

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

## BUILDING DEPARTMENT

# PERMIT

Permit Number: 100285

Please Read Application And Notes, If Any, Attached

This is to certify that Lavigne Susan / Philip Chase

has permission to Replace chicken coop with 16' x 20' single story addition.

AT 22 Fernald St City of Portland 168 J005001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise used-in. 2 HOURLY NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### PERMIT ISSUED

#### OTHER REQUIRED APPROVALS

Fire Dept. APR 15 2010

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other CITY OF PORTLAND

Department Name

*[Handwritten Signature]*  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# FERNALD STREET

S 59°16'00" W  
92.00

S 59°16'00" W  
68.00

## RECEIVED

MAY - 3 2010

Dept. of Building Inspections  
City of Portland Maine

EXISTING HOME

PROPOSED ADDITION

N/F  
HIGHT  
8232/328

S 30°44'00" E  
125.00

7.26'

7.01'

\*NOTE: THIS PLAN INDICATES THE PROXIMITY OF AN EXISTING CONCRETE FOOTING TO APPARENT BOUNDARY LINES BASED UPON FOUND IRON PIPES ALONG FERNALD STREET. THE RESULTS OF A FULL BOUNDARY SURVEY MAY YIELD DIFFERENT RESULTS.

THIS EXHIBIT DOES NOT REPRESENT A MONUMENTED SURVEY.  
IT IS INTENDED ONLY TO DEPICT THE INFORMATION REQUESTED BY OUR CLIENT.

**SURVEY, INC.**

P.O. BOX 210  
WINDHAM, ME 04062

TEL: (207) 892-2558  
FAX: (207) 892-2557

INFO@SURVEYINCORPORATED.COM  
Professional Land Surveyors

**SUSAN LAVIGNE**

**22 FERNALD STREET  
PORTLAND, ME 04103**

DATE: MAY, 1, 2010

SCALE: 1"=100'

10-034

DRN. JTF

CHK.

168-J-5



**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 10-0285	<b>Date Applied For:</b> 03/23/2010	<b>CBL:</b> 168 J005001
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<b>Location of Construction:</b> 22 Fernald St	<b>Owner Name:</b> Lavigne Susan	<b>Owner Address:</b> 22 Fernald St	<b>Phone:</b> 207-775-0626
<b>Business Name:</b>	<b>Contractor Name:</b> Philip Chase	<b>Contractor Address:</b> 126 Black Strap Road Falmouth	<b>Phone:</b> (207) 838-2389
<b>Lessee/Buyer's Name</b>	<b>Phone:</b>	<b>Permit Type:</b> Additions - Duplex	

<b>Proposed Use:</b> Duplex / Replace chicken coop with 16' x 26.5' single story addition.	<b>Proposed Project Description:</b> Replace chicken coop with 16' x 26.5' single story addition.
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 03/23/2010

**Note:** **Ok to Issue:** ✓

- 1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 2) This property shall remain a two family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Tammy Munson      **Approval Date:** 04/15/2010

**Note:** **Ok to Issue:** ✓

- 1) The minimum header size must be 2 - 2" x 6"-s.
- 2) The main carrying beam below must be 3 - 2"x10"-s.
- 3) An egress window must be installed if the room will be used as a bedroom.
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 6) Those building a new single family dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

**Comments:**

3/23/2010-amachado: Left vcm for Susan lavigne. Need site plan exemption filled out. Increasing footprint of structure.

3/24/2010-amachado: Received site plan exemption applicaton. Gave it to planning.

4/12/2010-gg: received grante site plan exemption on 04-12-10. Filed with permit. /gg

**PERMIT ISSUED**

APR 15 2010

City of Portland

10 0285



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>22 Fernald Street, Portland, ME</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot <u>11,500 SF</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>168      J      05</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>Susan Lavigne</u> Address <u>22 Fernald St</u> City, State & Zip <u>Portland, ME 04103</u>	Telephone: <u>h) 775-0626</u> <u>c) 807-4408</u>
Lessee/DBA (If Applicable) <u>N/A</u>	Owner (if different from Applicant) Name <u>SAME</u> Address City, State & Zip	Cost Of Work: \$ <u>67,000</u> C of O Fee: \$ <u>-</u> Total Fee: \$ <u>690</u>
Current legal use (i.e. single family) <u>two-family house</u>		
If vacant, what was the previous use? <u>-</u>		
Proposed Specific use: <u>no change</u>		
Is property part of a subdivision? <u>no</u> If yes, please name <u>-</u>		
Project description: <u>Replace a deteriorating chicken coop off the back of the house with a 10x23<sup>26.5'</sup> single-story addition to extend the first floor of the house.</u>		
Contractor's name: <u>Philip Chase</u>		
Address: <u>126 Blackstrap Road <del>XX Fernald</del></u>		
City, State & Zip <u>Falmouth ME 04105</u> <u>xx</u>		Telephone: <u>838-2389</u>
Who should we contact when the permit is ready: <u>Susan Lavigne <sup>owner</sup></u>		Telephone: <u>807-4408</u>
Mailing address: <u>22 Fernald Street Portland ME 04103</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City may request additional information in this form and other applications at the Division office, room 315 C

I hereby certify that I am the authorized representative of the property owner and that I have been authorized by the laws of this jurisdiction. In a permit application, I am an authorized representative of the property owner and I agree to conform to all applicable laws and regulations. If a permit is issued, I certify that the Code Official's representative may enter the property at any reasonable hour to enforce the terms of the permit.

Wait  
4/12/10  
Site exemption with permits  
60

Planning and Development Department  
For more information or to download copies of the application form, visit [portlandmaine.gov](http://portlandmaine.gov), or stop by the Inspections Department.

The Code Official's representative of record authorizes the proposed work and I agree to conform to all applicable laws and regulations. If a permit is issued, I certify that the Code Official's representative may enter the property at any reasonable hour to enforce the terms of the permit.

Signature: MENE  
This is my signature

2010  
until the permit is issued

**ELIZABETH NEWMAN ARCHITECT**

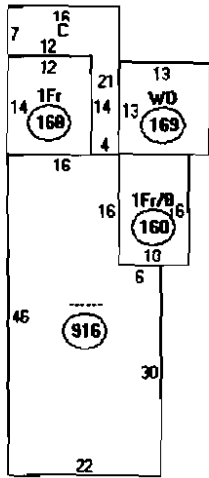
32 SAWYER STREET PORTLAND MAINE 04103 T.207.899.1845  
 C. 207.615.6564 F 868.889.9397 E. NEWMAN.LIZ@GMAIL.COM

**TO: City of Portland-for filing**

**DATE: March 22, 2010**

**RE: 22 Fernald Street Schematic door/window schedule for budget estimate**

<b>DOOR SCHEDULE</b>				
<b>Door #</b>	<b>Location</b>	<b>Size</b>	<b>Type</b>	<b>Notes</b>
1	Entry	64" x 6'-8"	Double French door-entry-with fixed leaf	Therma-Tru Smooth Star Clear glass with grilles U=.26
2	Family Room	32" x 6'-8"	20 minute paneled door-rated for one hour wall	Coordinate final model with architect before ordering
3	Bathroom	28" x 6'-8"	Four-panel wood pocket door	
<b>SCHEMATIC WINDOW SCHEDULE</b>				
<b>Win. #</b>	<b>Location</b>	<b>Size</b>	<b>Type</b>	<b>Notes</b>
1 2 3	Family Room	25-1/2 x 56-1/2	2/2 DH	Anderson 200 series or Hancock Classic— U=.35 or less per IRCC 2003
4 5	Family Room	33-1/2 x 56-1/2+/- Meet or exceed egress opening requirement	2/2 DH	Anderson 200 series or Hancock Classic— U=.30 or less-qualify for federal rebate
6	Mud Room	25-1/2 x 56-1/2	2/2 DH	" " "
7	Bath/Laundry	32 x 60	2/2 DH	" " "
8 9	Stair-Second Fl. East Second floor pantry	Replacement sash in existing Frame-28" W x 32" H-VIF	Hopper or Awning (#8 must operate from stairs below)	New window to fit existing RO width—raise sill height. Open #8 from steps below. U is .35 or less.
10 11 12	"Daylight Basement"	28" W x 24" H	For wood framed wall-operable	Anderson 200 series or Hancock Classic— U=.35 or less per IRCC 2003



**Descriptor/Area**

- A: ---  
916 sqft
- ~~B: 1Fr  
168 sqft~~
- C: 1Fr/B  
160 sqft
- D: WD  
169 sqft
- E: 1Fr/B  
160 sqft

= 1245



# Application for Exemption from Site Plan Review

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

Attn: Ann 874.8716  
Machado

approx. 16x21

PROJECT NAME: 22 Fernald Street Portland - replace chicken

PROJECT ADDRESS: barn with house addition 16x26'

PROJECT DESCRIPTION: (Please Attach Sketch/Plan of Proposal/Development)

please see application submitted for permit on 3.22.2010 - replace deteriorating "chicken coop" (16'x20'10")

CHART/BLOCK/LOT: 160 J 05 w/ a single story addition (16'x26.5') to extend first floor of house - two family.

### CONTACT INFORMATION:

#### OWNER/APPLICANT

Name: Susan Lavigne  
Address: 22 Fernald St  
Portland  
Zip Code: 04103  
Work #: 773-6471  
Home #: 775-0626  
Fax #: cell 807-4408  
E-mail: SLavigne@propeople.org

#### CONSULTANT/AGENT

Name: Elizabeth Newman-Archute cl:  
Address: 32 Salmon Street  
Portland  
Zip Code: 04103  
Work #/h: 899.1845  
Home # cell: 105.6564  
Fax #: 866.869.9387  
E-mail: newman.12@gmail.com

RECEIVED

MAR 24 2010

City of Portland  
Planning Division

#### Criteria for Exemptions:

(See Section 14-523 (4) on page 2 of this application)

- a) Is the proposal within existing structures?
- b) Are there any new buildings, additions, or demolitions?
- c) Is the footprint increase less than 500 sq. ft.?
- d) Are there any new curb cuts, driveways or parking areas?
- e) Are the curbs and sidewalks in sound condition?
- f) Do the curbs and sidewalks comply with ADA?
- g) Is there any additional parking?
- h) Is there an increase in traffic?
- i) Are there any known stormwater problems?
- j) Does sufficient property screening exist?
- k) Are there adequate utilities?

Applicant's Assessment  
Y(yes), N(no), N/A

Planning Division  
Use/Only

N  
Y  
Y  
N  
N/A  
N/A  
N  
N  
N  
N/A  
Y

N  
Y  
Y  
N  
No sidewalk / No curb  
N/A  
N  
N  
N  
Y  
Y

RECEIVED

APR 12 2010

Dept. of Building Inspections  
City of Portland Maine

**Planning Division Use Only** Exemption Granted  Partial Exemption  Exemption Denied

1. All disturbed areas post-construction shall not increase the pre-existing volume or rate of surface water runoff.

Planner's Signature Crick [Signature] Date 4/8/10

- Original - Planning Division -      - Copy - Inspections Division and Applicant -

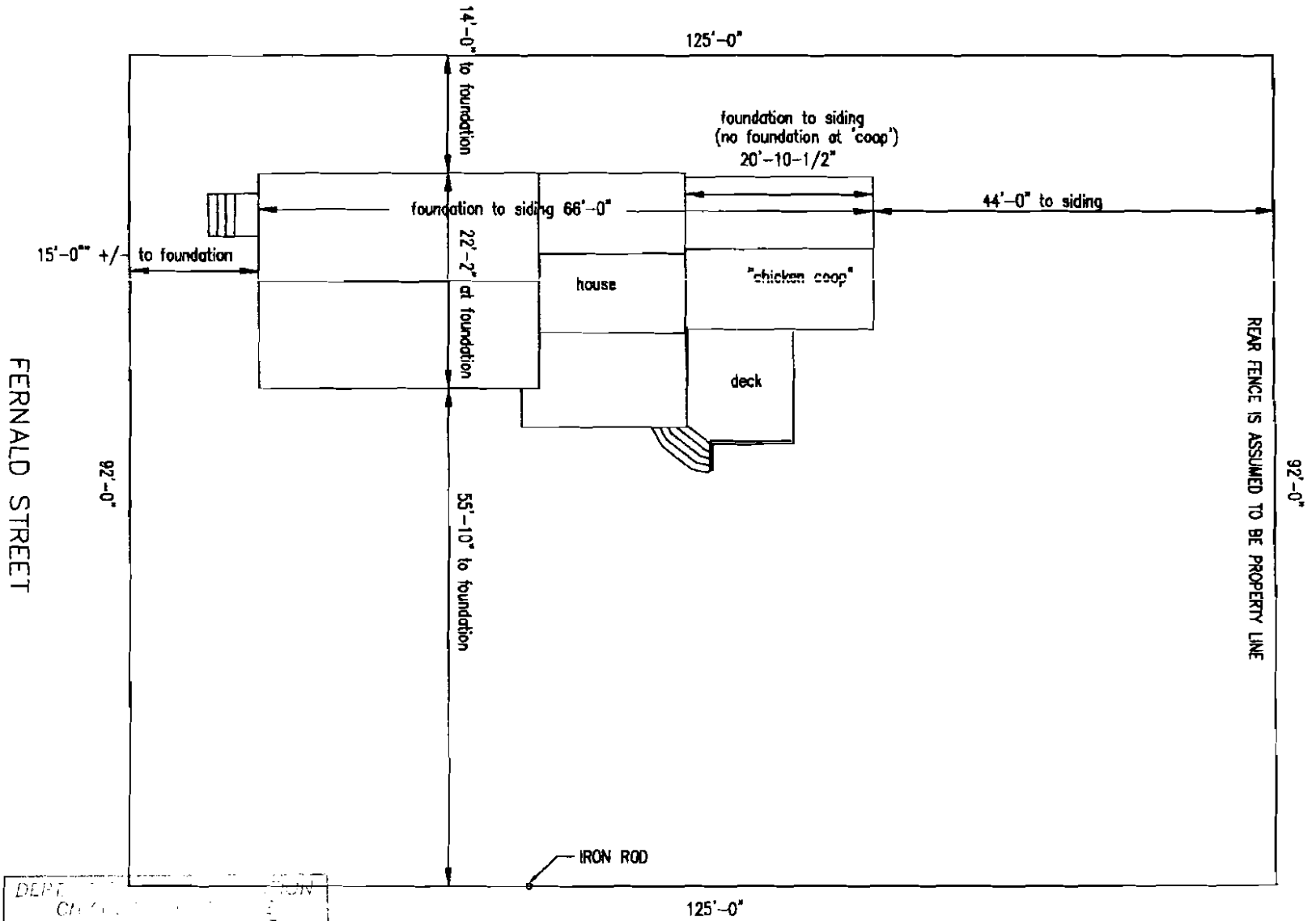


**Planning Erick Giles, AICP, LEED AP**

April 8, 2010 – This Exemption request has been approved subject to the following condition:

1. All disturbed areas post-construction shall not increase the pre-existing volume or rate of surface water runoff.
-

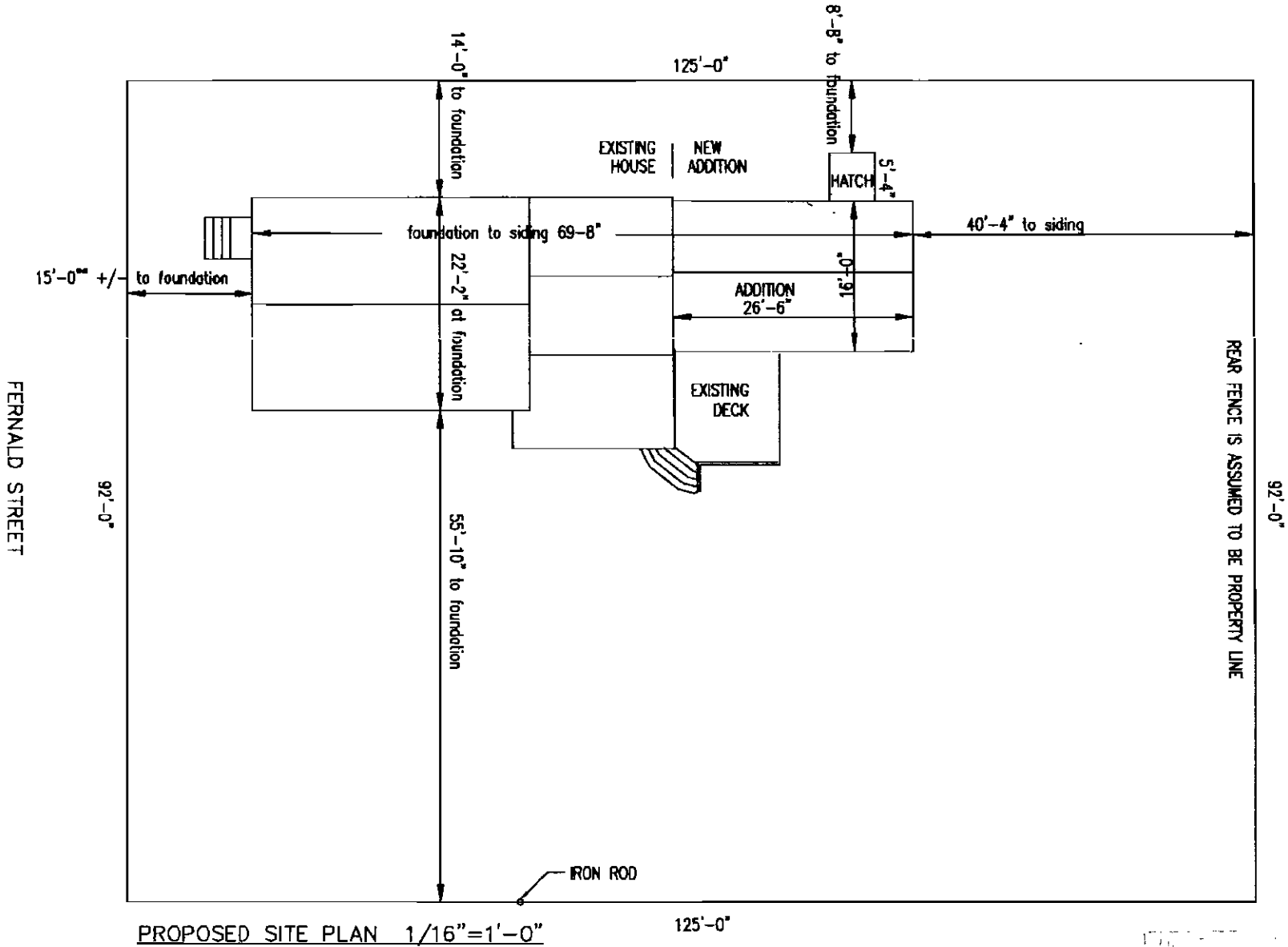




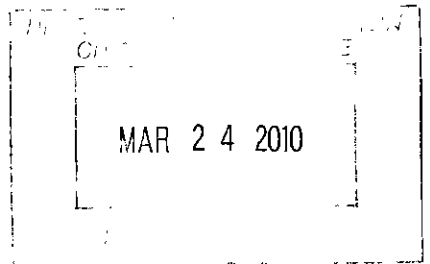
FERNALD STREET

MAR 24 2010

22 FERNALD STREET  
EXISTING SITE PLAN 1/16"=1'-0"  
CLARIFICATION 3.23.2010



SUSAN AND QUINN LAVIGNE HOUSE 22 FERNALD STREET PORTLAND, MAINE  
 ADDITION/RENOVATION -ISSUED FOR PERMIT AND SITE PLAN EXEMPTION  
 ELIZABETH NEWMAN ARCHITECT MARCH 23, 2010





**CITY OF PORTLAND, MAINE**  
 Department of Building Inspections

**Original Receipt**

March 23 2010

Received from Susan Lavigne

Location of Work 22 Fernside Dr.

Cost of Construction \$ \_\_\_\_\_ Building Fee: \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_ Site Fee: \_\_\_\_\_

Certificate of Occupancy Fee: \_\_\_\_\_

Total: 690.00

Building (1L)  Plumbing (15) \_\_\_\_\_ Electrical (12) \_\_\_\_\_ Site Plan (U2) \_\_\_\_\_

Other \_\_\_\_\_

CBL: 168 5005

Check #: 2002 Total Collected \$ 690.00

**No work is to be started until permit issued.  
 Please keep original receipt for your records.**

Taken by: [Signature]

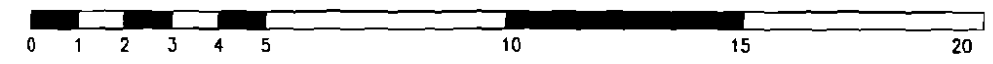
WHITE - Applicant's Copy  
 YELLOW - Office Copy  
 PINK - Permit Copy



GUTTER AND DOWNSPOUT

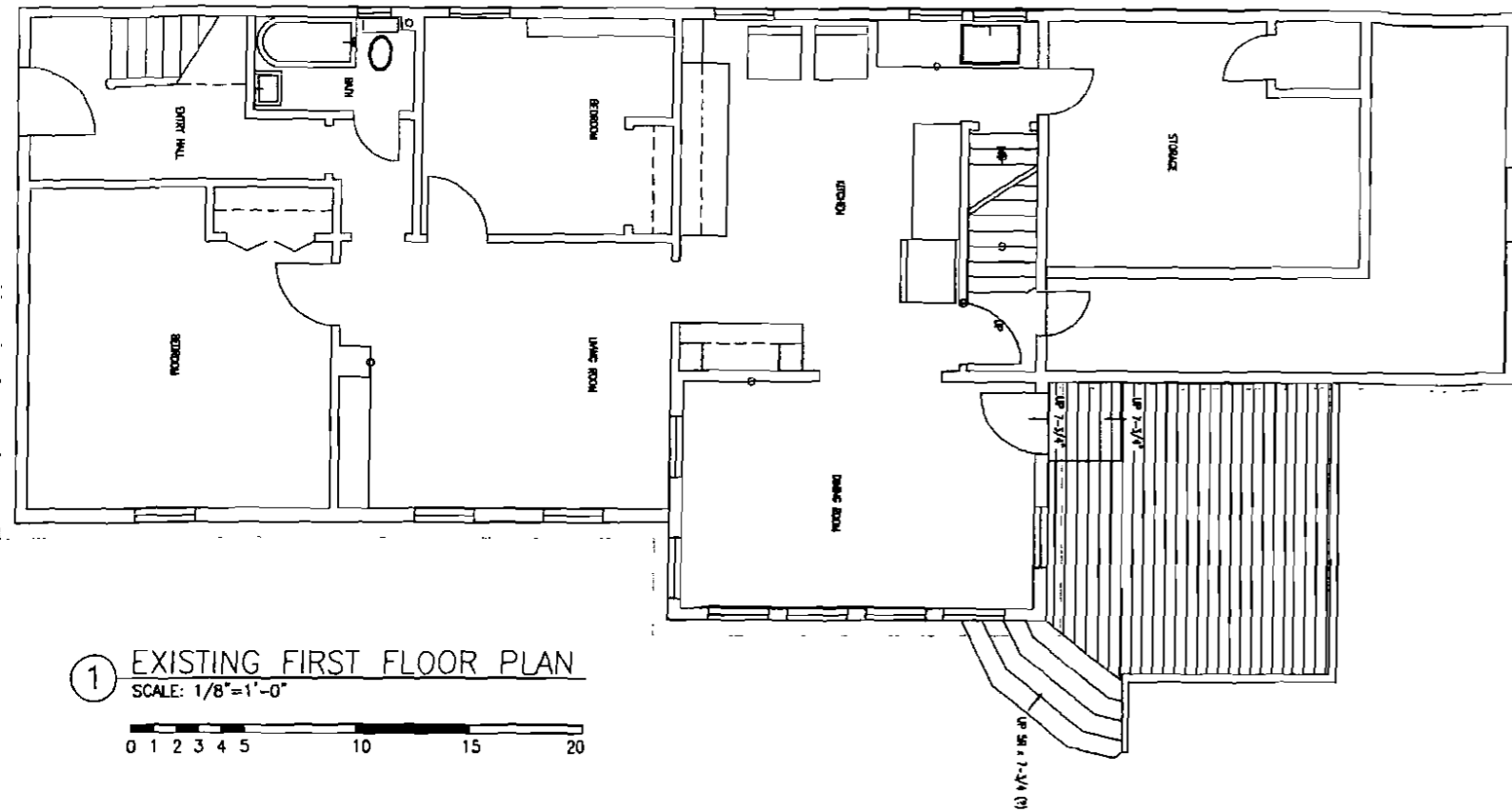
HATCH-SEE PLAN

① SCHEME H NORTH ELEVATION  
SCALE: 1/4"=1'-0"



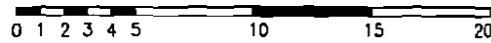
← NEW → EXISTING →

LAVIGNE HOUSE 22 FERNALD STREET 03.22.2010 ELIZABETH NEWMAN ARCHITECT



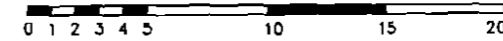
1 EXISTING FIRST FLOOR PLAN

SCALE: 1/8"=1'-0"



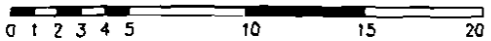
1 EXISTING NORTH ELEVATION

SCALE: 1/8"=1'-0"



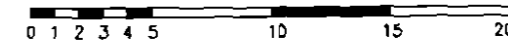
1 EXISTING SOUTH ELEVATION

SCALE: 1/8"=1'-0"

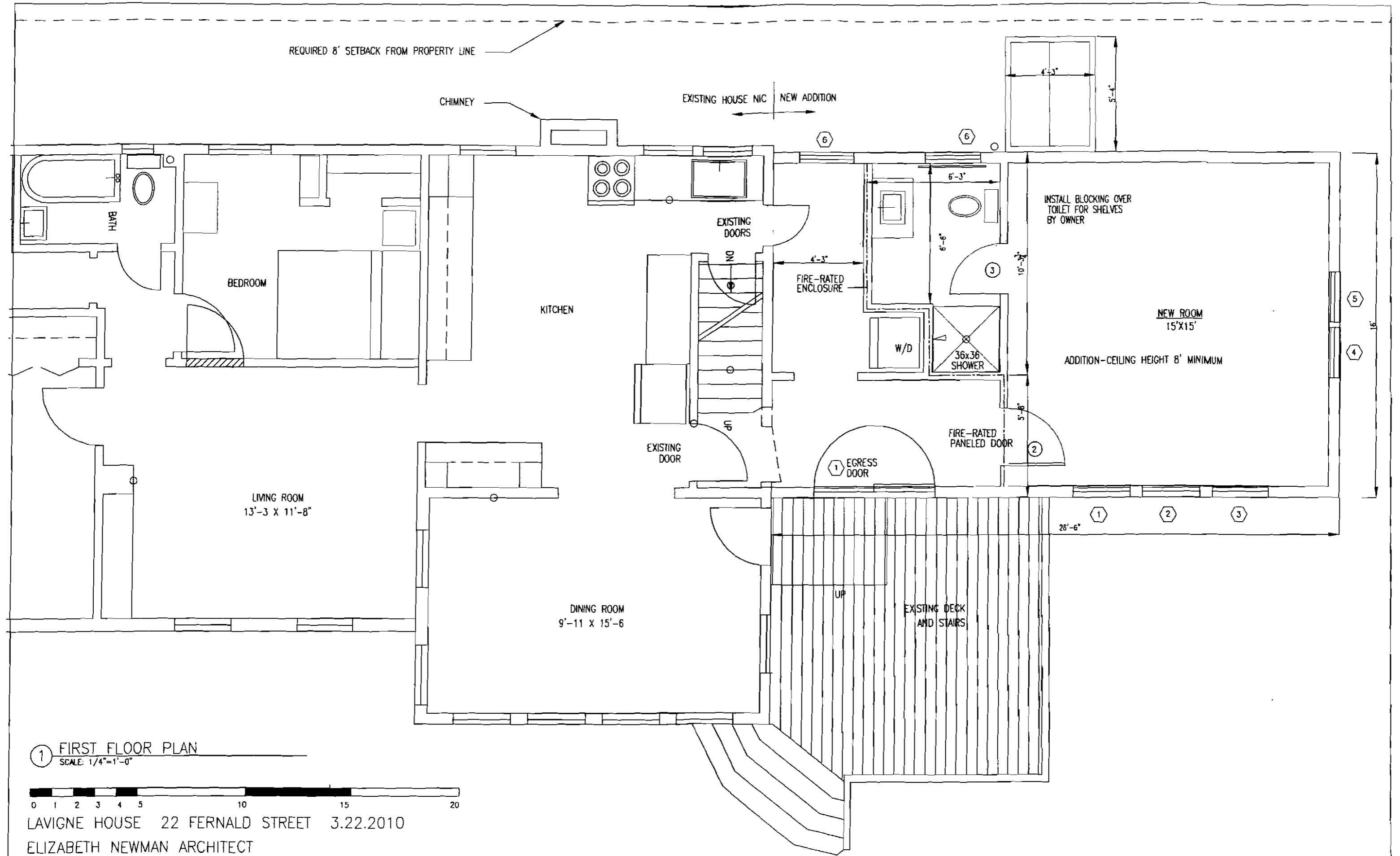


1 EXISTING EAST ELEVATION

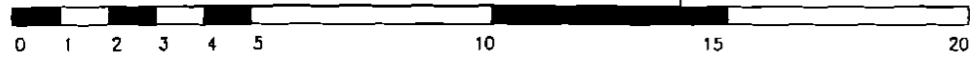
SCALE: 1/8"=1'-0"



Lavigne House 22 Fernald Street March 22, 2010  
Existing First Floor Plan and Exterior Elevations

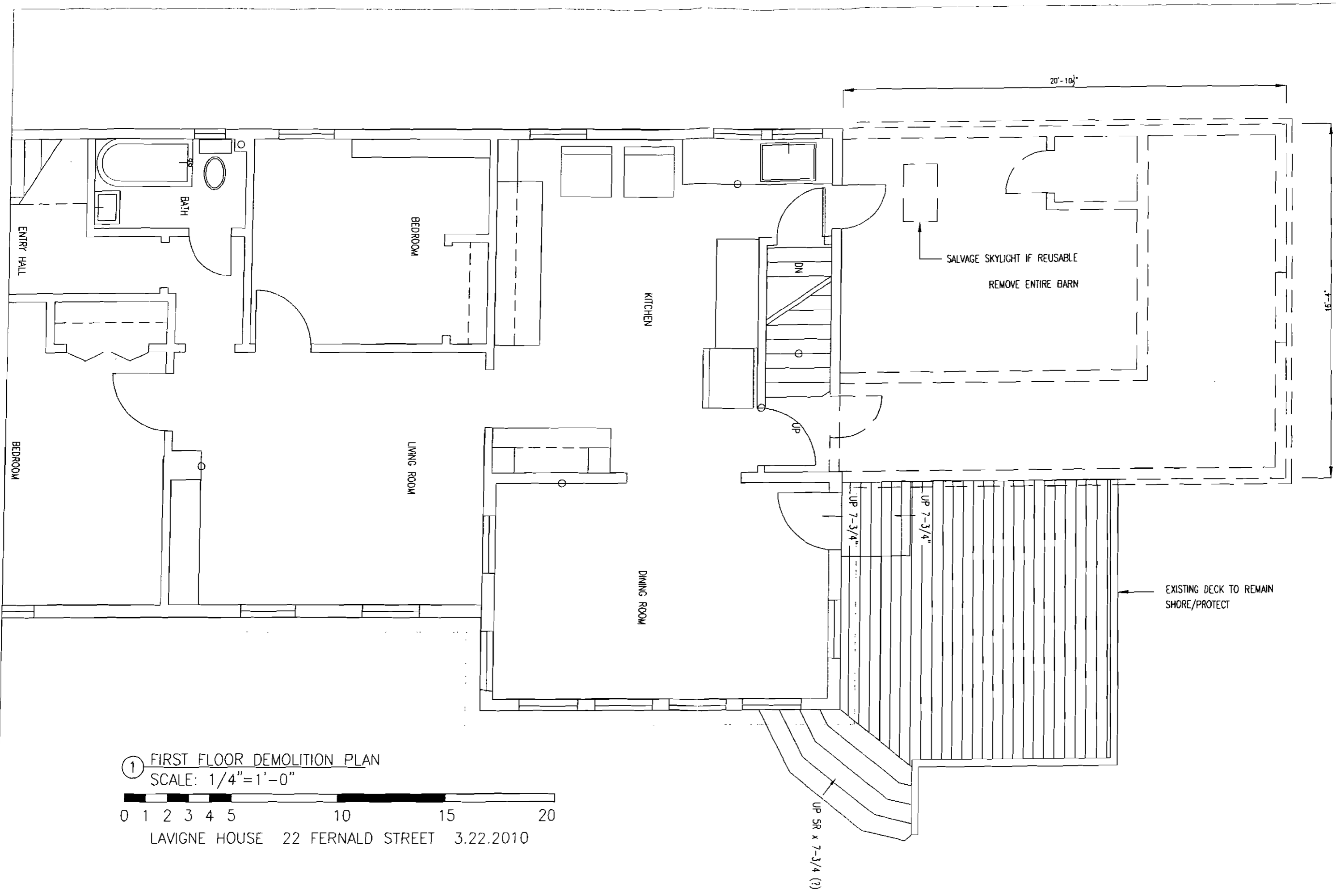


① FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"

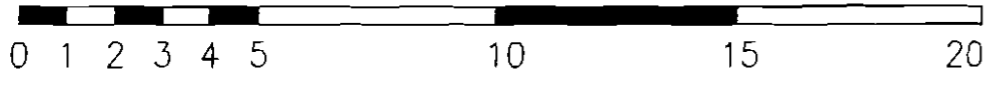


LAVIGNE HOUSE 22 FERNALD STREET 3.22.2010  
ELIZABETH NEWMAN ARCHITECT





① FIRST FLOOR DEMOLITION PLAN  
 SCALE: 1/4" = 1'-0"



LAVIGNE HOUSE 22 FERNALD STREET 3.22.2010

RS

- lot size - 11,500 (6500 mm)
- front setback - 25' - N/A
- side setback 15 by 8' min - 14' 6" (OK)
- 8' 8" to building (OK)
- rear setback - 25' min - 38' 6" (OK)
- lot coverage - 35% = 4025 sq ft
- existing - 1245 sq ft
- (16x265) proposed 423
- 1669 sq ft (OK)
- max height 25' - 16' (OK)

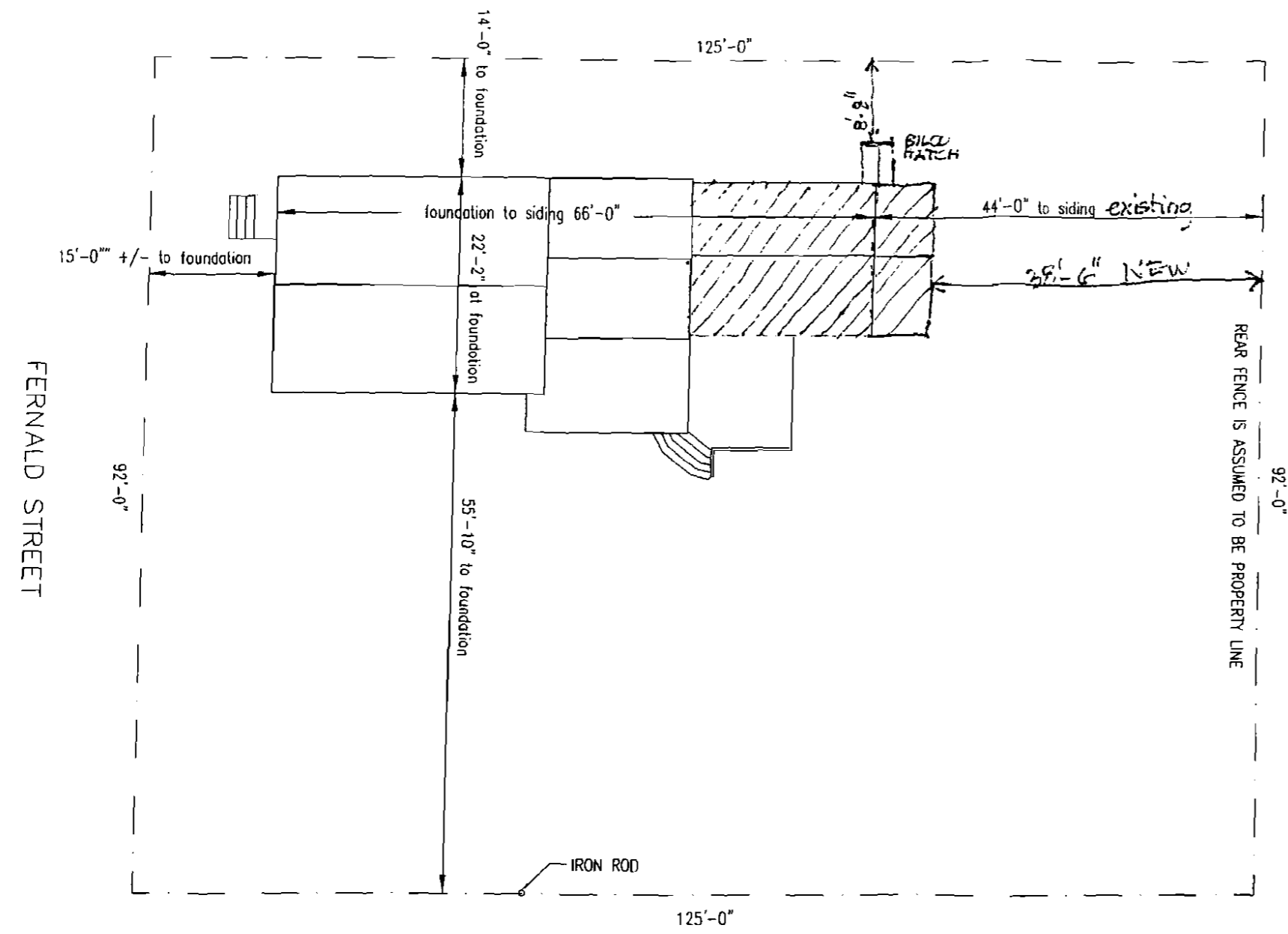
LIST OF DRAWINGS

- COVER SHEET/SITE PLAN
- EXISTING FIRST FLOOR PLAN AND ELEVATIONS
- FIRST FLOOR DEMOLITION PLAN
- BASEMENT AND FIRST FLOOR FRAMING PLAN
- FIRST FLOOR PLAN
- ROOF PLAN
- SOUTH ELEVATION
- EAST ELEVATION
- NORTH ELEVATION

ZONING NOTES

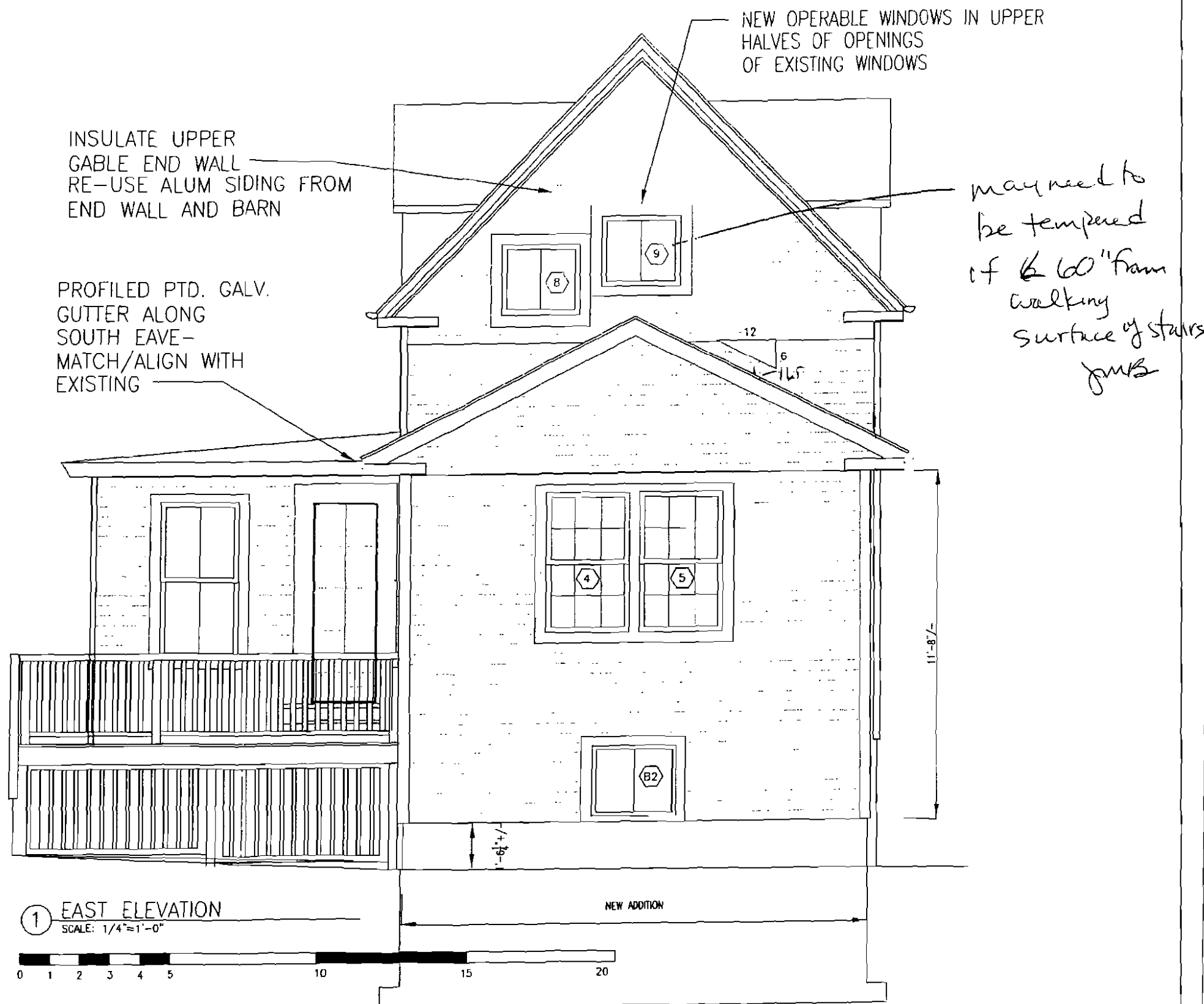
ZONING DISTRICT IS R3.  
 LOT AREA: 11,500 SF  
 ALLOWABLE LOT COVERAGE: 4025 SF (35% OF 11,500)  
 EXISTING LOT COVERAGE: 1532 SF  
 PROPOSED LOT COVERAGE: 1764 SF  
 REQUIRED FRONT YARD SETBACK IS 25'.  
 EXISTING FRONT YARD SETBACK IS 15'--NON-CONFORMING  
 REQUIRED REAR YARD SETBACK IS 25'.  
 REQUIRED SIDE YARD SETBACK IS 8' FOR 1 OR 1-1/2 STORIES.  
 14' FOR 2 STORIES, 16' FOR 2-1/2 STORIES; CAN BE REDUCED TO 8' MINIMUM IF OTHER SIDE IS WIDER THAN REQ'D.  
 REQUIRED SHED SETBACKS ARE 5'

- old area - 332 sq ft  
 net addition = 88 sq ft

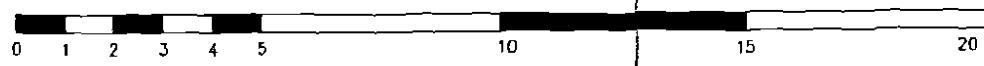


EXISTING SITE PLAN 1/16"=1'-0"

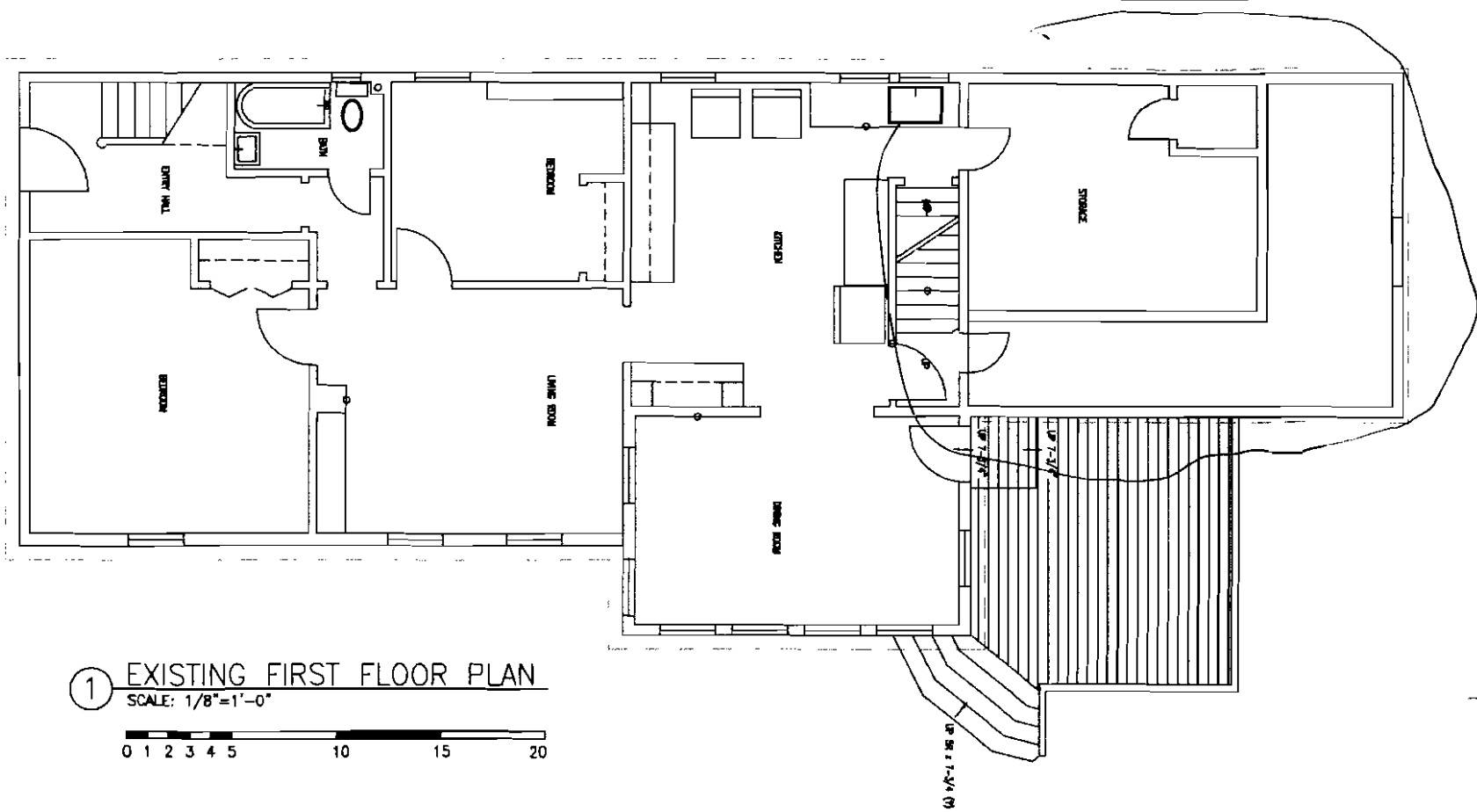
SUSAN AND QUINN LAVIGNE HOUSE 22 FERNALD STREET PORTLAND, MAINE  
 ADDITION/RENOVATION -ISSUED FOR PERMIT MARCH 22, 2010  
 ELIZABETH NEWMAN ARCHITECT



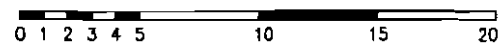
① EAST ELEVATION  
SCALE: 1/4" = 1'-0"



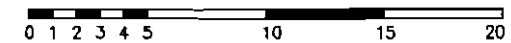




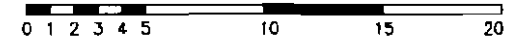
① EXISTING FIRST FLOOR PLAN  
SCALE: 1/8"=1'-0"



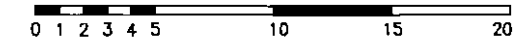
① EXISTING NORTH ELEVATION  
SCALE: 1/8"=1'-0"



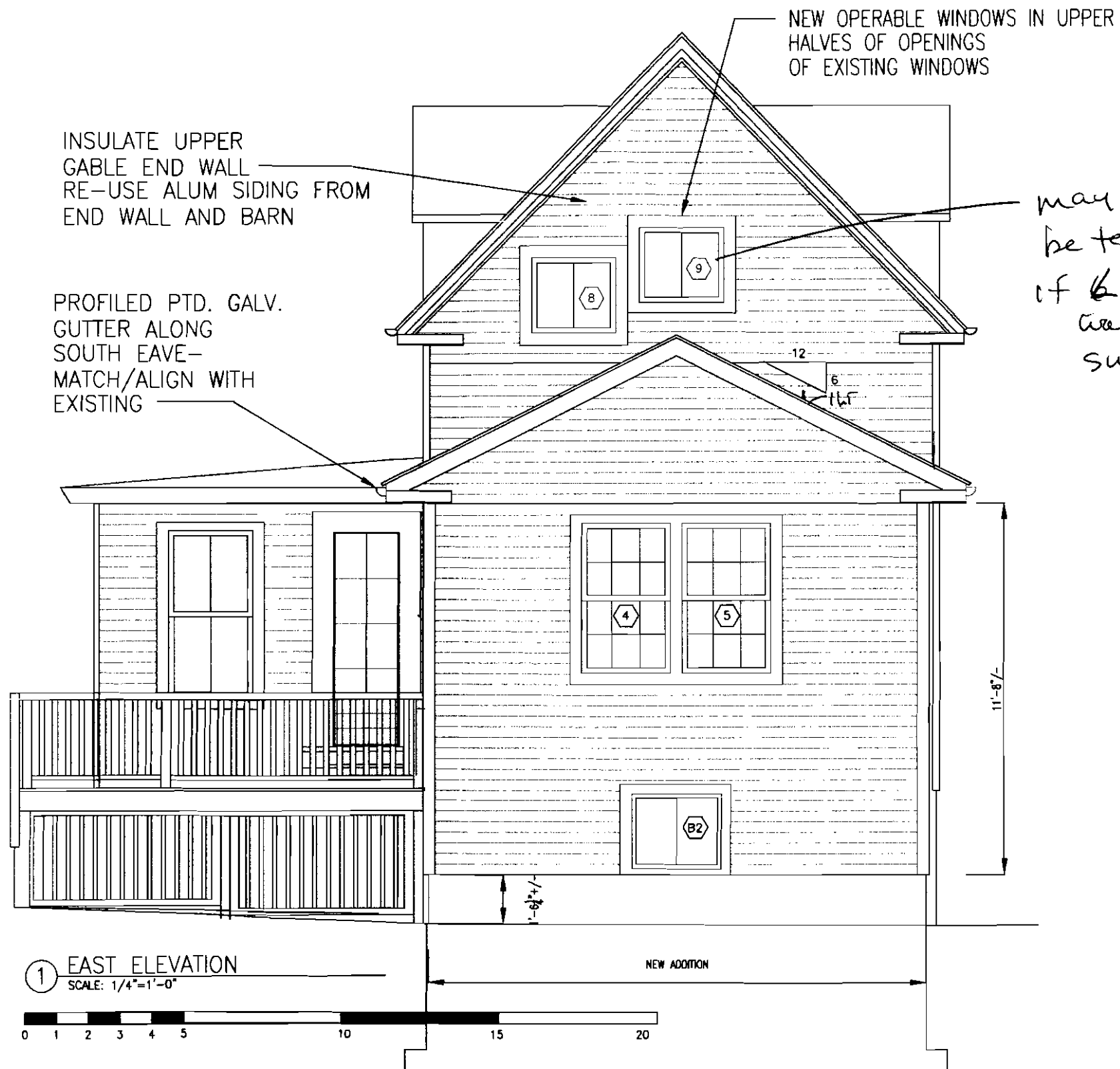
① EXISTING SOUTH ELEVATION  
SCALE: 1/8"=1'-0"



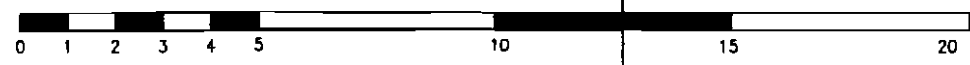
① EXISTING EAST ELEVATION  
SCALE: 1/8"=1'-0"

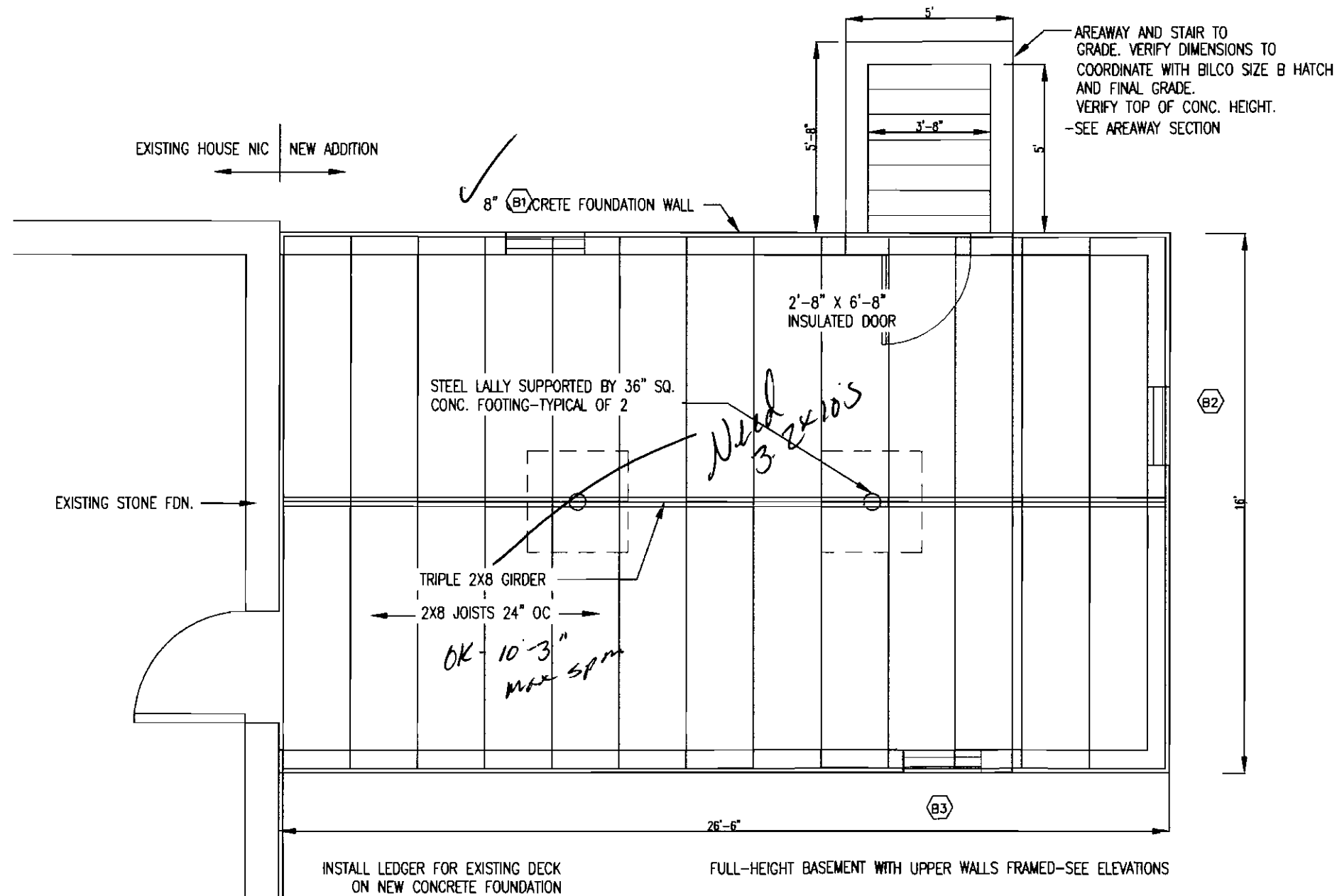


Lavigne House 22 Fernald Street March 22, 2010  
Existing First Floor Plan and Exterior Elevations



① EAST ELEVATION  
SCALE: 1/4"=1'-0"





NOTE: ALL EXPOSED FRAMING MEMBERS LESS THAN 18" ABOVE GRADE SHALL BE PRESSURE-TREATED THIS INCLUDES SHED AND DECK FLOOR JOISTS AND ALL PIER POSTS

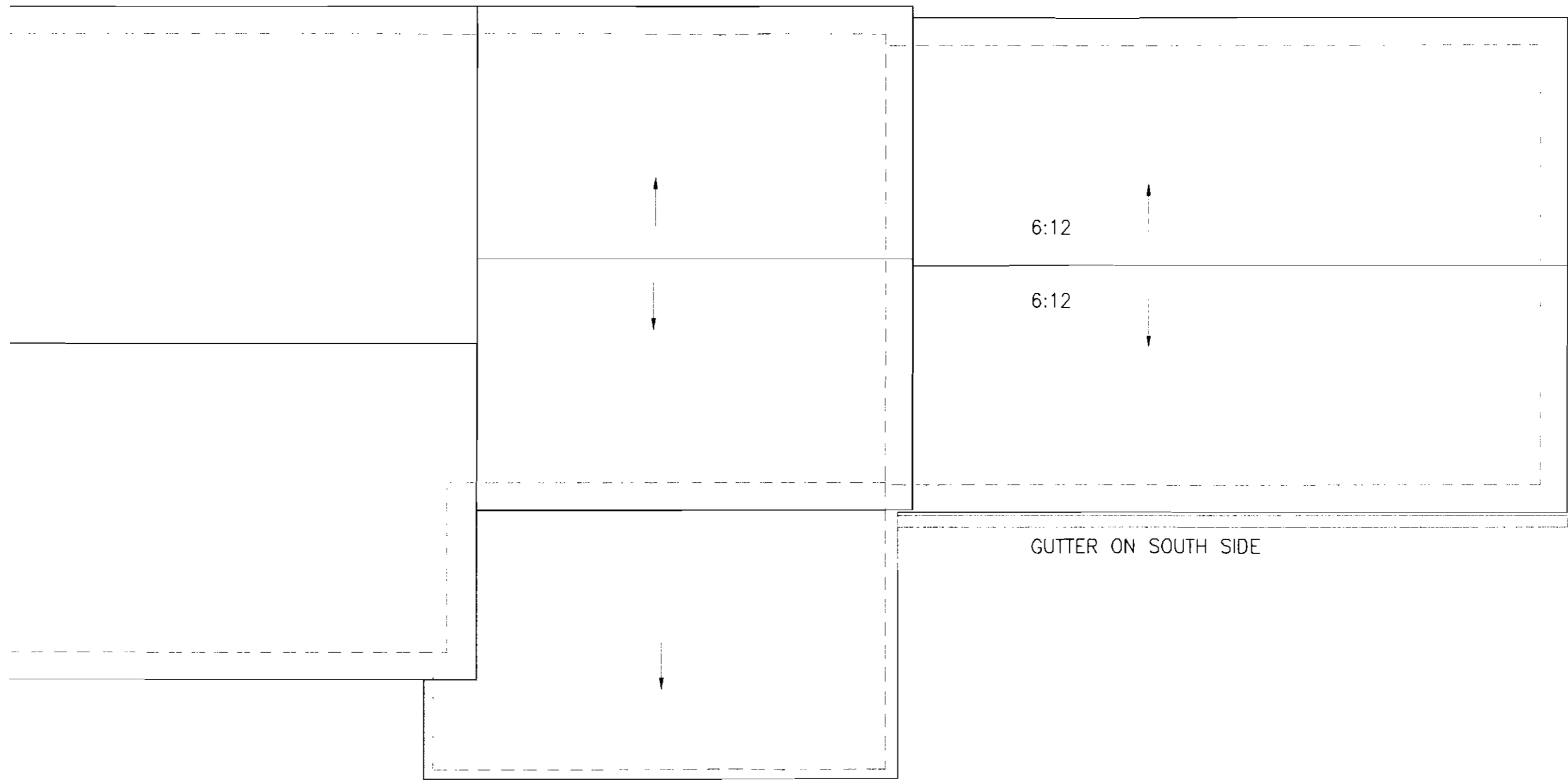
NOTE: ALL FRAMING MEMBERS TO BE #2 PINE UNLESS NOTED OTHERWISE

ALTERNATE FLOOR FRAMING: 2X12, 16" O.C. WITH NO LALLY COLUMNS.

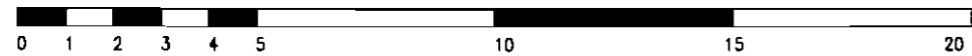
① FOUNDATION AND FLOOR FRAMING PLAN  
SCALE: 1/4"=1'-0"



LAVIGNE HOUSE 22 FERNALD STREET  
MARCH 22, 2010



① SCHEME H ROOF PLAN  
SCALE: 1/4"=1'-0"



LAVIGNE HOUSE 22 FERNALD STREET 2.11.2010 ENA

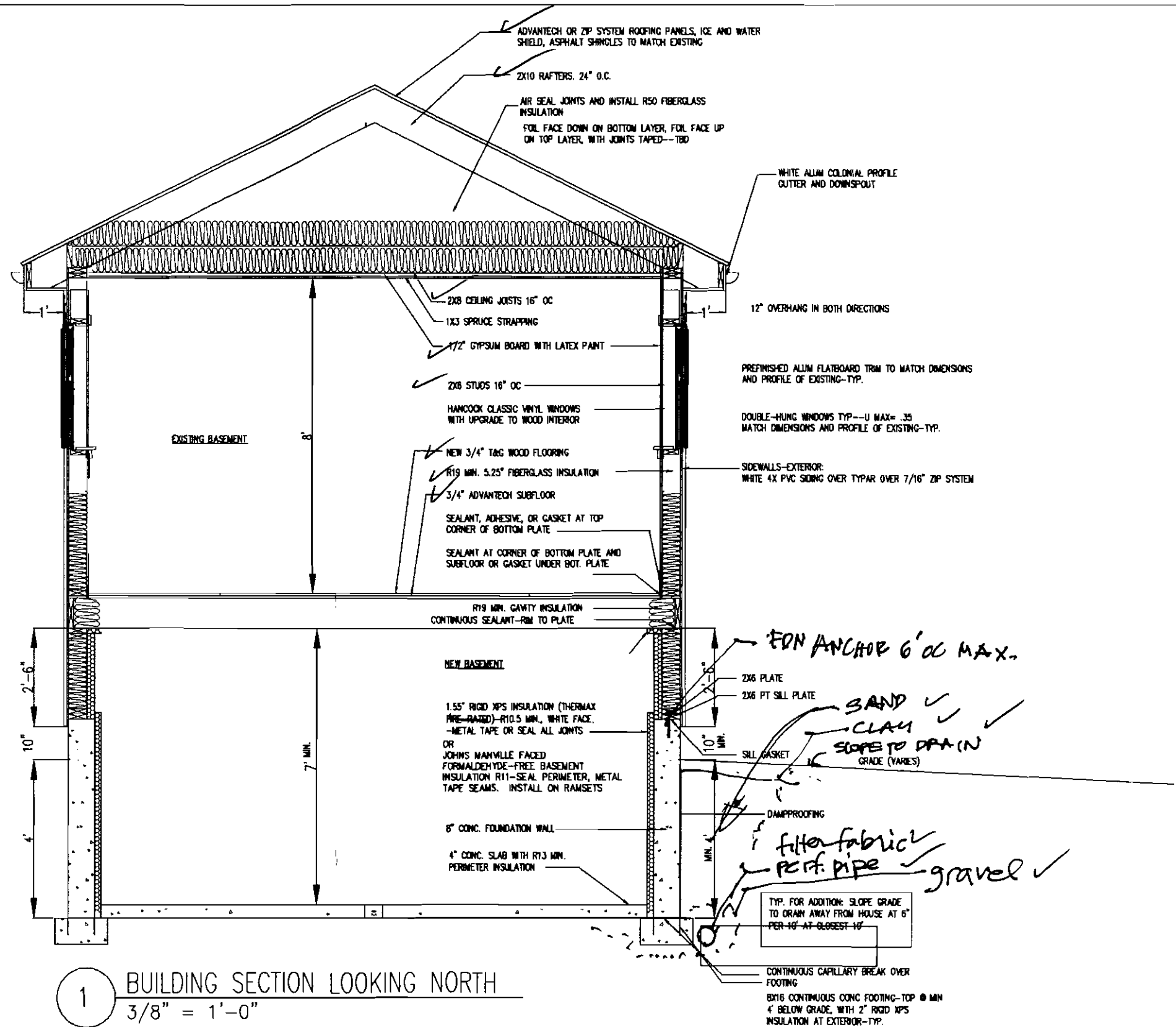
← EXISTING | NEW →



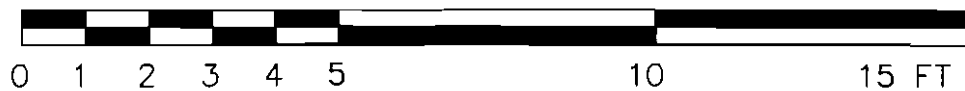
**AIR SEALING LOCATIONS:**

- \*EXTERIOR WALLS—CAULK JOINTS
- \*SHEATHING—METAL TAPE JOINTS
- \*DOOR AND WINDOW FRAMES
- \*PLUMBING, ELECTRICAL, AND DUCT PENETRATIONS THROUGH WALLS, FLOORS, CEILINGS, SOFFITS
- \*FOAM GASKETS BEHIND OUTLET AND SWITCH PLATES
- \*DRYWALL CEILING JOINTS/TOP PLATES OF WALLS AND PARTITIONS
- \*INSTALL KITCHEN EXHAUST FAN COVERS AT INTERIOR (MAGNETS)—OWNER
- \*CHIMNEY BALLOON (OWNER)

EXTEND HEATING/BASEBOARD INTO ADDITION—COORDINATE WITH ARCHITECT—LAYOUT TO BE REVIEWED TO ENSURE IT WILL NOT INTERFERE WITH FUTURE OPTION TO MODIFY STAIRS



1 BUILDING SECTION LOOKING NORTH  
3/8" = 1'-0"



LAVIGNE HOUSE 22 FERNALD STREET  
03.22.2010 ELIZABETH NEWMAN ARCHITECT