

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Permit Number: 041485

Please Read
Application And
Notes, If Any,
Attached

This is to certify that Drown Gretchen S &/Nate S lock
has permission to Single family home w/new 1 bath, deck, hall & por -window replcd
AT 677 Ocean Ave 169 E002001

provided that the person or persons firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission proceed before this building or part thereof is started or otherwise closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
10/22/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1485	Issue Date:	CBL: 169 E002001
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Location of Construction: 677 Ocean Ave	Owner Name: Drown Gretchen S &	Owner Address: 677 Ocean Ave	Phone: 871-1393
Business Name:	Contractor Name: Nate Schrock	Contractor Address: 94 Wall Street Portland	Phone: 2077978845
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: Single family home	Proposed Use: Single family home w/new 1/2 bath, deck, rear entry hall & porch-window replcd	Permit Fee: \$183.00	Cost of Work: \$18,000.00	CEO District: 4
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: 5B TRC 2003	

Proposed Project Description: Single family home w/new 1/2 bath, deck, rear entry hall & porch-window	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: dmm	Date Applied For: 10/04/2004	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 10/22/04	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 10/22/04
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1485	Date Applied For: 1010412004	CBL: 169 E002001
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Location of Construction: 677 Ocean Ave	Owner Name: Drown Gretchen S &	Owner Address: 677 Ocean Ave	Phone: () 871-1393
Business Name:	Contractor Name: Nate Schrock	Contractor Address: 94 Wall Street Portland	Phone: (207) 797-8845
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	
Proposed Use: Single family home w/new 112 bath, deck, rear entry hall & porch-window replcd		Proposed Project Description: Single family home w/new 112 bath, deck, rear entry hall & porch-window replcd	

Dept: Zoning **Status:** Approved **Reviewer:** Tammy Munson **Approval Date:** 10/22/2004
Note: **Ok to Issue:**

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 10/22/2004
Note: **Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as **agreed upon**

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot **go** on to the next phase, **REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

N/A **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

[Signature]
Signature of Applicant/Designee

Date 10/22/04

signature of Inspections Official

Date

CBL: 169-E-002

Building Permit #: 04-1485

Joists - 2x8 @ 16" oc

~~2x8~~ 2x6 @ 12" o.d.o.k.
Span

Studs 2x6 @ 16" ✓

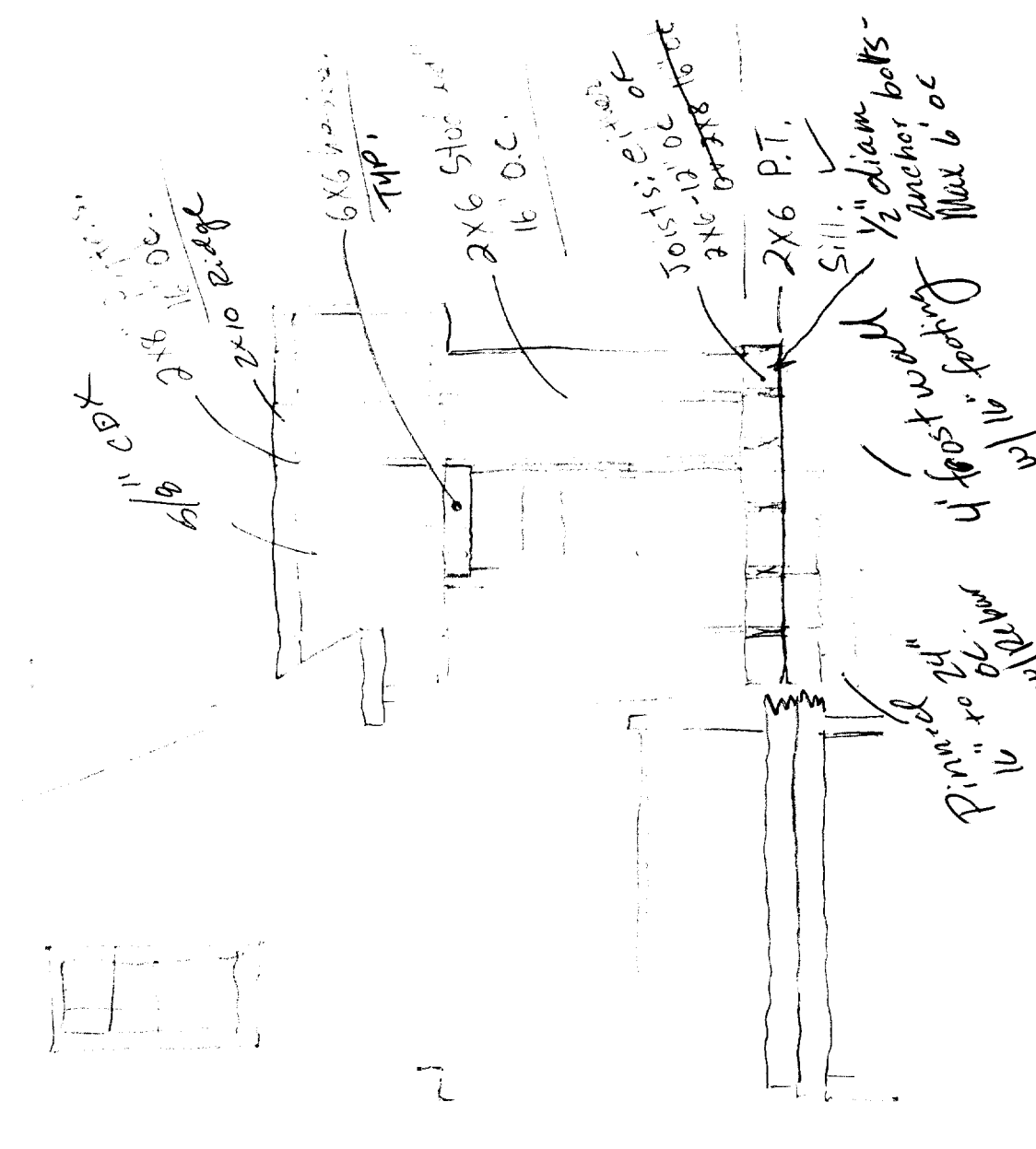
Header 5/2 x 6 ✓

Roof = 2x8 16" oc ✓

9' span
Sub feet 3" Advanced ✓

677 ea. Ave.
New South T.M.
Framing plan ✓ Add on

OCT 2 - 2004



OCT 1

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

OCEAN		
Total Square Footage of Proposed Structure ADDITION: 37.5 SF DECK: 160 SF		Square Footage of Lot 6,000 SF.
Tax Assessor's Chart, Block & Lot Chart# 169 Block# E Lot# 2	Owner: STEPHEN + GRETCHEN DROWN	Telephone: 871-1393
Lessee/Buyer's Name (if Applicable) N/A	Applicant name, address & telephone: ANDY FILLMORE INTERURBAN PLANNING + DESIGN 400 INTERVALE RD. NEW GLOUCESTER 926-3939	cost Of Work: \$ 18,000 Fee: \$ 183.00

If the location is currently vacant, what was prior use: N/A

Approximately how long has it been vacant: N/A

Proposed use: ① RENOVATE EXISTING SPACE TO ACCOMMODATE NEW 1/2 BATH

Project description: ② ADDITION FOR NEW REAR ENTRY HALL + PORCH

③ NEW REAR DECK

④ SUNROOM WINDOW REPLACEMENT

Contractor's name, address & telephone: NATE SHROCK, 94 WALL ST. PORTLAND
hm. 797-8845
415-7283

Who should we contact when the permit is ready: NATE SHROCK
94 WALL ST.
PORTLAND, ME. 04103

Mailing address:

We will contact you by phone when the permit is ready. You must come in and pick up the permit and view the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up.

PHONE: NATE: 415-7283

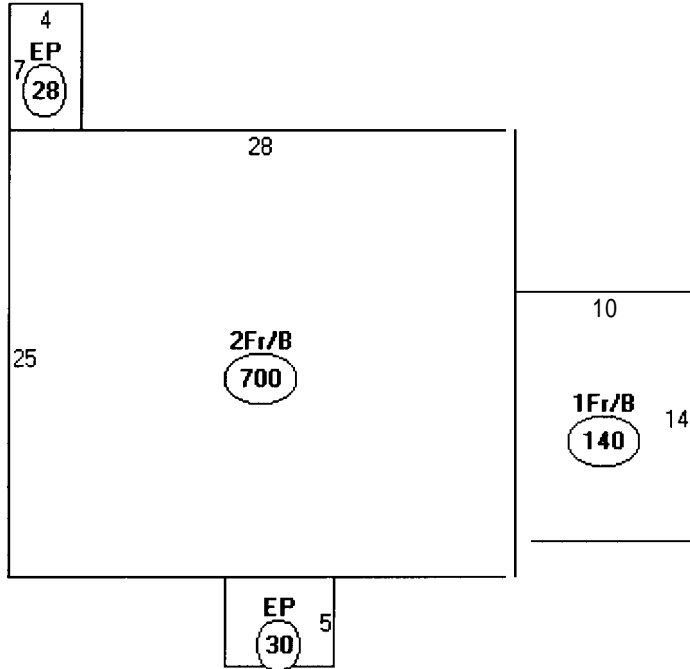
IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that We owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent, I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: P.A. FILLMORE, PER DROWN FAMILY Date: OCT. 1 / 04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Q# 513



Descriptor/Area

- A: 2Fr/B
700 sqft
- B: EP
28 sqft
- C: 1Fr/B
140 sqft
- D: EP
30 sqft

*R-S
Front + Rear -
20'*

*1 story 8'
Lot cov 40%*

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	169 E002001
Location	b77 OCEAN AVE
Land Use	SINGLE FAMILY
Owner Address	DROWN GRETCHEN S 8 STEVEN A JTS b77 OCEAN AVE PORTLAND ME 011103
Book/Page	12081/149
Legal	169- E-2-26 OCEAN AVE b75-b77 10290 SF

Valuation Information

Land	Building	Total
\$34,340	\$73400	\$107,840

Property Information

Year Built	Style	Story Height	sq. Ft.	Total Acres	
1926	Gambrel	2	1540	0.236	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1		7	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
GARAGE-WD/CB	1	1978	17X18	C	A

Sales Information

Date	Type	Price	Book/Page
06/25/1995	LAND + BLDING	\$115,500	12081-149
09/01/1994	LAND + BLDING	\$109,000	11643-232

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

Click here to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at **874-8490** or e-mailed.

New Search!



