

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

**BUILDING INSPECTION
PERMIT**

PERMIT ISSUED
Permit Number: 100463
MAY 11 2010
CITY OF PORTLAND

This is to certify that LAVIGNE SUSAN /Chase, Philip
has permission to amend permit# 100285 extend existing deck, bulkhead now "doghouse" not bilco, shorter
AT 22 FERNALD ST CDL 168 J005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

James Burke 5/10/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|------------------------------|--|----------------------------|
| Permit No: 10-0463 | Date Applied For: 05/04/2010 | CBL: 168 J005001 |
|------------------------------|--|----------------------------|

| | | | |
|---|--|--|--------------------------------|
| Location of Construction: 22 FERNALD ST | Owner Name: LAVIGNE SUSAN | Owner Address: 22 FERNALD ST | Phone: |
| Business Name: | Contractor Name: Chase, Philip | Contractor Address: 126 Blackstrap Road Falmouth | Phone (207) 797-5109 |
| Lessee/Buyer's Name | Phone: | Permit Type: Amendment to Duplex | |

| | |
|---|--|
| Proposed Use: Duplex - amend permit# 100285 extend existing deck, bulkhead now "doghouse"not bilco, shorter | Proposed Project Description: amend permit# 100285 extend existing deck, bulkhead now "doghouse"not bilco, shorter |
|---|--|

| | | | |
|--|---|----------------------------------|----------------------------------|
| Dept: Zoning | Status: Approved with Conditions | Reviewer: Marge Schmuckal | Approval Date: 05/07/2010 |
| Note: | Ok to Issue: <input checked="" type="checkbox"/> | | |
| <ol style="list-style-type: none"> 1) The property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition, it may be required to be located by a surveyor. 2) Separate permits shall be required for future decks, sheds, pools, and/or garages. 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals. 4) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval. 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. | | | |
| Dept: Building | Status: Approved with Conditions | Reviewer: Jeanine Bourke | Approval Date: 05/10/2010 |
| Note: | Ok to Issue: <input checked="" type="checkbox"/> | | |
| 1) All previous conditions apply | | | |

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

| | | |
|-----------------------|-------------|---------------------|
| Permit No: 10-0463 | Issue Date: | CBL: 168 J005001 |
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| Location of Construction: 22 FERNALD ST | Owner Name: LAVIGNE SUSAN | Owner Address: 22 FERNALD ST | Phone: |
| Business Name: | Contractor Name: Chase, Philip | Contractor Address: 126 Blackstrap Road Falmouth | Phone: 2077975109 |
| Lessee/Buyer's Name | Phone: | Permit Type: Amendment to Duplex | Zone: <i>R-2</i> |

| | | | | | |
|---------------------|---|------------------------|--------------------------|--------------------|---------------|
| Past Use: Duplex | Proposed Use: Duplex - amend permit# 100285 extend existing deck, bulkhead now "doghouse" not bilco, shorter | Permit Fee: \$30.00 | Cost of Work: \$30.00 | CEO District: 4 | <i>11,500</i> |
|---------------------|---|------------------------|--------------------------|--------------------|---------------|

| | |
|--|---|
| FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: <i>R3</i> Type <i>SB</i> <i>IRC-2003</i> |
| Signature: | Signature: <i>JMB 5/10/10</i> |

Proposed Project Description:
amend permit# 100285 extend existing deck, bulkhead now "doghouse" not bilco, shorter

| | | |
|---|-----------------------------------|--|
| PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) | | |
| Action: | <input type="checkbox"/> Approved | <input type="checkbox"/> Approved w/Conditions |
| | <input type="checkbox"/> Denied | |
| Signature: | Date: | |

| | | | | |
|-----------------------------|---------------------------------|------------------------|--|--|
| Permit Taken By: Idobson | Date Applied For: 05/04/2010 | Zoning Approval | | |
|-----------------------------|---------------------------------|------------------------|--|--|

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

| | | |
|---|---|--|
| Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/7/10</i> | Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: | Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: |
|---|---|--|



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |



General Building Permit Application

- AMENDED -

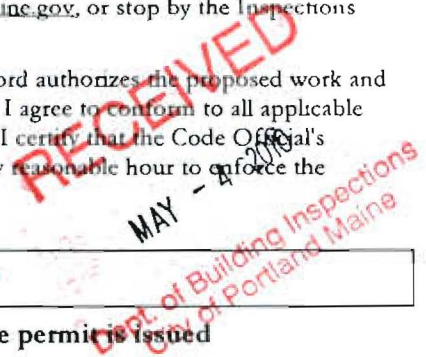
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

| | | |
|---|---|---|
| Location/Address of Construction: <u>22 FERNALD STREET PORTLAND</u> | | |
| Total Square Footage of Proposed Structure/Area <u>ORIG 11,500</u> 11,500 + <u>94 SF MORE THAN VAPP.</u> | Square Footage of Lot <u>11,500</u> | Number of Stories <u>2</u> |
| Tax Assessor's Chart, Block & Lot Chart# <u>168</u> Block# <u>J</u> Lot# <u>005</u> | Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>SUSAN LAVIGNE</u> Address <u>22 FERNALD ST.</u> City, State & Zip <u>PORTLAND ME 04103</u> | Telephone: h) <u>775.0626</u> w) <u>773.6471</u> c) <u>807.4408</u> |
| Lessee/DBA (If Applicable) <u>-</u> | Owner (if different from Applicant) Name <u>SAME</u> Address <u>-</u> City, State & Zip <u>-</u> | Cost Of <u>NO CHANGE</u> Work: \$ <u>FROM ORIG</u> <u>→ \$67,000</u> C of O Fee: \$ <u>-</u> Total Fee: \$ <u>NO CHANGE</u> |
| Current legal use (i.e. single family) <u>two-family</u> Number of Residential Units <u>2</u> If vacant, what was the previous use? <u>-</u> Proposed Specific use: <u>no change</u> Is property part of a subdivision? <u>no</u> If yes, please name <u>-</u> Project description: <u>replace old chicken barn with 16 x 26'6" addition. Amended May 4th: 1) extend existing deck 2) Bulkhead now "doghouse," not Bilco, shorter.</u> | | |
| Contractor's name: <u>Phil Chase</u> | | |
| Address: <u>Blackstrap Road, Falmouth</u> | | |
| City, State & Zip <u>Falmouth ME 04105</u> - <u>MAIL</u> | | Telephone: <u>838.2389</u> |
| Who should we contact when the permit is ready: <u>Eliz. Newman</u> | | Telephone: <u>615.6564 c)</u> |
| Mailing address: <u>32 Sawyer Street Portland ME 04103</u> | | <u>899-1845 w)</u> |

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.



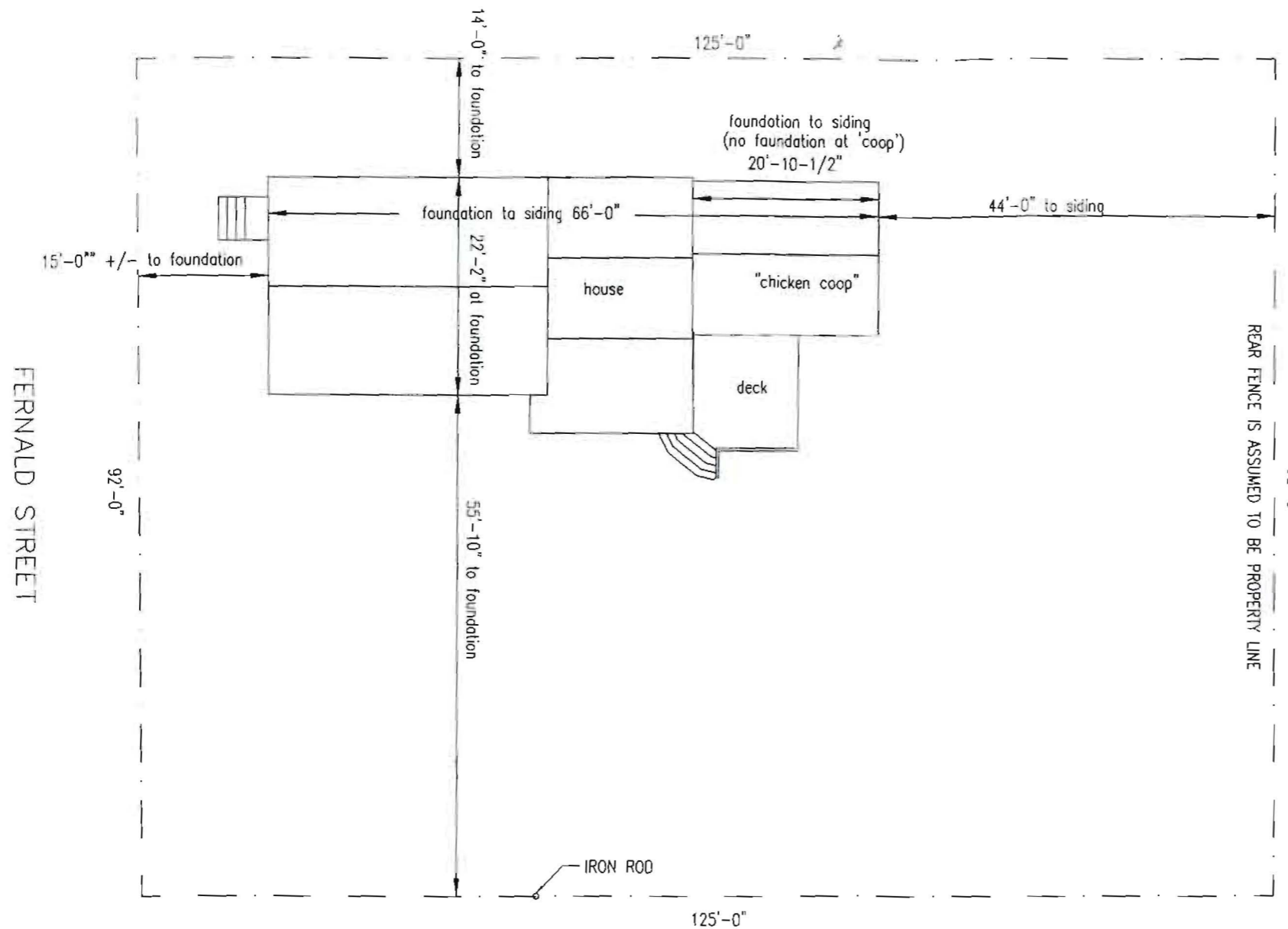
Signature: M. Newman Date: 5.4.2010

This is not a permit; you may not commence ANY work until the permit is issued

May 4, 2010

22 Fernald Street Schematic door/window schedule for construction--

| DOOR SCHEDULE | | | | |
|---|--|--|---|--|
| Door # | Location | Size | Type | Notes |
| 1 | Entry | 34" x 6'-8" | 3x5 French entry door-entry-with two 12" sidelights. Grille type? | Therma-Tru Smooth Star Clear glass with grilles U=.26 |
| 2 | Family Room | 32" x 6'-8" | 20 minute paneled door-rated for one hour wall | Coordinate final model with architect before ordering |
| 3 | Bathroom | 28" x 6'-8" | Four-panel solid core wood door | |
| 4. | Basement entry | 36" x 6'-8" | Insulated door w/gasket. Glazed. | Coordinate M.O. and clearance above |
| SCHEMATIC WINDOW SCHEDULE All windows to have grilles between the glass | | | | |
| Win. # | Location | Size | Type | Notes |
| 1 4 2 6 3 | Family Room | 25-1/2 x 56-1/2 | 6/6 Double hung | Anderson 200 narrowline series . Have screens, need flanges. Choose 7 out of 8. ALREADY PURCHASED BY OWNER |
| 5 | Family Room | 35-1/2 x 56-1/2+/- Meet or exceed egress opening requirement 5.7 SF | 8/8 Double hung Tilt/wash Low-E glass | Anderson 200 series U=.30 or less-qualify for federal rebate VIF-match height of salvaged windows. White interior and exterior. Match sash lock color of other windows |
| 7 | Mud Room | Same as fam. room | 2/2 DH | BOUGHT BY OWNER |
| 8 | Bath/Laundry | Same as fam. room | 2/2 DH | BOUGHT BY OWNER |
| 9 10 | Stair-Second Fl. East Second floor pantry | 28" W x 30" H-VIF before order | 4/4 DH \$168 ea. | Hancock classic all vinyl, U is .30 or less. #9=New window to fit existing RO width—raise sill height. |
| B1 B2 B3 | "Daylight Basement" | 28" W x 30" H | 4/4 DH For wood framed wall \$168 ea. | Hancock Classic all vinyl-U=.30 or less |



22 FERNALD STREET
 EXISTING SITE PLAN 1/16"=1'-0"

LIST OF DRAWINGS

- COVER SHEET/SITE PLAN
- EXISTING FIRST FLOOR PLAN AND ELEVATIONS
- FIRST FLOOR DEMOLITION PLAN
- BASEMENT AND FIRST FLOOR FRAMING PLAN
- FIRST FLOOR PLAN
- ROOF PLAN
- SOUTH ELEVATION
- EAST ELEVATION
- NORTH ELEVATION

ZONING NOTES

ZONING DISTRICT IS R3.

LOT AREA: 11,500 SF
 ALLOWABLE LOT COVERAGE: 4025 SF (35% OF 11,500)
 EXISTING LOT COVERAGE: 1532 SF
 PROPOSED LOT COVERAGE: 1764 SF

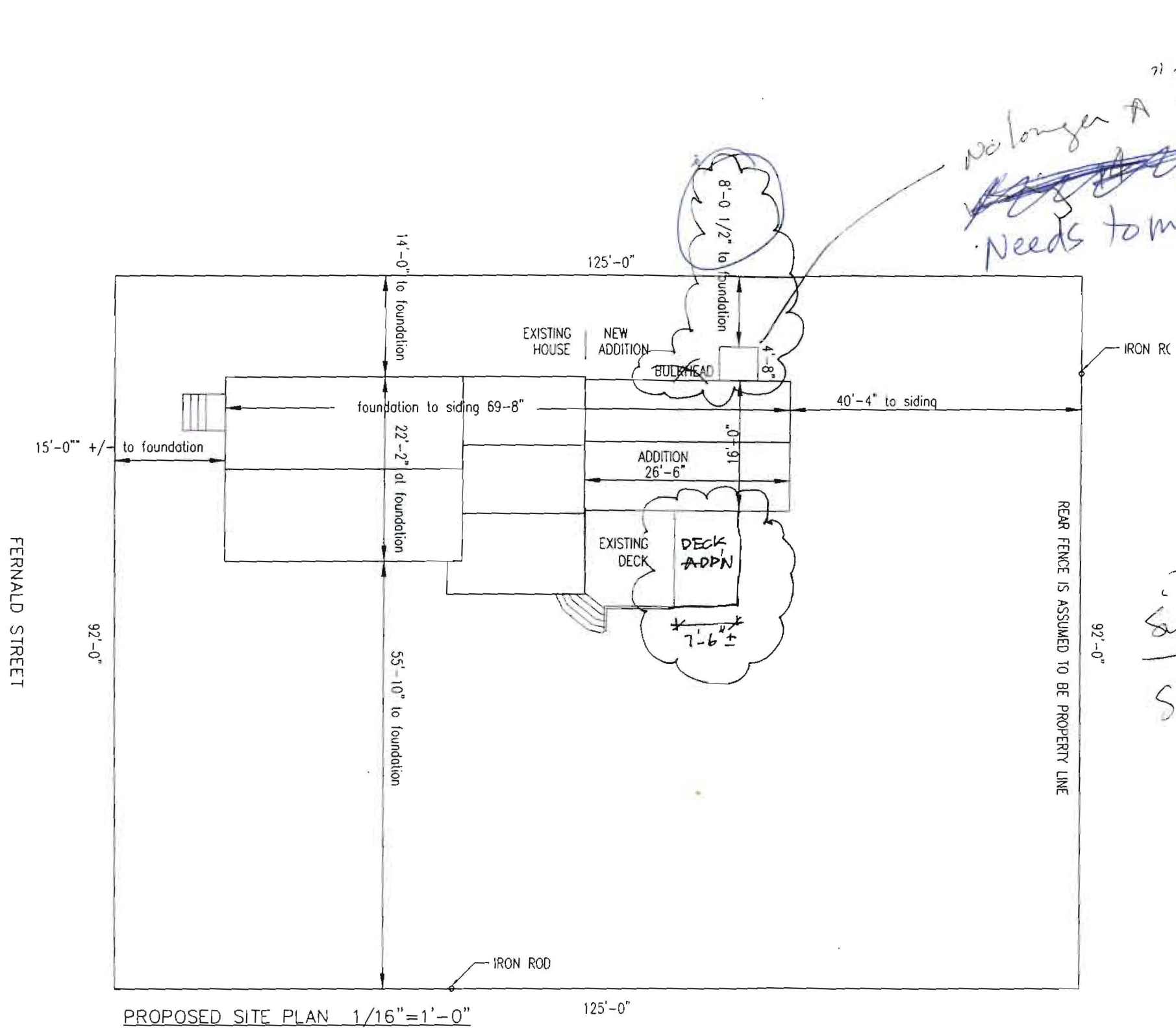
REQUIRED FRONT YARD SETBACK IS 25'.
 EXISTING FRONT YARD SETBACK IS 15'--NON-CONFORMING

REQUIRED REAR YARD SETBACK IS 25'.

REQUIRED SIDE YARD SETBACK IS 8' FOR 1 OR 1-1/2 STORIES.
 14' FOR 2 STORIES, 16' FOR 2-1/2 STORIES, CAN
 BE REDUCED TO 8' MINIMUM IF OTHER SIDE IS WIDER THAN REQ'D.

REQUIRED SHED SETBACKS ARE 5'

SUSAN AND QUINN LAVIGNE HOUSE 22 FERNALD STREET PORTLAND, MAINE
 ADDITION/RENOVATION -ISSUED FOR AMENDED PERMIT APP. MAY 4, 2010
 ELIZABETH NEWMAN ARCHITECT

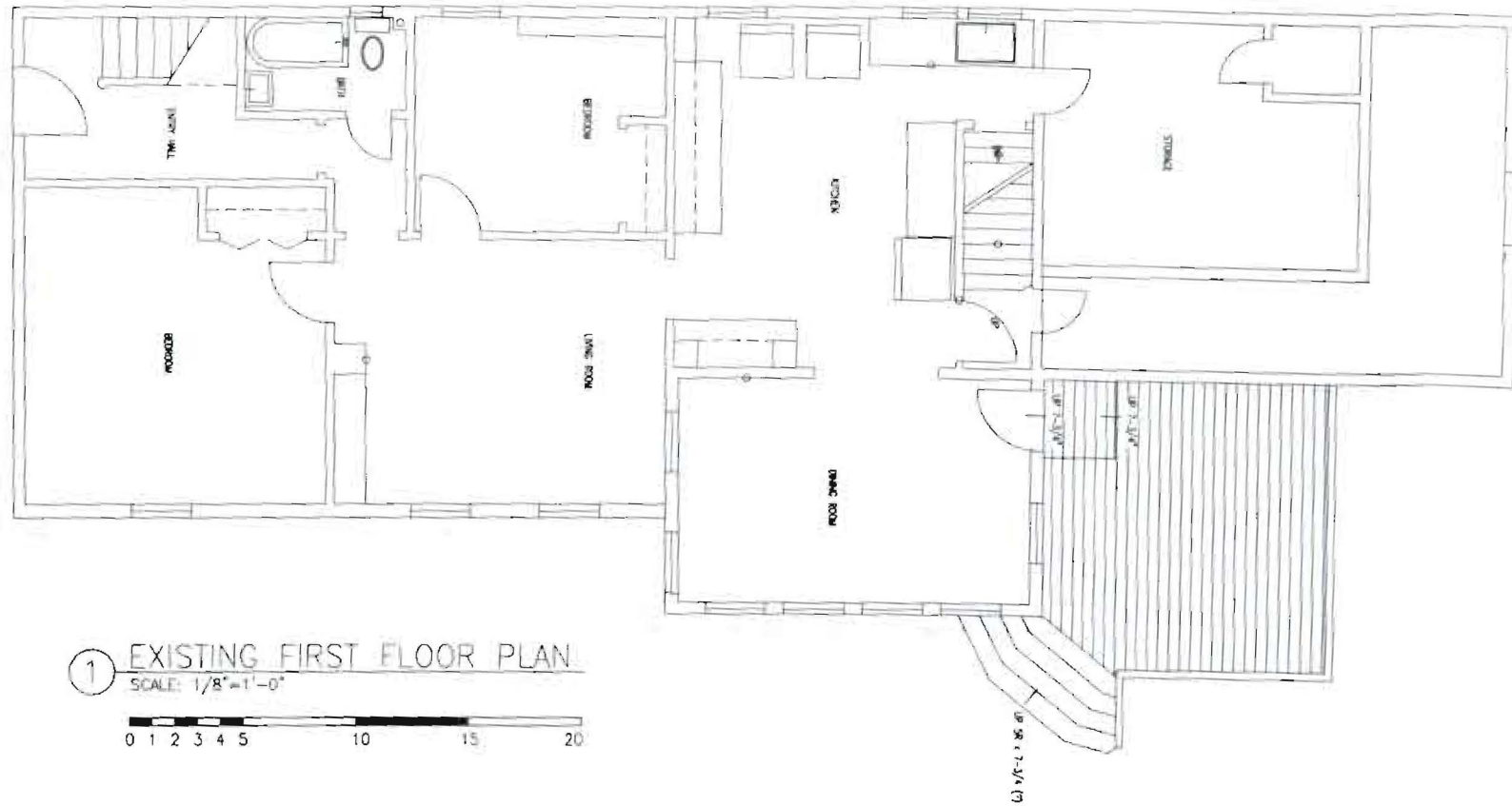


no longer a "bulkhead" - see plans
~~needs to meet minimum~~
 Needs to meet minimum Set back of 8'
 Showing 8' 1/2"

R-3

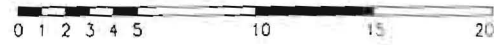
REAR: 25' min - 40' + shown
 Side - new bulkhead 8' required
 Side - Deck - 8' min - ~50' shown

SUSAN AND QUINN LAVIGNE HOUSE 22 FERNALD STREET PORTLAND, MAINE
 ADDITION/RENOVATION -ISSUED FOR PERMIT AMENDMENT
 ELIZABETH NEWMAN ARCHITECT MAY 4, 2010



① EXISTING FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



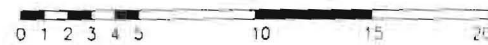
① EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0"



① EXISTING SOUTH ELEVATION

SCALE: 1/8"=1'-0"

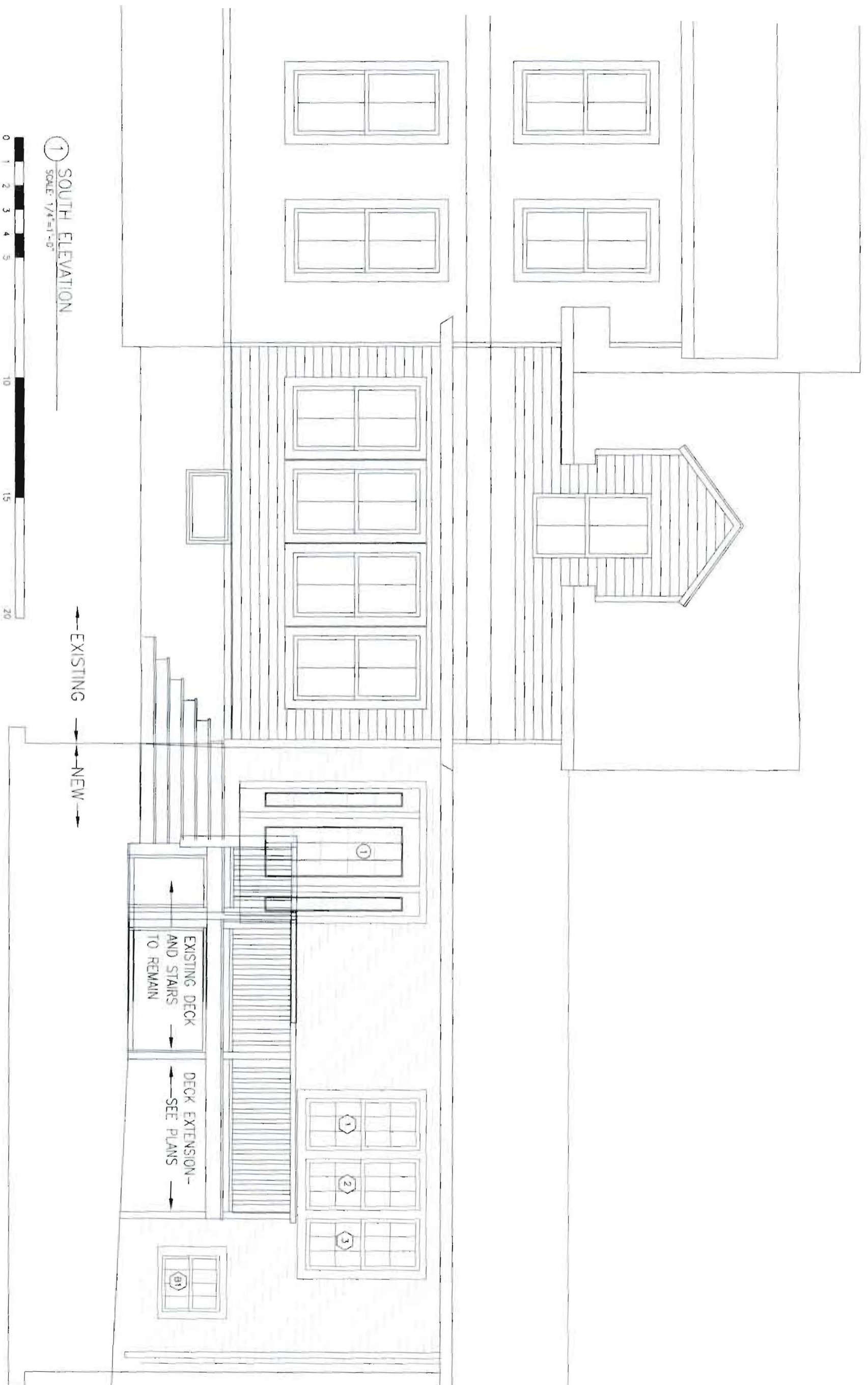


① EXISTING EAST ELEVATION

SCALE: 1/8"=1'-0"



Lavigne House 22 Fernald Street May 4, 2010
Existing First Floor Plan and Exterior Elevations



① SOUTH ELEVATION
 SCALE: 1/4"=1'-0"

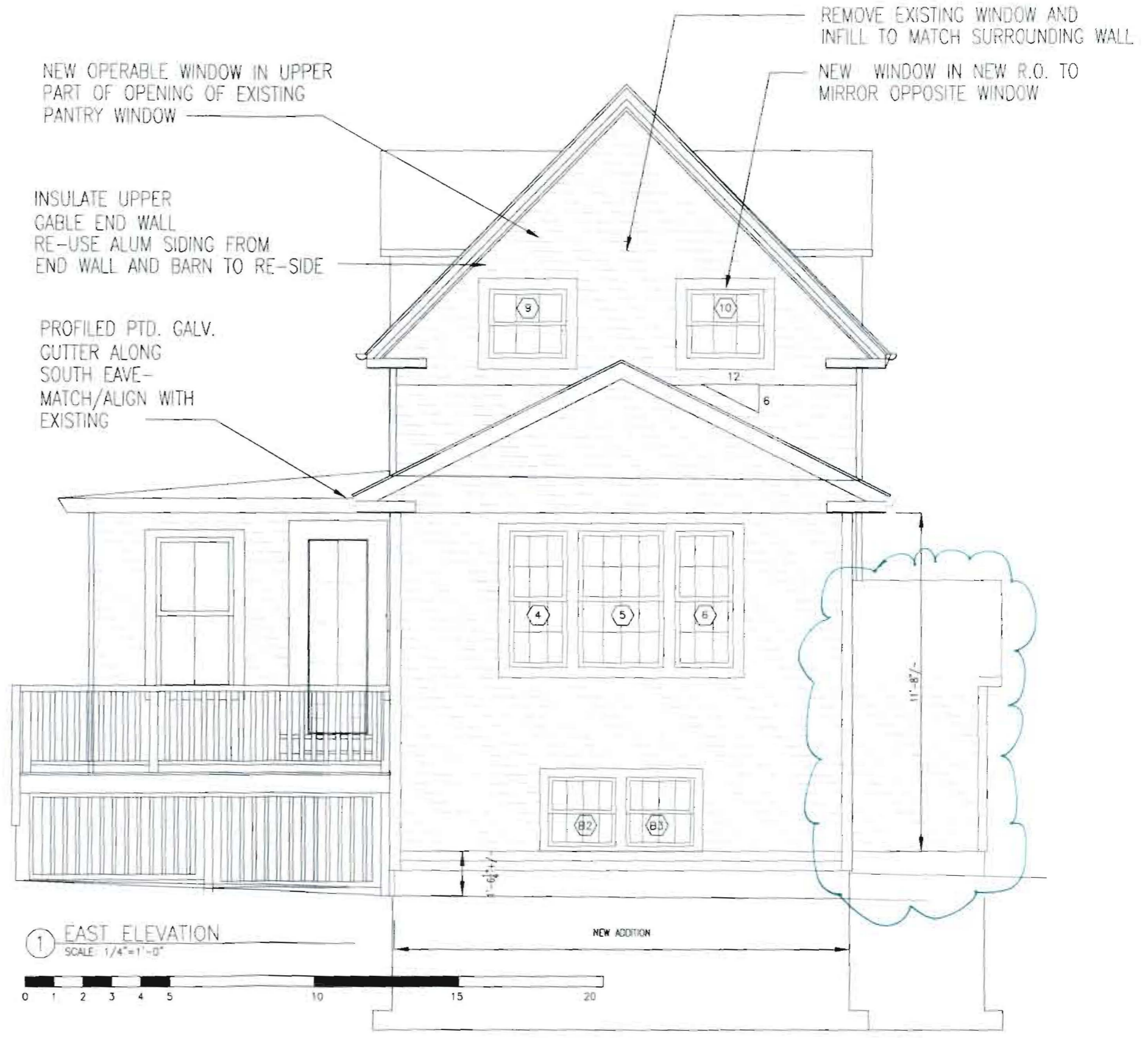


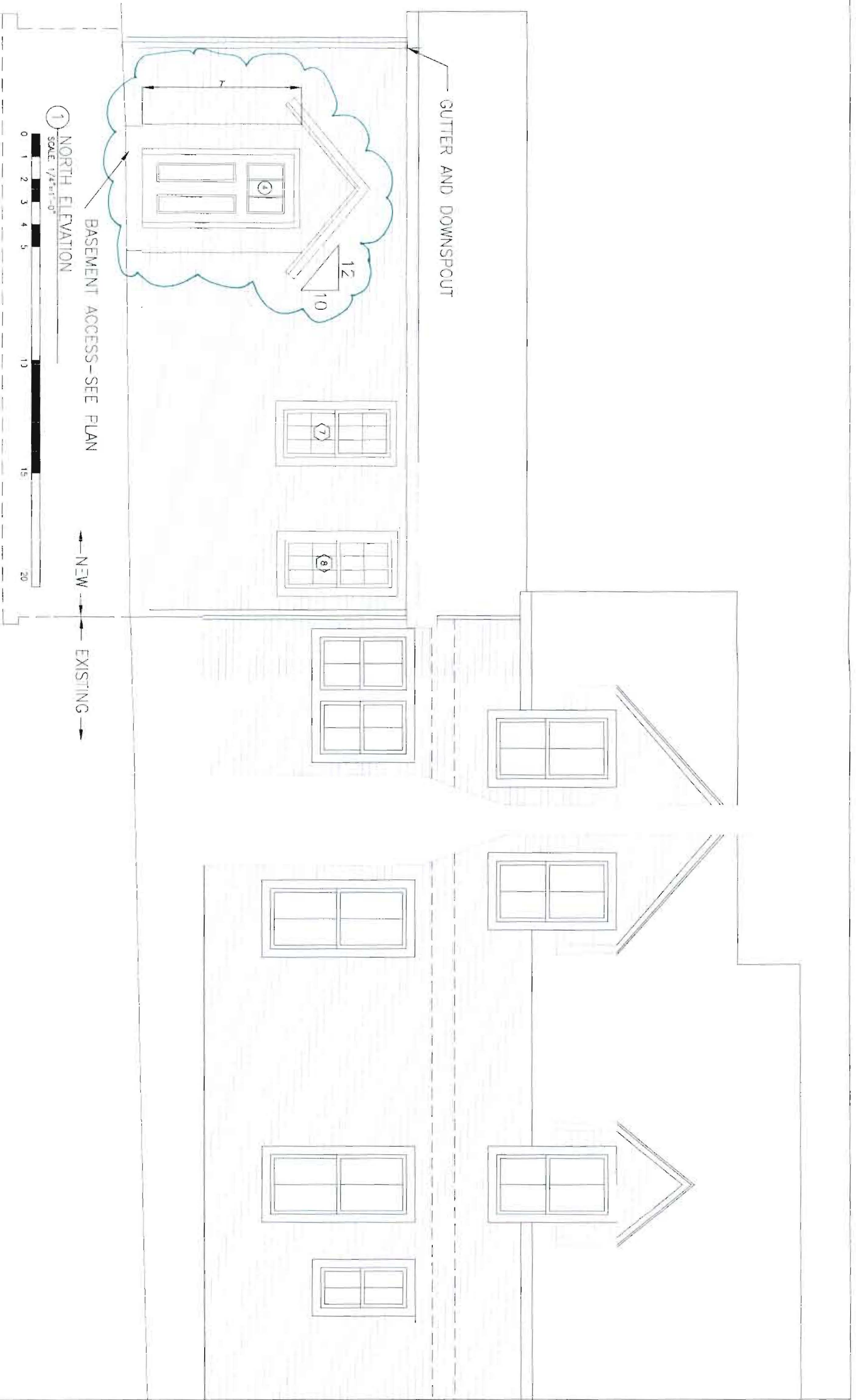
--- EXISTING --- NEW ---

EXISTING DECK AND STAIRS TO REMAIN

DECK EXTENSION - SEE PLANS

LAVIGNE HOUSE 22 FERNALD STREET MAY 4, 2010 ELIZABETH NEWMAN ARCHITECT





GUTTER AND DOWNSPOUT

BASEMENT ACCESS - SEE PLAN

1 NORTH ELEVATION
SCALE 1/4"=1'-0"



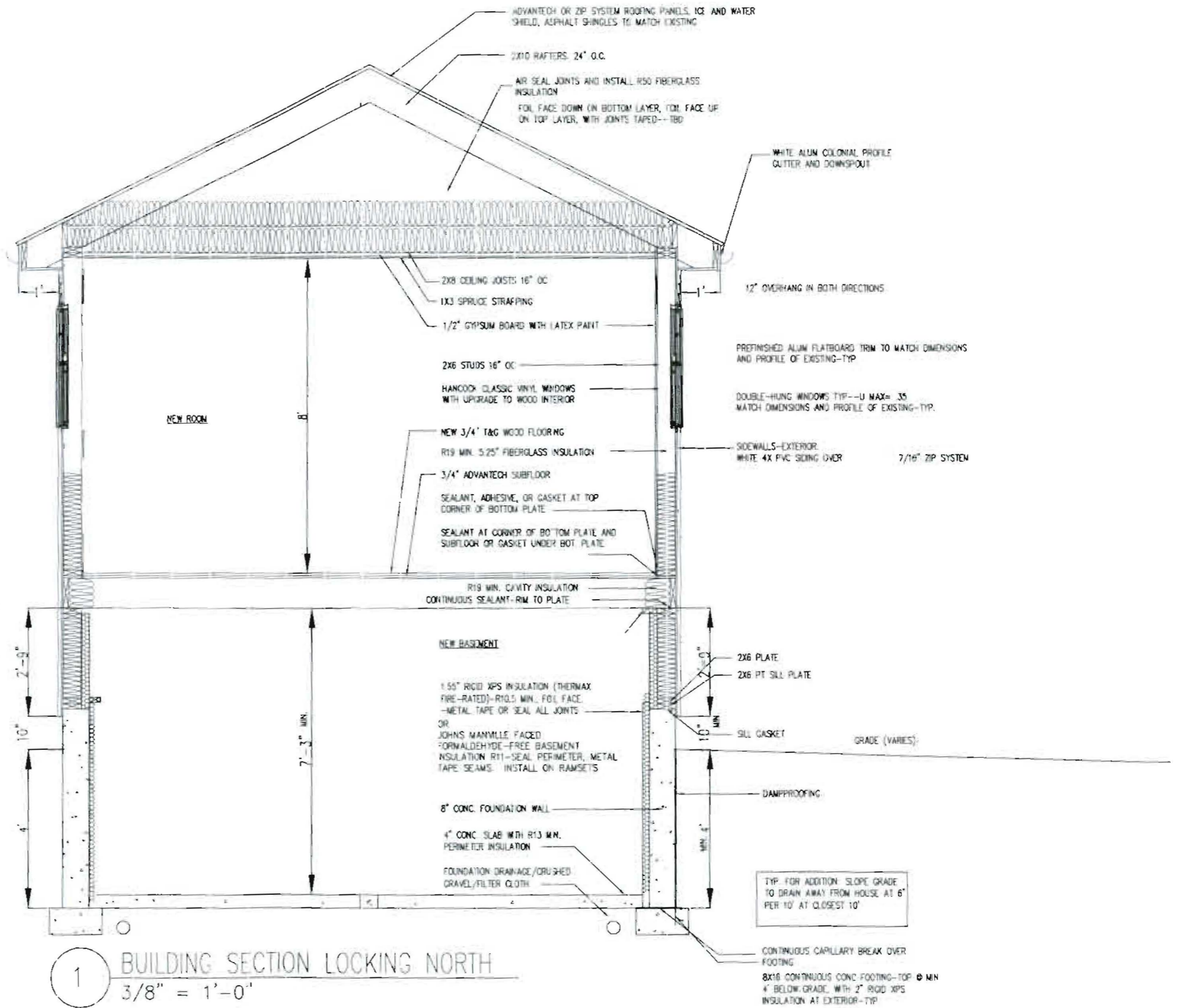
NEW EXISTING

LAVIGNE HOUSE 22 FERNALD STREET 04.27.2010 ELIZABETH NEWMAN ARCHITECT

AIR SEALING LOCATIONS:

- *EXTERIOR WALLS—CAULK JOINTS
- *DOOR AND WINDOW FRAMES
- *PLUMBING, ELECTRICAL, AND DUCT PENETRATIONS THROUGH WALLS, FLOORS, CEILINGS, SOFFITS
- *FOAM GASKETS BEHIND OUTLET AND SWITCH PLATES
- *DRYWALL CEILING JOINTS/TOP PLATES OF WALLS AND PARTITIONS

EXTEND HEATING/BASEBOARD INTO ADDITION—COORDINATE WITH ARCHITECT—LAYOUT TO BE REVIEWED TO ENSURE IT WILL NOT INTERFERE WITH FUTURE OPTION TO MODIFY STAIRS



1 BUILDING SECTION LOOKING NORTH
3/8" = 1'-0"



LAVIGNE HOUSE 22 FERNALD STREET
MAY 4 2010 ELIZABETH NEWMAN ARCHITECT