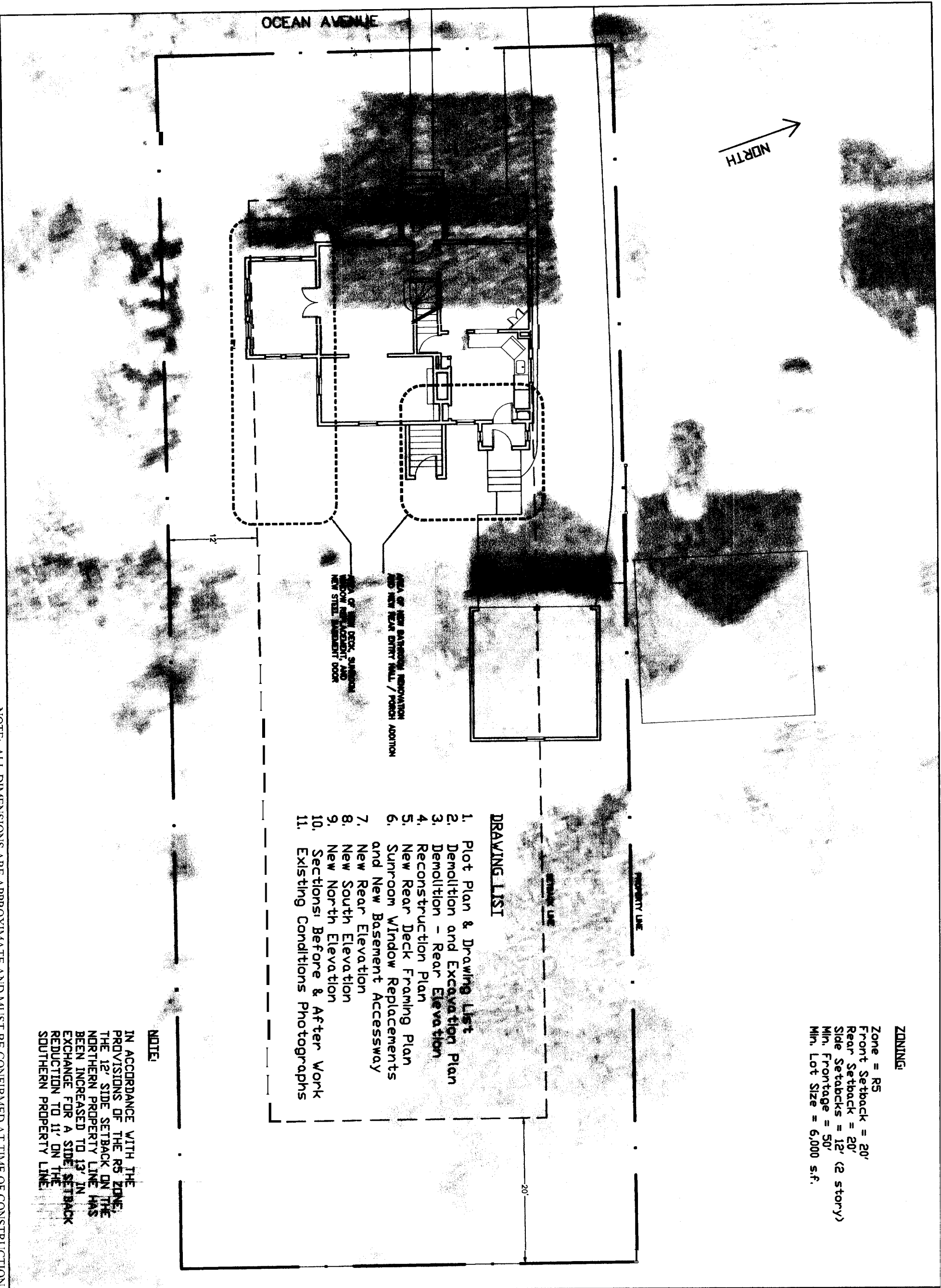
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**Existing
Conditions
Photographs**

DWG. 11 of 11

1 OCT. 04 N.T.S.

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION



OCEAN AVENUE

AREA OF NEW DECK, SUNROOM
WINDOW REPLACEMENT AND
NEW STEEL-BASEMENT DOOR

AREA OF NEW BATHROOM RENOVATION
AND NEW REAR ENTRY HALL / PORCH ADDITION

DRAWING LIST

1. Plot Plan & Drawing List
2. Demolition and Excavation Plan
3. Reconstruction - Rear Elevation
4. Reconstruction Plan
5. New Rear Deck Framing Plan
6. Sunroom Window Replacements
and New Basement Accessway
7. New Rear Elevation
8. New South Elevation
9. New North Elevation
10. Sections: Before & After Work
11. Existing Conditions Photographs

ZONING:
 Zone = R5
 Front Setback = 20'
 Rear Setback = 20'
 Side Setbacks = 12' (2 story)
 Min. Frontage = 50'
 Min. Lot Size = 6,000 s.f.

NOTE:

IN ACCORDANCE WITH THE PROVISIONS OF THE R5 ZONE, THE 12' SIDE SETBACK ON THE NORTHERN PROPERTY LINE HAS BEEN INCREASED TO 13' IN EXCHANGE FOR A SIDE SETBACK REDUCTION TO 11' ON THE SOUTHERN PROPERTY LINE.

NOTE: ALL DIMENSIONS ARE APPROXIMATE AND MUST BE CONFIRMED AT TIME OF CONSTRUCTION



**INTERURBAN
 PLANNING & DESIGN, INC.**
 453 Jordan Rd.
 New Gloucester, Maine 04260
 207-228-5330

DROWN RESIDENCE

677 Ocean Avenue, Portland, Maine

PERMITTING SET

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**Plot Plan &
 Drawing List**

DWG. 1 of 11

1 OCT. 04 1" = 150'