

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF MAINE RESIDENTIAL DESIGN. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE PRODUCT OF ANY ARCHITECT. NEITHER MAINE RESIDENTIAL DESIGN OR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT BY PROVIDING YOU WITH THIS INFORMATION MAINE RESIDENTIAL DESIGN DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



LEFT ELEVATION



BACK ELEVATION

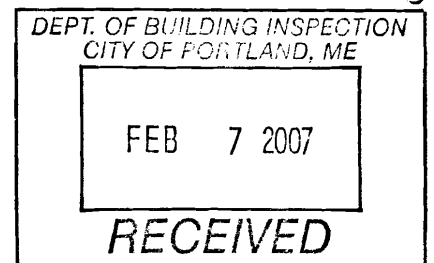


FRONT ELEVATION



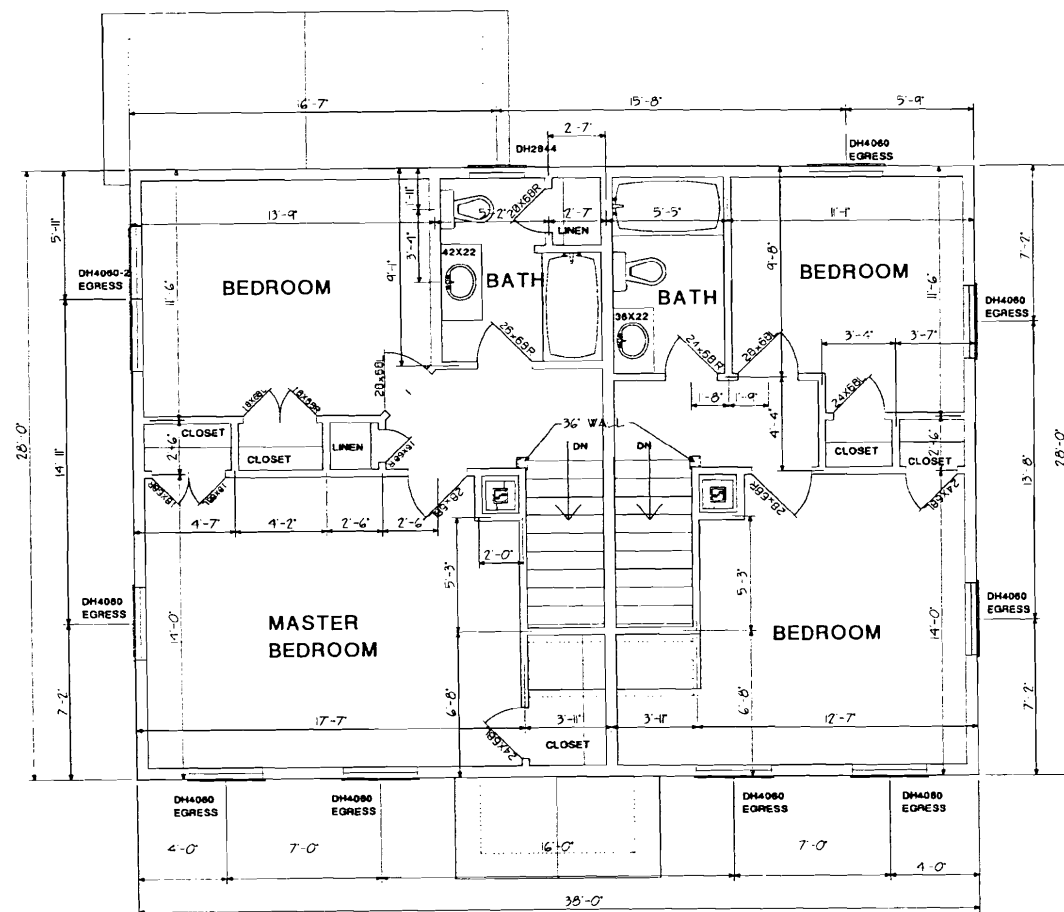
RIGHT ELEVATION

Revised - moved side entry

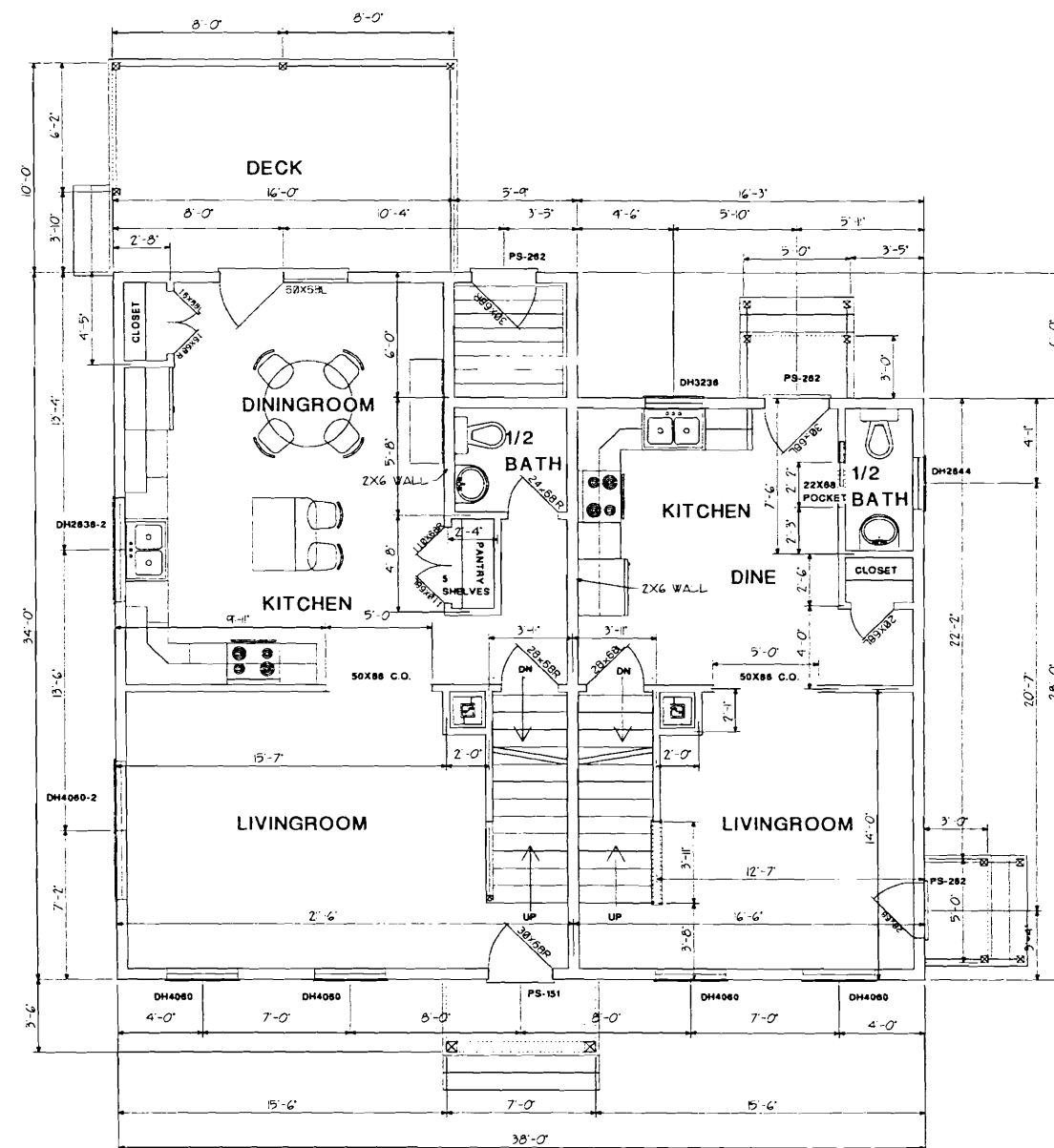


MAINE RESIDENTIAL DESIGN	FILE NAME
CASCO, ME. 207-627-3362	1 OF 6
JOB: NICK & JENNA GUERRETTE	SCALE: 1/4"=1'-0"
DISCRIPTION: ELEVATIONS	DATE: 1/08/07
	DRAWN BY: MEJ
	APPROVED:

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF MAINE RESIDENTIAL DESIGN. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THIS INFORMATION IS NOT THE PRODUCT OF ANY ARCHITECT. NEITHER MAINE RESIDENTIAL DESIGN OR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITHIN THE STATE OF MAINE AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT BY PROVIDING YOU WITH THIS INFORMATION, MAINE RESIDENTIAL DESIGN DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



SECOND FLOOR PLAN



FIRST FLOOR PLAN

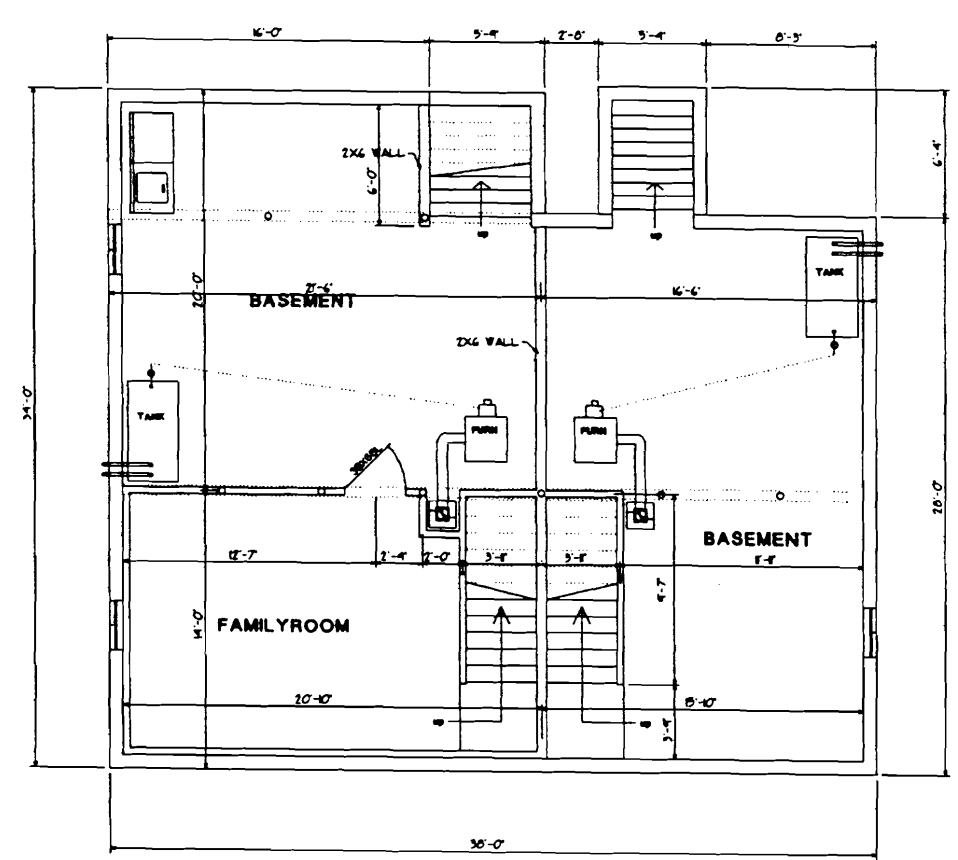
WINDOW SCHEDULE		
TYP	STYLE / SIZE	QTY
DH4080	DOUBLEHUNG 40" X 80" RO.	12
DH4080-2	DOUBLEHUNG 80" X 80" RO.	2
DH2836-2	DOUBLEHUNG 56" X 36" RO.	1
DH2844	DOUBLEHUNG 28" X 44" RO.	2
DH3238	DOUBLEHUNG 32" X 36" RO.	1

DOOR SCHEDULE		
TYP	STYLE / SIZE	QTY
FWH80811	ANDERSEN HINGED PATIO DOOR	1
PS-151	30X88 RH IS, 8-9/16 JAMB STEEL	1
PS-282	30X88 RH IS, 8-9/16 JAMB STEEL	1
PS-282	30X88 LH IS, 8-9/16 JAMB STEEL	1
PS-282	28X88 LH IS, 8-9/16 JAMB STEEL	1
INTERIOR DOORS		
28X88R	28X88 RH 4-9/16 JAMB 8-PANEL	2
28X88L	28X88 LH 4-9/16 JAMB 8-PANEL	4
28X88R	28X88 RH 4-9/16 JAMB 8-PANEL	1
24X88L	24X88 LH 4-9/16 JAMB 8-PANEL	3
24X88R	24X88 RH 4-9/16 JAMB 8-PANEL	2
20X88R	20X88 RH 4-9/16 JAMB 8-PANEL	1
20X88L	20X88 LH 4-9/16 JAMB 8-PANEL	1
18X88R	18X88 RH 4-9/16 JAMB 8-PANEL	1
18X88M-M	18X88 M-M 4-9/16 JAMB 8-PANEL	1
18X88M-M	18X88 M-M 4-9/16 JAMB 8-PANEL	2
110X88M-M	110X88 M-M 4-9/16 JAMB 8-PANEL	1
22X88POCKET	22X88 POCKET DOOR 8-PANEL	1

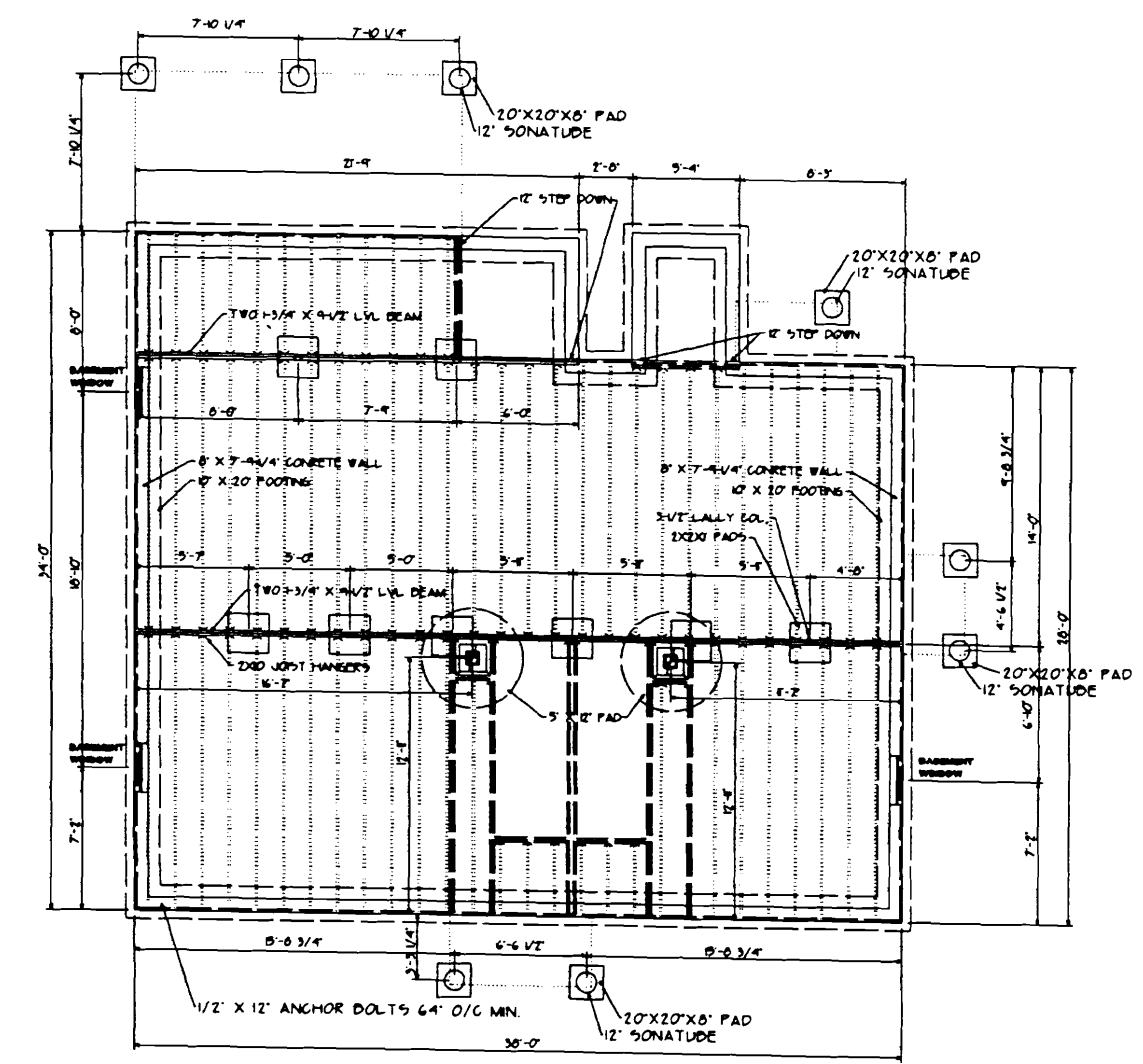


MAINE RESIDENTIAL DESIGN	FILE NAME
CASCO, ME. 207-627-3362	2 OF 6
JOB: NICK & JENNA GUERRETTE	SCALE: 1/4"=1'-0"
DISCIPTION: PRELIMINARY	DATE: 1/08/07
	DRAWN BY:MEJ
	APPROVED:

THIS INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF MAINE RESIDENTIAL DESIGN. CUSTOMERS SHOULD APPROPRIATELY UNDERSTAND THAT THIS INFORMATION IS NOT THE PRODUCT OF ANY ARCHITECT, NEITHER MAINE RESIDENTIAL DESIGN OR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITH THE STATE OF MAINE AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING FINAL ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT BY PROVIDING YOU WITH THIS INFORMATION MAINE RESIDENTIAL DESIGN DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



BASEMENT

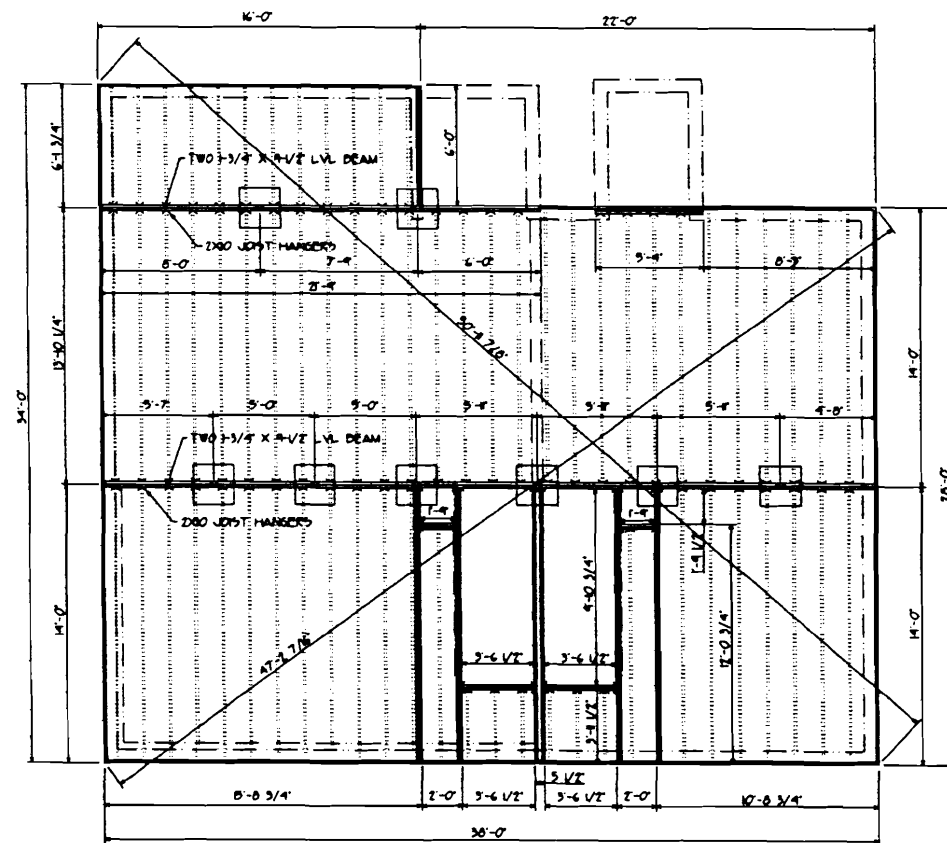


FOUNDATION PLAN

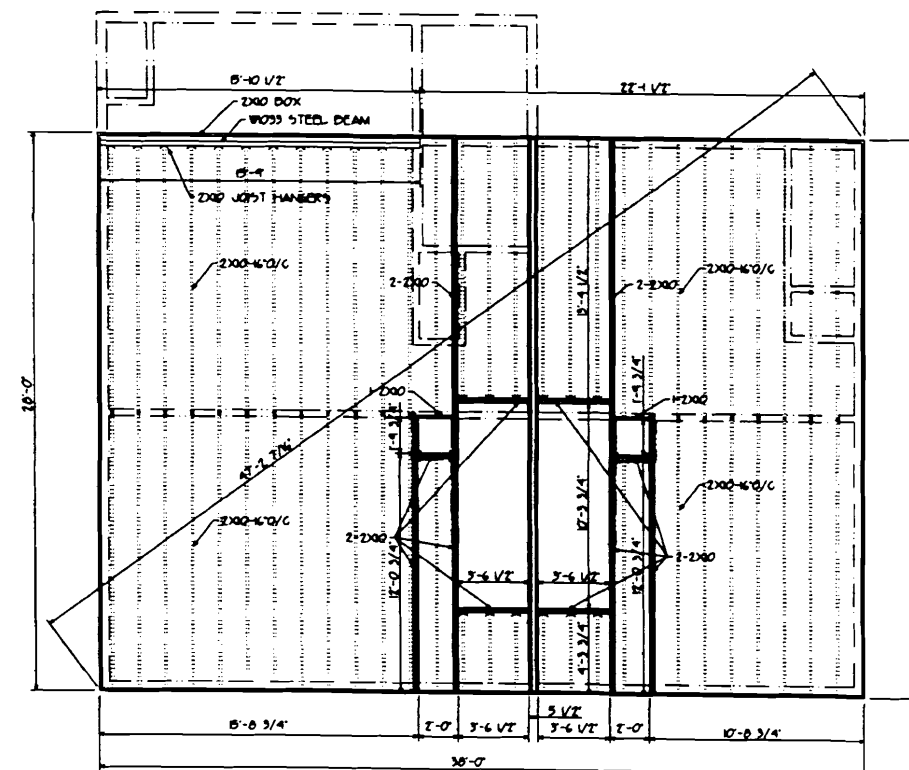


MAINE RESIDENTIAL DESIGN	FILE NAME
CASCO, ME. 207-627-3362	3 OF 6
JOB: NICK & JENNA GUERRETTE	SCALE: 1/4" = 1'-0"
DISCIPLINE: BASEMENT / FOUNDATION	DATE: 10/20/20
	DRAWN BY: MEJ
	APPROVED:

THE INFORMATION IS PROVIDED TO OUR CUSTOMERS AS A SERVICE OF MAINE RESIDENTIAL DESIGN. CUSTOMERS SHOULD APPRECIATE, HOWEVER, THAT THE INFORMATION IS NOT THE PRODUCT OF ANY ARCHITECT, NEITHER MAINE RESIDENTIAL DESIGN OR ANY OF ITS EMPLOYEES ARE REGISTERED ARCHITECTS WITH THE STATE OF MAINE AND CUSTOMERS MAY WANT TO CONSULT WITH AN ARCHITECT BEFORE TAKING ANY ACTION WITH REGARD TO ANY BUILDING OR STRUCTURE. CUSTOMERS SHOULD ALSO APPRECIATE THAT BY PROVIDING YOU WITH THIS INFORMATION MAINE RESIDENTIAL DESIGN DOES NOT GUARANTEE THE SOUNDNESS OR SUITABILITY OF THE INFORMATION FOR ANY PURPOSE OF THE CUSTOMER.



FIRST FLOOR FRAMING PLAN



SECOND FLOOR FRAMING PLAN



MAINE RESIDENTIAL DESIGN	FILE NAME
CASCO, ME. 207-627-3362	4 OF 6
JOB: NICK & JENNA GUERRETTE	SCALE: 1/4\"=1'-0"
DISCRIPTION: FLOOR FRAMING PLANS	DATE: 09/07
	DRAWN BY: MJD
	APPROVED:

16'-0"

3-2X6 BEAM

2X8-16'0"/C

20'X20'X8" PAD

12" SONATUBE

2-2X8

2X8 JOIST HANGERS

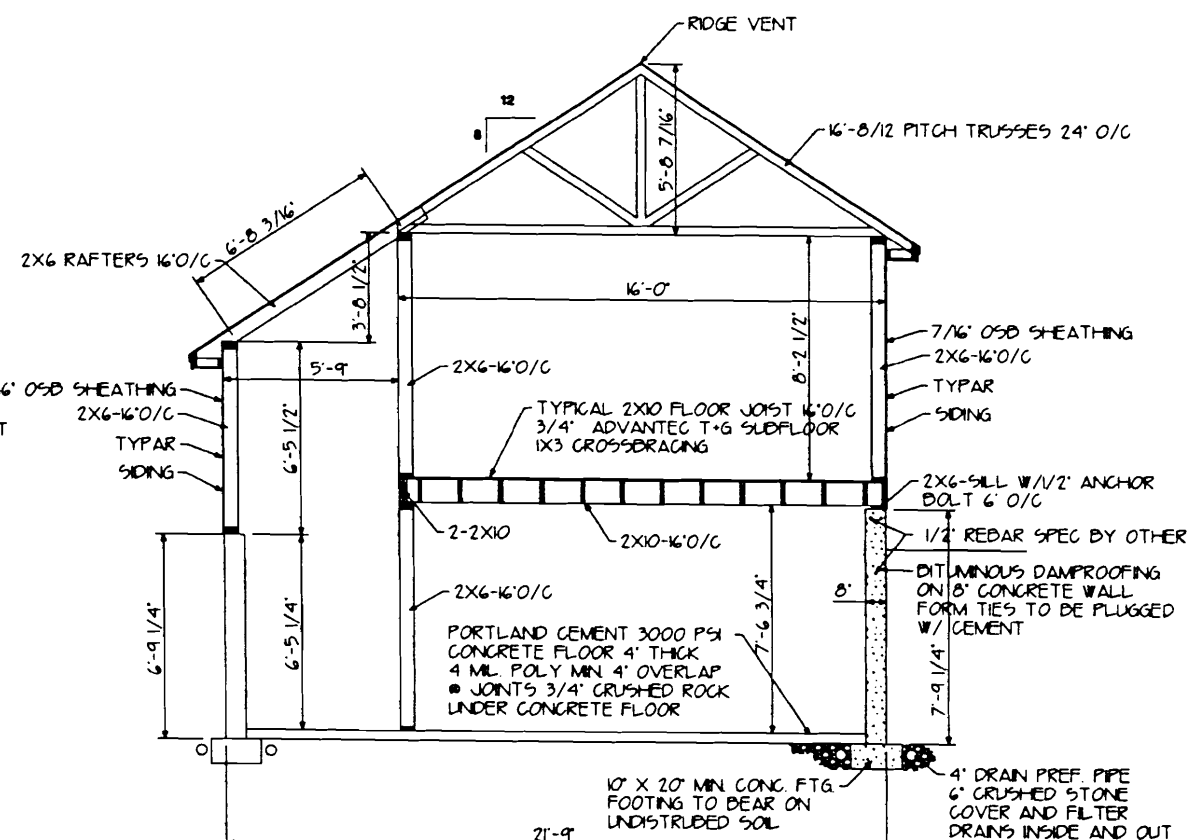
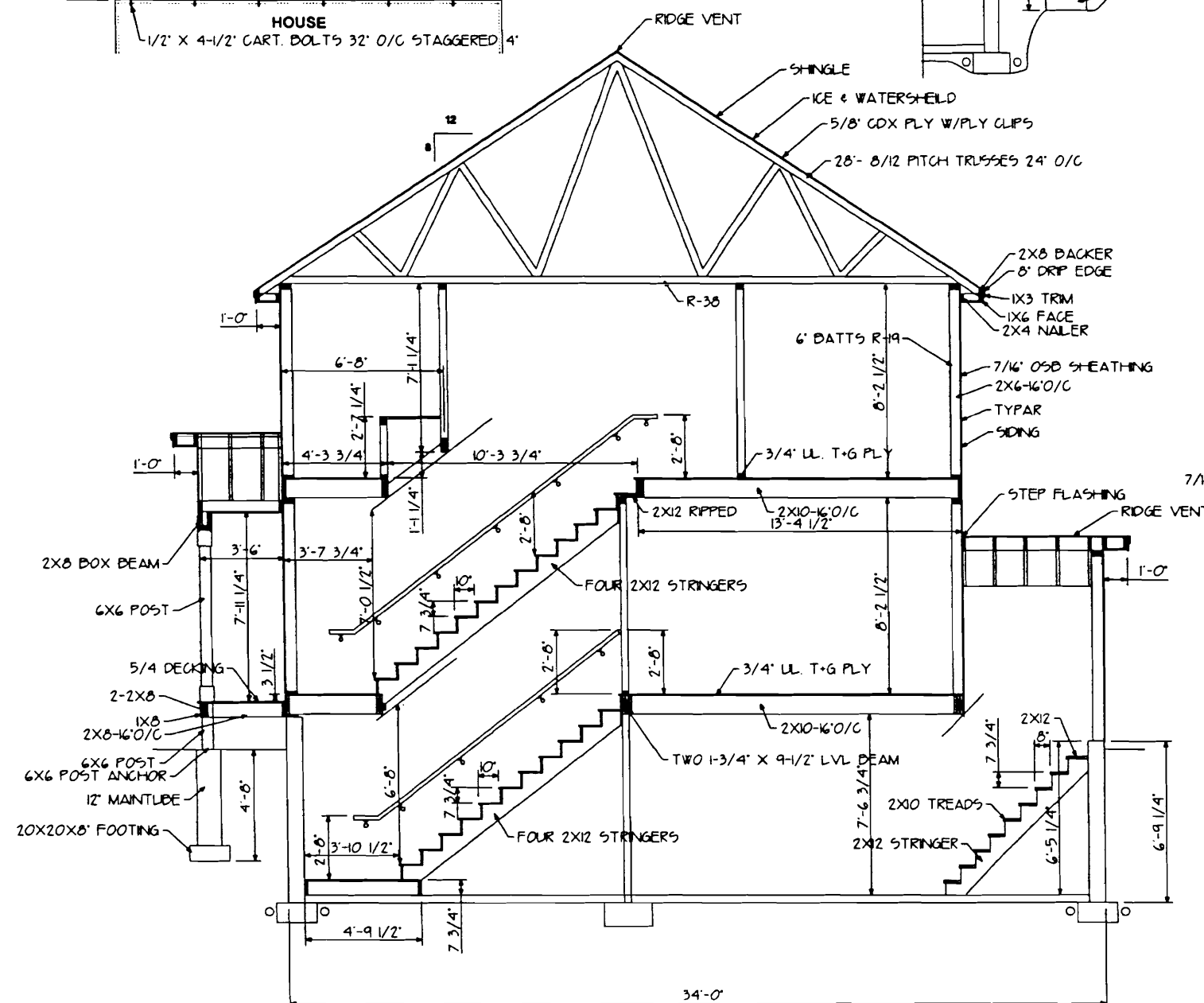
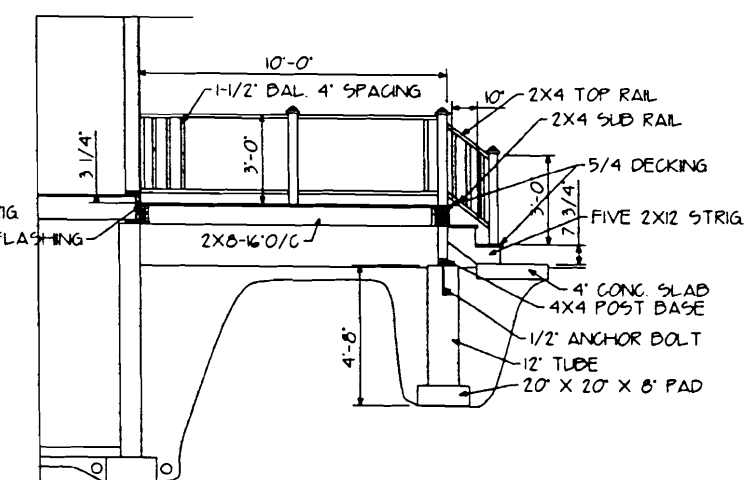
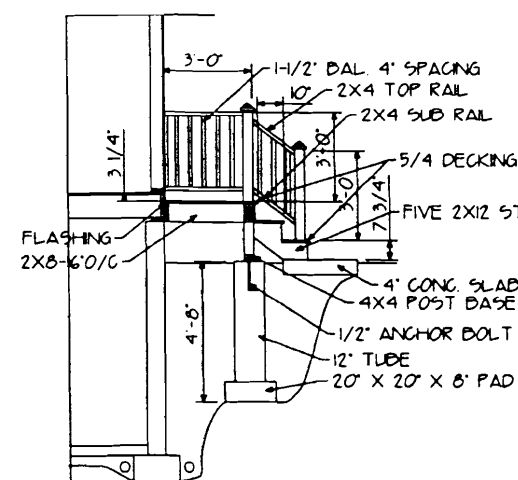
10'-0"

2-2X6

HOUSE

1/2" X 4-1/2" CART. BOLTS 32" O/C STAGGERED 4"

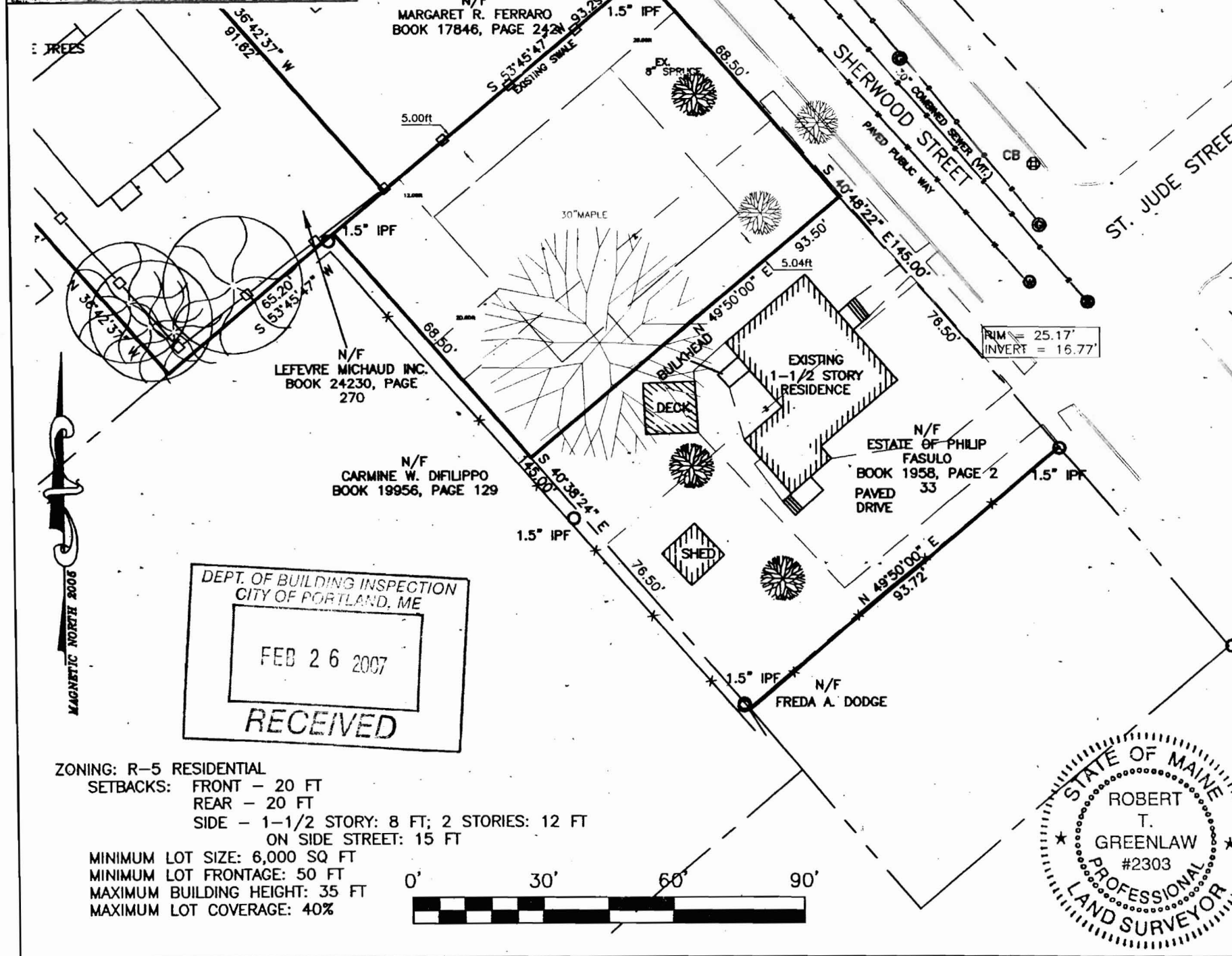
RIDGE



MAINE RESIDENTIAL DESIGN	FILE NAME
CASCO, ME. 207-627-3362	5 OF 6
JOB: NICK & JENNA GUERRETTE	SCALE: 3/4" = 1'-0"
	DATE: 10/04/07
DESCRIPTION: SECTIONS PG A	DRAWN BY: M
	CHECKED BY:

MAINE RESIDENTIAL DESIGN	FILE NAME
CASCO, ME. 207-627-3362	6 OF 6
JOB: NICK & JENNA GUERRETTE	SCALE: 3/4"=1'-0"
	DATE: 05/07/07
DISPOSITION: SECTIONS PG B	DRAWN BY: MEJ
	APPROVED:

SITE LOCATION MAP:



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: NICHOLAS A. GUERRETTE BOOK 24692, PAGE 099 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
 2. BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION SHOWN ON PLAN REFERENCE 4a. THE EXISTING CONDITIONS WERE OBTAINED BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
 3. AREA OF SUBJECT PARCEL: 13,330.3 SQ. FT.
 4. REFERENCE IS MADE TO THE FOLLOWING PLANS:
a.) PLAN SHOWING A STANDARD BOUNDARY SURVEY FOR MARGARET FERRARO, 37 INVERNESS STREET, PORTLAND, MAINE PREPARED BY DANIEL J. DALFONSO, LLC. 87A OCEAN STREET SOUTH PORTLAND, MAINE DATED 10-04-2005 UNRECORDED.
b.) CITY OF PORTLAND TAX MAP 168-F LOTS 12,13, &14
c.) CITY OF PORTLAND SEWER SYSTEM INFILTRATION-INFLOW ANALYSIS STUDY AREA III SHEET III-17.
 5. THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON THE INVERT ELEVATION OF THE MANHOLE DIRECTLY IN FRONT OF 31 INVERNESS STREET. SHOWN ON THE ABOVE REFERENCED SEWER PLAN WITH AN INVERT ELEVATION OF 19.914 FEET. ELEVATIONS BASED UPON N.G.V.D. 1929 CITY OF PORTLAND DATUM.
 6. THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY OTHER THAN ZONING AND ORDINANCES AT THE TIME OF THIS SURVEY.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE C OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 7C, WHICH BEARS AN EFFECTIVE DATE OF 12-8-1998 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

- | | | |
|----------|---------------------------------------|---|
| CRF @ | Capped 5/8" Rebar Found | Existing Tree |
| IPFO | Iron Pipe Found | Sewer Manhole |
| (50.00') | Distance from reference plan or deed. | Drain Manhole |
| N/F | Now Or Formerly | Catch Basin |
| — Z — | Indicates Ownership in Common | 12345/99 Deed Book/Page of Local Registry |
| U | Utility Pole | Edge of Traveled Way |
| OHU | Overhead Utility | Setback Line |
| — A — | Abutter Line | Contour Line |
| — P — | Property Line | Old Lot Line |
| — S — | Street Line | |
| G | Approximate Gas Line | |
| W | Approximate Water Line | |

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2005 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT

ROBERT T. GREENLAW P.L.S., #2303
V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED: February 05 2007
DATE: January 11, 2007

REVISION 2: 02/05/2007 - REVISED PER WOODWARD&CURRAN NOTES
REVISION 1: 02/02/2007 - MOVED STEPS; ADDED NOTES ON PLANTING & DECK

EXISTING CONDITIONS SITE PLAN
274-276 SHERWOOD STREET PORTLAND, MAINE

FOR: Jenna & Nick Guerrette

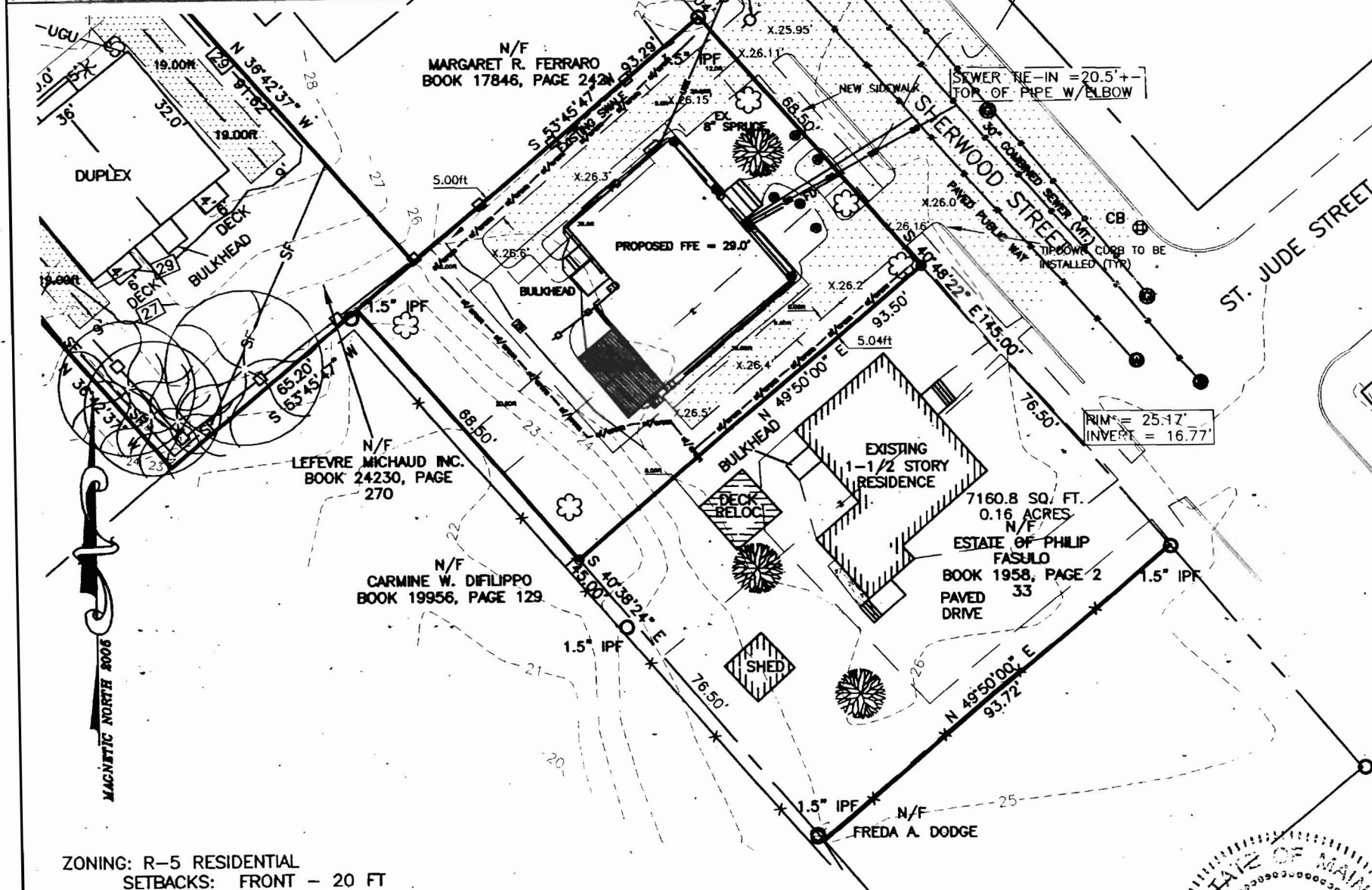
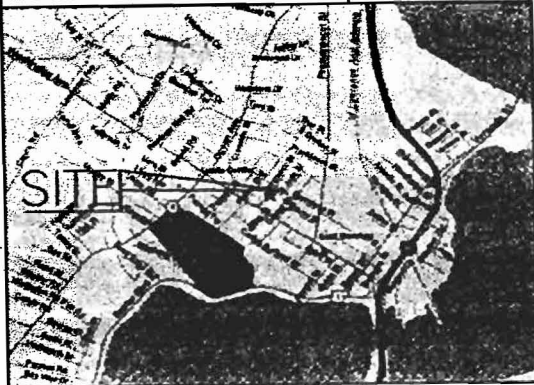
PREPARED BY: BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING

643 FOREST AVENUE
PORTLAND, MAINE 04101
207-774-2855 FAX 207-347-4346

DRAWN BY: DMD/RTG
CHECKED BY: RTG
SCALE: 1"=30'
DATE OF SURVEY: 10/13/2006
JOB NUMBER: 2006097
SHEET: 1 OF 3

DRAWER: 2006 NO: 097

SITE LOCATION MAP:



ZONING: R-5 RESIDENTIAL
 SETBACKS: FRONT - 20 FT
 REAR - 20 FT
 SIDE - 1-1/2 STORY: 8 FT; 2 STORIES: 12 FT
 ON SIDE STREET: 15 FT
 MINIMUM LOT SIZE: 6,000 SQ FT
 MINIMUM LOT FRONTAGE: 50 FT
 MAXIMUM BUILDING HEIGHT: 35 FT
 MAXIMUM LOT COVERAGE: 40%



GENERAL NOTES:

- RECORD OWNER OF PARCEL: NICHOLAS A. GUERRETTE, BOOK 24892, PAGE 099 AS RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS (C.C.R.D.).
 - BEARINGS ARE BASED UPON A MAGNETIC OBSERVATION SHOWN ON PLAN REFERENCE 4a. THE EXISTING CONDITIONS WERE OBTAINED BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT:
LIETZ SOKKISHA SET 3 TOTAL STATION, LIETZ SDR 33 DATA COLLECTOR, HAND-HELD MAGNETIC COMPASS.
 - AREA OF SUBJECT PARCEL: 6389.5 SQ. FT.
 - REFERENCE IS MADE TO THE FOLLOWING PLANS:
 a.) PLAN SHOWING A STANDARD BOUNDARY SURVEY FOR MARGARET FERRARO, 37 INVERNESS STREET, PORTLAND, MAINE, PREPARED BY DANIEL J. DALFONSO, LLC. 87A OCEAN STREET SOUTH PORTLAND, MAINE DATED 10-04-2005 UNRECORDED.
 b.) CITY OF PORTLAND TAX MAP 168-F LOTS 12,13, &14
 c.) CITY OF PORTLAND SEWER SYSTEM INFILTRATION-INFLOW ANALYSIS STUDY AREA III SHEET III-17.
 - THE ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON THE INVERT ELEVATION OF THE MANHOLE DIRECTLY IN FRONT OF 31 INVERNESS STREET. SHOWN ON THE ABOVE REFERENCED SEWER PLAN WITH AN INVERT ELEVATION OF 19.914 FEET. ELEVATIONS BASED UPON N.G.V.D. 1929 CITY OF PORTLAND DATUM.
 - THERE WERE NO APPARENT EASEMENTS OR RESTRICTIONS BURDENING OR BENEFITING SUBJECT PROPERTY OTHER THAN ZONING AND ORDINANCES AT THE TIME OF THIS SURVEY.
 - NO SIGNIFICANT CHANGES TO THE TOPOGRAPHY ARE PLANNED, WITH EXCEPTION OF FINAL GRADING AROUND THE BUILDING.
 - PER RECOMMENDATION OF PORTLAND PUBLIC WORKS ENGINEERING THE FOUNDATION DRAIN WILL RUN TO THE STREETLINE IN A SEPARATE PIPE TO A TEE FITTING THAT WILL COMBINE THE SEWER AND STORMWATER INTO ONE PIPE THAT ATTACHES TO THE 30" SEWER PIPE EXISTING IN SHERWOOD STREET. AT THE TIME OF RECONSTRUCTION AND SEWER SEPARATION THE TWO PIPES WILL BE SEPERATED.
 - THE DECK ON THE ABUTTING PROPERTY SHALL BE RELOCATED A MINIMUM OF 8 FEET AWAY FROM THE SIDE PROPERTY LINE AND IN COMPLIANCE WITH OTHER ZONING ORDINANCE REQUIREMENTS.
 - SHRUBS SHALL BE PLANTED ALONG THE FRONT FOUNDATION OF THE BUILDING. THE NUMBER, SPECIES AND SIZE OF THE PLANTINGS SHALL BE REVIEWED AND APPROVED BY THE CITY ARBORIST.
 - THE BUILDING GUTTERS ARE TO BE TIED INTO THE FOUNDATION DRAIN.
- BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS IN ZONE 'C' OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 230051 7C, WHICH BEARS AN EFFECTIVE DATE OF 12-8-1998 AND IS NOT IN A SPECIAL FLOOD HAZARD AREA.

LEGEND

- | | |
|---|--|
| CRF ● Capped 5/8" Rebar Set | ● Sewer Manhole |
| IPF ● Capped 5/8" Rebar Found | ● Catch Basin |
| ○ Iron Pipe Found | |
| (30.00') Distance from reference plan or deed. | 12345/99 Deed Book/Page of Local Registry |
| N/F Now Or Formerly Indicates Ownership in Common | ① Lot Number |
| — Utility Pole | — Edge of Traveled Way |
| — Overhead Utility | — Setback Line |
| — Proposed Underground Utility | — Contour Line |
| — Abutter Line | — Contour Line (Proposed) |
| — Property Line | — Old Lot Line |
| — Street Line | ● Existing Tree |
| — G — Approximate Gas Line | ● Tree to Be Planted, Minimum 2-1/2" Diameter (See Note 10.) |
| — W — Approximate Water Line. | ● Ornamental Landscaping Bush or Plant |

SURVEYORS STATEMENT:

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2005 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT

ROBERT T. GREENLAW P.L.S., #2303
 V. PRESIDENT BACK BAY BOUNDARY, INC.

REVISED: February 05, 2007
 DATE: JANUARY 11, 2007

REVISION 2: 02/05/2007 - REVISED PER WOODWARD&CURRAN NOTES

REVISION 1: 02/02/2007 - MOVED STEPS; ADDED NOTES ON PLANTING & DECK

MINOR SITE PLAN FOR A PROPOSED DUPLEX
 274-276 SHERWOOD STREET PORTLAND, MAINE

Jenna & Nick Guerrette

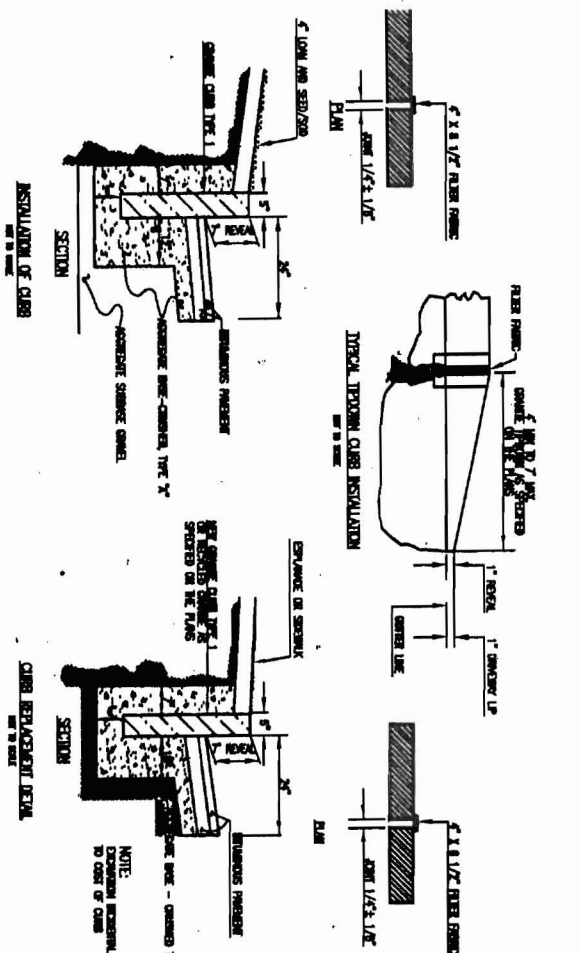
DRAWN BY: DMD/RTG	DATE OF SURVEY: 10/13/2006
CHECKED BY: RTG	JOB NUMBER: 2006097
SCALE: 1"=30'	REV
	SHEET: 2 OF 3

PREPARED BY:
 BACK BAY BOUNDARY, INC.
 PROFESSIONAL LAND SURVEYING

643 FOREST AVENUE
 PORTLAND, MAINE 04101

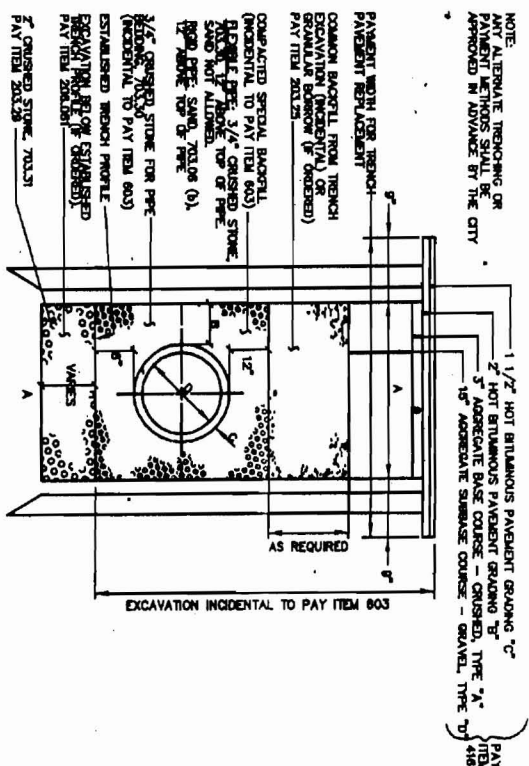
207-774-2855 FAX 207-347-4346

DRAWER: 2006 NO: 097



TYPICAL INSTALLATION OF CURB

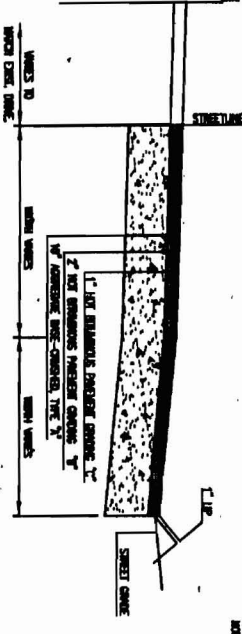
TYPICAL PIPE INSTALLATION DETAIL



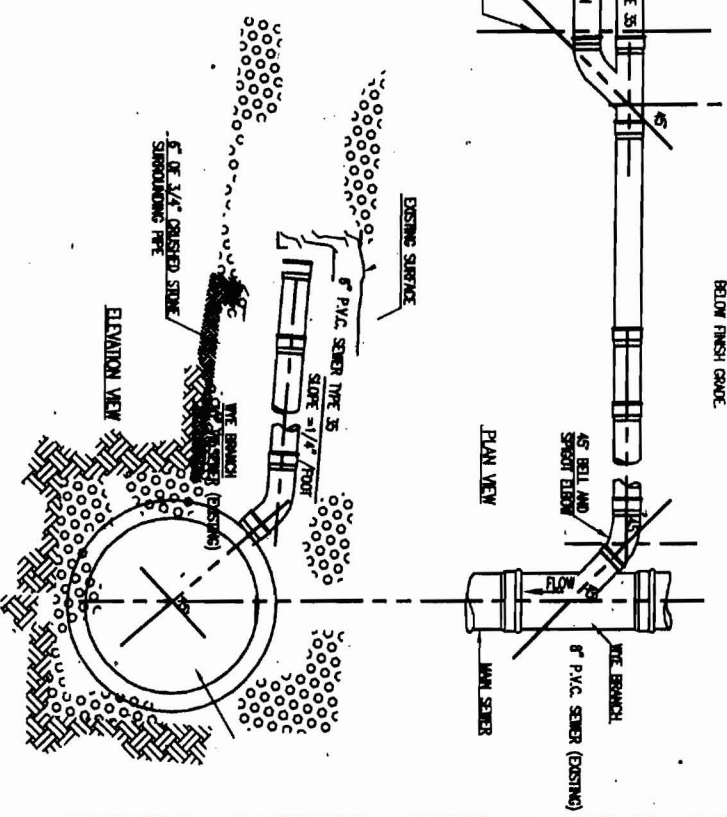
9' TO 12' VARIES



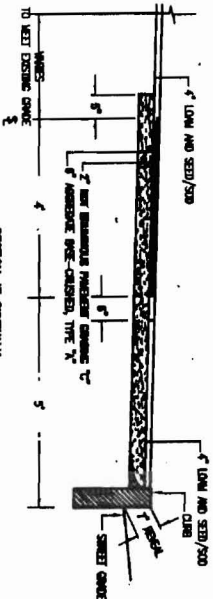
TYPICAL DRIVEWAY SECTION (NOT TO SCALE)



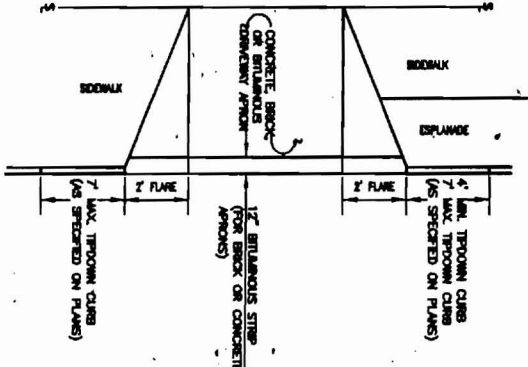
TYPICAL HOUSE LATERAL WYE CONNECTION DETAILS



TYPICAL DRIVEWAY SECTION WITH EASEMENT



TYPICAL DRIVEWAY SECTION (NOT TO SCALE)

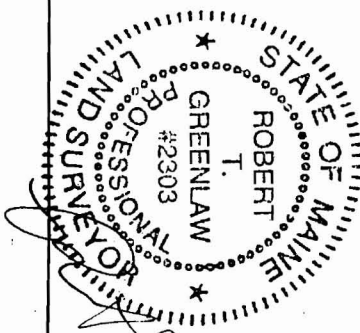


TYPICAL DRIVEWAY SECTION (NOT TO SCALE)

- INSTALLATION:
1. EXCAVATE A 6\"
 2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
 3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2\"
 4. LAY THE 1/2\"
 5. BARRIER SHALL BE UNLAWY SALT FENCE OR APPROVED EQUIV.

ELITE BARRIER

DETAIL SHEET

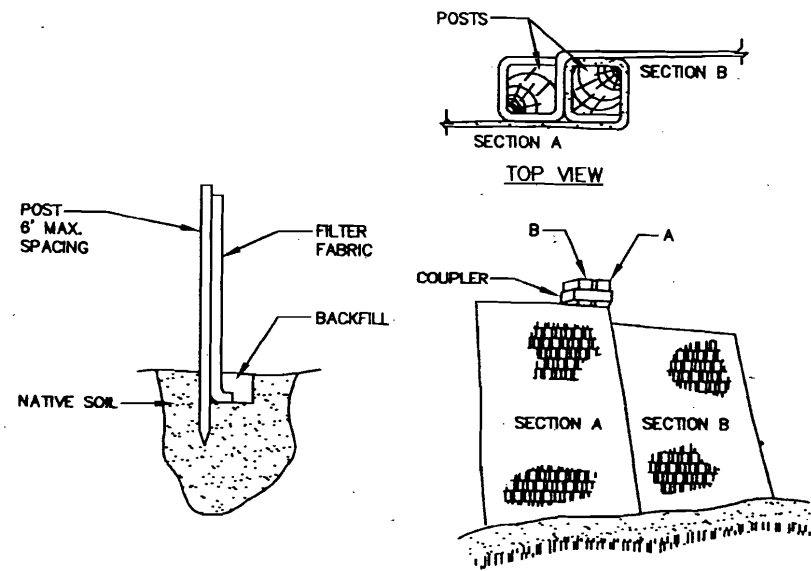


REVISED: February 05 2007
DATE: JANUARY 11, 2007

REVISION 2: 02/05/2007 - REVISED PER WOODWARD&CURRAN NOTES
REVISION 1: 02/02/2007 - MOVED STEPS; ADDED NOTES ON PLANTING.& DECK
MINOR SITE PLAN FOR A PROPOSED DUPLEX 274-276 SHERWOOD STREET PORTLAND, MAINE
FOR: Jenna & Nick Guerrette

PREPARED BY: BACK BAY BOUNDARY, INC. PROFESSIONAL LAND SURVEYING 643 FOREST AVENUE PORTLAND, MAINE 207-774-2855 FAX 207-347-4346	DRAWN BY: RTG / pjm	
	CHECKED BY: PJM	
DATE OF SURVEY: N/A JOB NUMBER: 2006135 SHEET: 3 OF 3	SCALE: N.T.S.	
	REV 2 DATE 02/05/2007	

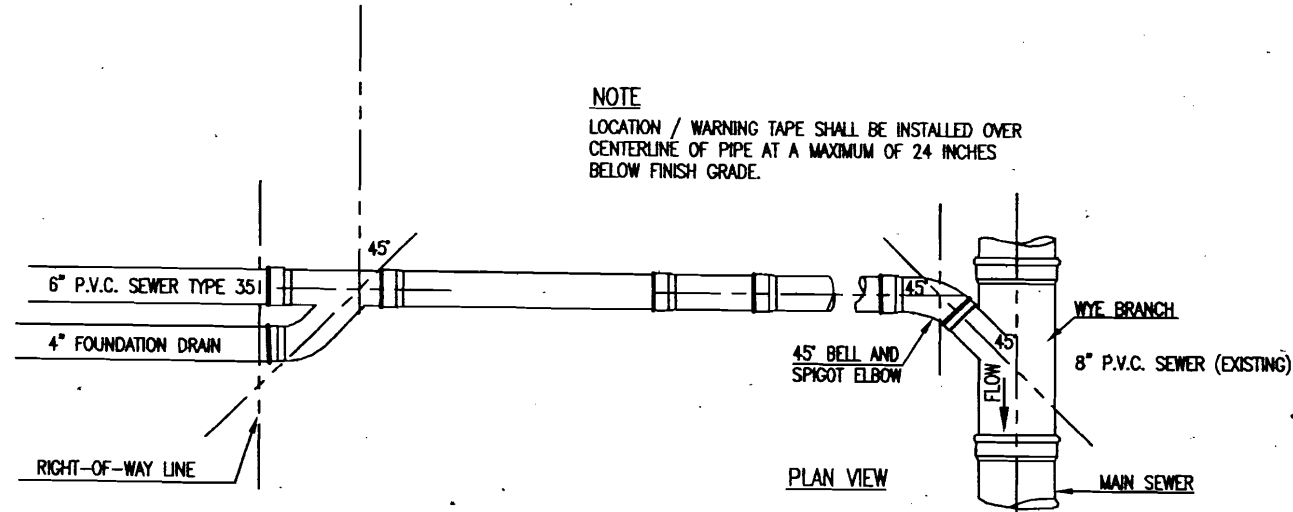
Z:\2006135.dwg, 1/11/2007 6:15:34 PM



INSTALLATION:

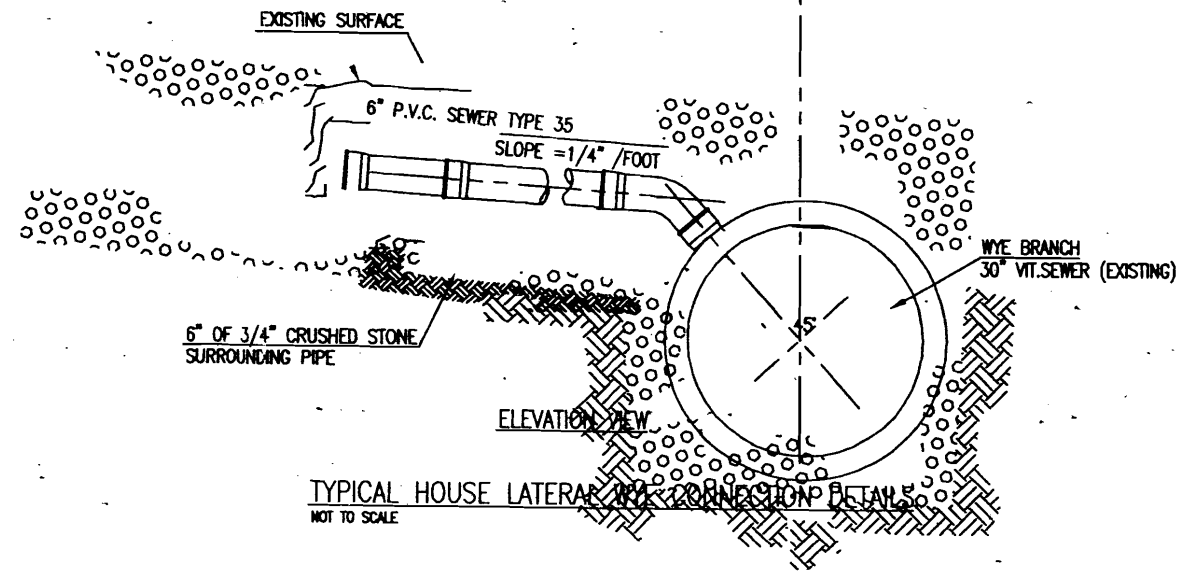
1. EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
2. UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
3. DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM. JOIN SECTION AS SHOWN ABOVE.
4. LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH. BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
5. BARRIER SHALL BE MIRAFI SILT FENCE OR APPROVED EQUAL.

FILTER BARRIER
NOT TO SCALE

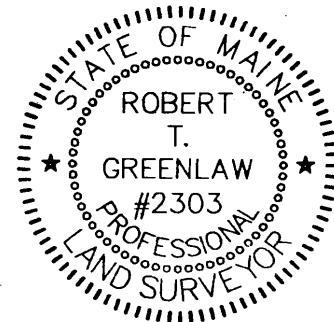


NOTE

LOCATION / WARNING TAPE SHALL BE INSTALLED OVER CENTERLINE OF PIPE AT A MAXIMUM OF 24 INCHES BELOW FINISH GRADE.



DETAIL SHEET



MINOR SITE PLAN FOR A PROPOSED DUPLEX
274-276 SHERWOOD STREET PORTLAND, MAINE

FOR:
Jenna & Nick Guerrette

DRAWN BY: RTG / pjm

CHECKED BY: PJM

SCALE: N.T.S.

DATE OF SURVEY: N/A

JOB NUMBER:
2006060

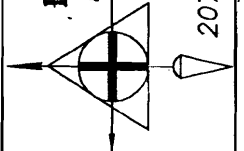
REV 2 DATE
08/19/2006

SHEET: 3 OF 3

PREPARED BY:
BACK BAY BOUNDARY, INC.
PROFESSIONAL LAND SURVEYING

643 FOREST AVENUE
PORTLAND, MAINE

207-774-2855 FAX 207-347-4346



DRAWER: 2006 NO: 060