

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 020745

Please Read Application And Notes, If Any, Attached

This is to certify that Fowle Florence E/Advanced Building & W... Company
has permission to Add 10' x 12' Sunroom
AT 2 Parkside Condo 167 H001002

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must given and written permission procured before this building or part thereof is altered or occupied. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Signature]
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED		Permit No: 02-0745	Issue Date: 07/10/2002	CBL: 167 H001002
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Location of Construction: 2 Parkside Condo / 59 Johanson St	Owner Name: Fowle Florence E	Owner Address: 59 Johanson St Unit 2	Phone: 207-772-3028
Business Name: n/a	Contractor Name: Advanced Siding & Window, Comp	Contractor Address: 335 RT 125 Brentwood	Phone: 6036792844
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Additions - Dwellings	Zone: RS

Past Use: Condominium / Private Residence	Proposed Use: Condominium / Add 3 season 10' x 12' Sunroom.	Permit Fee: \$156.00	Cost of Work: \$19,000.00	CEO District: 2
Proposed Project Description: Add 10' x 12' Sunroom <i>single fam part of approved duplex</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: RS Type: 5B 8/14/02	
		Signature: _____		Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: gg	Date Applied For: 07/10/2002	Zoning Approval
------------------------	---------------------------------	------------------------

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: <i>ok per revised submittal</i> <i>7/29/02</i>	Date: _____	Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

 SIGNATURE OF APPLICANT ADDRESS DATE PHONE

 RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

9/27/02 Pre-con meeting on site at home

10/8/02 Setback inspection OK. to proceed for

0205743

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

2 PARKSIDE CONDO

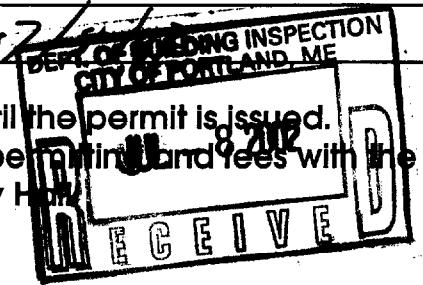
Location/Address of Construction: 59 South Street <u>Poetland, ME.</u>		
Total Square Footage of Proposed Structure <u>120</u>	Square Footage of Lot <u>75560</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>167</u> Block# <u>H</u> Lot# <u>1</u>	Owner: <u>Florence Fowle</u>	Telephone: <u>207-772-3028</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>ADVANCED SLIDING WINDOWS</u> <u>335 RT 125, BRENTWOOD, NH,</u> <u>03833 - 1800-519-9944</u>	Cost Of Work: \$ <u>19,000.00</u> Fee: \$ 163.00 <u>154</u>
Current use: <u>PRIVATE RESIDENCE</u>		
If the location is currently vacant, what was prior use:		<u>Applicant</u>
Approximately how long has it been vacant:		<u>will fix</u>
Proposed use: <u>PATIO ROOM (SEASONAL)</u>		<u>condo parking</u>
Project description: <u>3 SEASON SUNROOM.</u>		
Contractor's name, address & telephone: <u>ADVANCED WINDOW + SLIDING CO.</u> <u>1800-519-9944</u> <u>335 RT 125, BRENTWOOD, NH. 03833</u>		
Who should we contact when the permit is ready: <u>STEVE McFHERSON</u>		
Mailing address: <u>335 RT 125 BRENTWOOD, NH. 03833</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>1-800-519-9944</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u> <u>STEVE McFHERSON</u>	Date: <u>7/2/02</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall.



Delete Schedule Add End Images Print Permit Print C of O Print Insp

Prmt Text93 23406 Constr Type New Num1

Permit Nbr 02-0745 Location of Construction 2 Parkside Condo Appl. Date
Status Hold Permit Type Additions - Dwellings Issue Date
CBL 167 H001002 Territory Nbr 2 Estimated Cost \$19,000.00 Date Closed

Comment Date Comment Add Delete Save

07/31/2002 Floor system fails to meet acceptable span/spacing, Contractor notified MJN.

Name mjn Follow Up Date Completed

CreatedBy gg CreateDate 07/10/2002 ModBy mjn ModDate 07/31

Application ID Number: 2-0745

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 07/22/2002 - R-3 zone requ. 8' setback and only 4' shown - left message for owner- she deferred to contractor
7/24/02 received revised plans from contractor - shows more than the required 8' to the side setbacks

Approval Date: 07/29/2002

Given By Date: 07/15/2002

OK to Issue Permit Name: Marge Schmuckal Date: 07/29/2002 Date 2:

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This approval is based upon the revised plans submitted that show 8 foot plus for a side setback.

Create Date: 07/10/2002

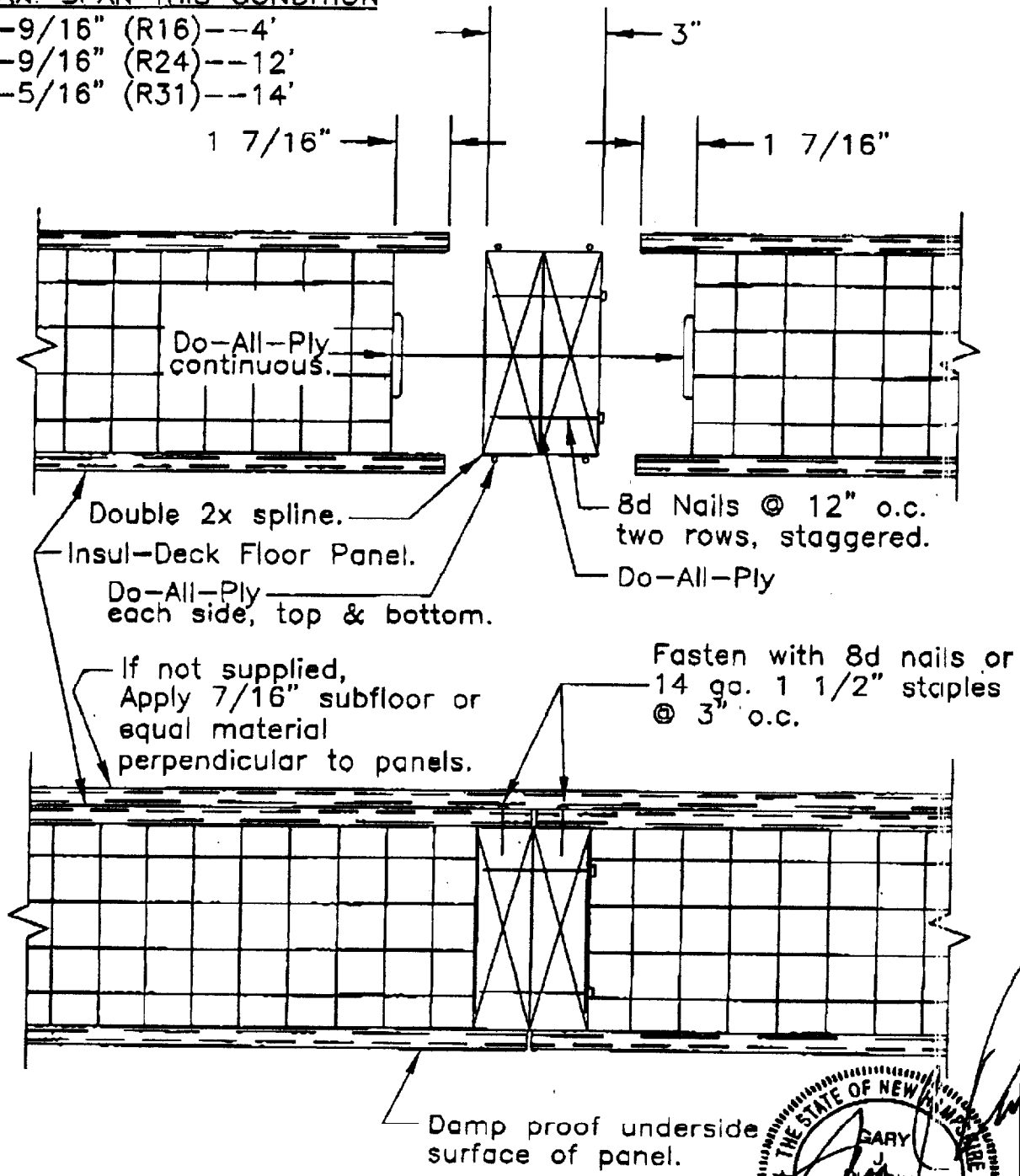
By: gg

Update Date: 07/29/2002

By: mes

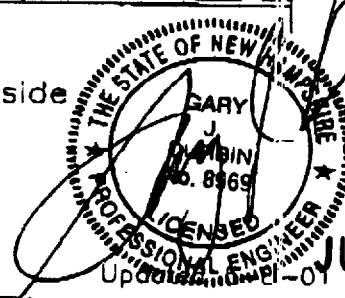
MAX. SPAN THIS CONDITION

- 4-9/16" (R16) -- 4'
- 6-9/16" (R24) -- 12'
- 8-5/16" (R31) -- 14'



SECTION/PLAN

Scale: 3"=1'



JUL 31 2002

INSUL-DECK Floor Panel	
TITLE: Spline Connection Double 2x	NO. JMID-101



Date: 7/24/03

To: Marge

From: ADVANCED SIDING & WINDOW CO.

Phone: 800-519-9944

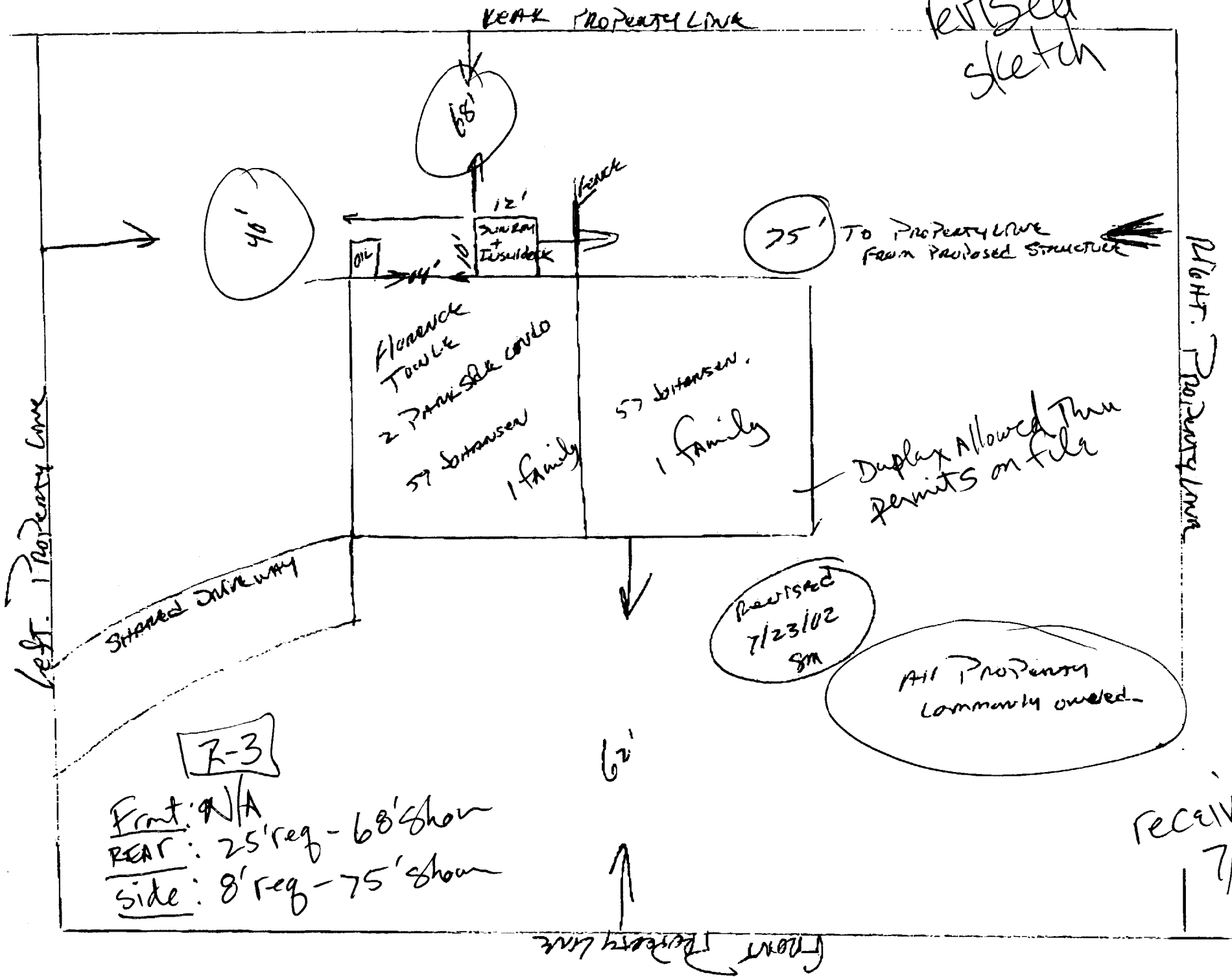
Fax: 603-679-2844

Pages: 2

Subject:

Fowle Sunroom

Revised sketch



REAR PROPERTY LINE

Left PROPERTY LINE

RIGHT PROPERTY LINE

40'

68'

75'

To PROPERTY LINE from Proposed Structure

Florence Towne
2 PARK SIDE CONDO
57 sq ft approx
1 family

57 sq ft approx
1 family

Duplex Allowed thru permits on file

SHARED DRIVEWAY

R-3

Front: N/A
REAR: 25' req - 68' shown
Side: 8' req - 75' shown

62'

FRONT PROPERTY LINE

Revised 7/23/02 SM

All Property Commonly owned.

received 7/24/02

City of Portland
INSPECTION SERVICES

Room 315
389 Congress Street
Portland, Maine 04101

Phone: (207) 874-8703 or 874-8693
Fax : (207) 874-8716

FAX TRANSMISSION COVER SHEET

Date: 7/23/02

To: Steve

Fax: 1 (603) 679-2844

Re: 2 Parkside Condo - 59 Johnson St

Sender: Marge Schumaker

YOU SHOULD RECEIVE 2 PAGE(S), INCLUDING THIS COVER SHEET.

IF YOU DO NOT RECEIVE ALL THE PAGES, PLEASE CALL 874-8693 or 874-8703.

Steve, you probably should redraw your
submittal with the changes -

28 27 26 25 24 23 22 21 20 19 18 17 16 15 14 13 12 11 10 9 8 7 6 5 4 3 2 1

Rear - Property Line

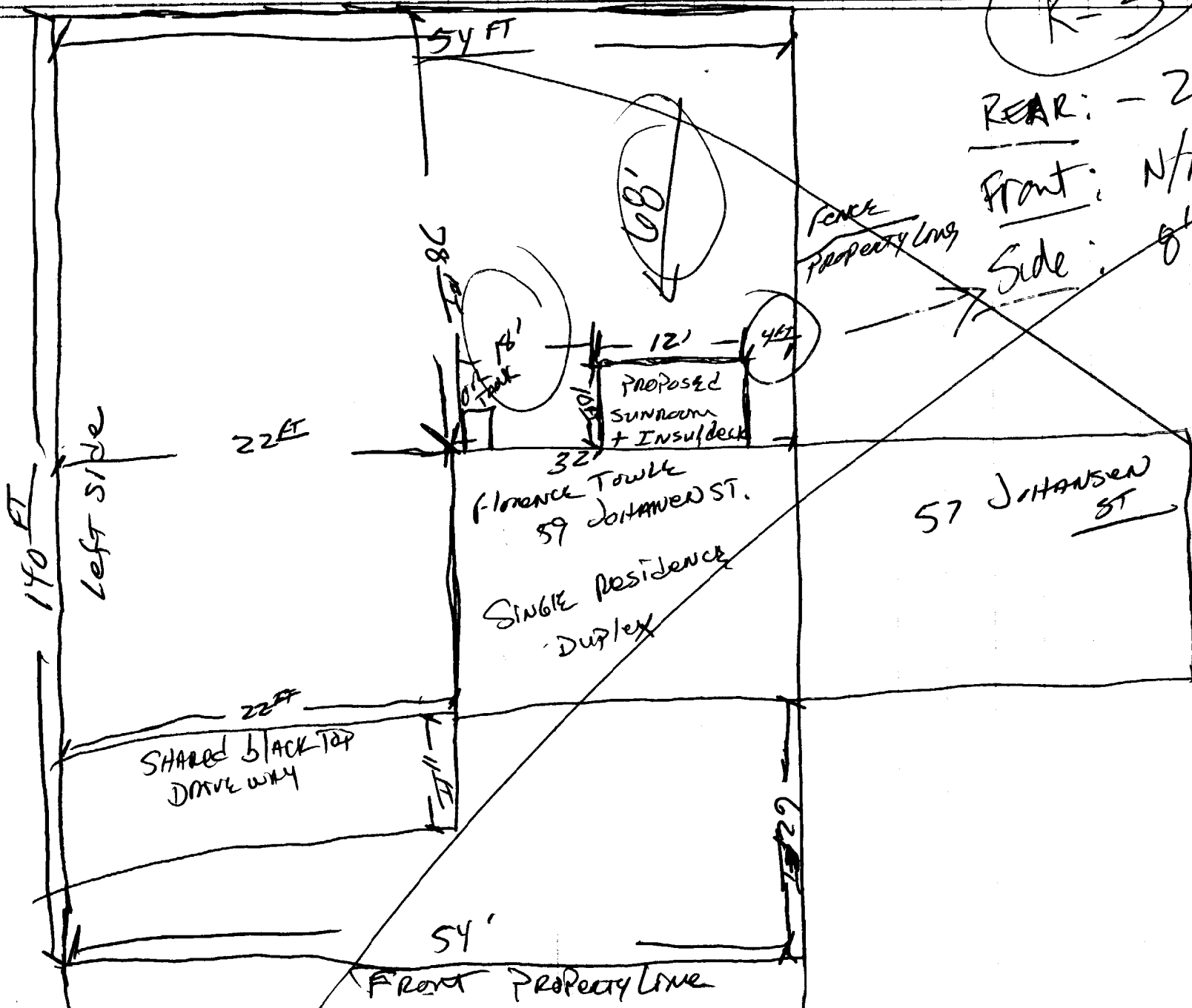
R-3

REAR: - 25' Reg - 68' given

Front: N/A

Side: 8' Reg -

PREPARED BY:
PROJECT TITLE:
DATE:



~~Fence
Property Line~~



Date: 7/31

To: Michael Nugent

From: **ADVANCED SIDING & WINDOW CO.**

Phone: 800-519-9944

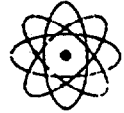
Fax: 603-679-2844

Pages: 7

Subject: Info for Insul-Deck
Florence Fowle
2 Parkside Condo
Portland ME



ADVANCED SIDING AND WINDOW CO.



SIDING / WINDOW / ROOFING SPECIALISTS

SOLARIUMS, GREENHOUSES, AND PATIO ROOMS

335 RT 125 ~ BRENTWOOD, NH 03833

Phone 800-519-9944 ~ Fax 603-679-2844 ~ Email aswc@ttlc.net

License Numbers: MA _____ • Also Licensed in Maine, Vermont, & N.H.

NAME (Mr., Mrs., Ms.) FLORENCE FOWER
 ADDRESS 59 JOHANSEN ST.
 CITY PORTLAND ST ME ZIP 04103
 PHONE Home (207) 772-3028 Work (207) 761-8725
 COUNTY _____ TOWNSHIP _____
 LEGAL DESCRIPTION 4 SEASON

CONTRACT DATE _____
 Mortgage Survey: Yes No
 Picture of Customer's Home: Yes No
 Tear Out: Yes No Initial _____
 Describe _____ Haul Away _____

DIRECTIONS _____

PERMIT REQUIRED: YES NO HOMEOWNER TO ACQUIRE

JOB SPECIFICATIONS:

ENCLOSURE: Size 12 x 10 Outside Dimensions (Approximate)
 Wall Style Glass White
 Frame Color White Window/Door Color White
 Kneewall: Height 24 Style Solid
 Transoms: Yes No Style _____
 Sliding Windows: Yes No # _____
 Sliding Doors: Yes No # _____
 Lights: Yes No # _____
 Glass Type LOW E Tempered Yes No
 Swing Doors: Screen Self Storing Steel Full View 1/2 Lite
 Hinge (from inside): Right Left Swing: In Out
 ROOF: Size 13 x 10 Thickness 3" 3-3/4"
 Color White Style GABLE
 Overhang: 1 Foot Other _____
 Skylites: Yes No Fixed Venting # 2
 Gutter Color White Downspout Color White
 Fascia Color White Trim Color White
 DECK: Size 12 x 10

InsulDeck™ Floor System
 Pressure Treated Lumber
 Exterior 3/4" Plywood Decking _____ 3/4" T&G OSB
 _____ 5/4 x 6" Decking
 Install on Existing
 Steps _____
 Skirting _____ Lattice Vinyl _____ Wood
 _____ Other _____

CONCRETE: Size _____ x _____
 _____ Install on Existing
 _____ Footers Size _____
 _____ Foundation Wall _____ Poured _____ Block
 _____ Slab (4") _____ Wire
 _____ Brick Wall Height _____ Style _____
 _____ Steps _____ Poured _____ Precast _____ Other
 _____ Sizes _____ Railing Yes No
 _____ Saw Cut #Ft. _____
 _____ Insulation Perimeter Floor
 _____ Vapor Barrier (Visquene)
 _____ Dirt Haul Away _____ Leave _____ Where? _____
 _____ Additional Slab Size _____

ELEVATION LAYOUT OR PHOTO

Size _____ x _____
 Front Wall Height _____
 Back Wall Height _____
 Right Wall Height _____
 Loft Wall Height _____
 Attach To: _____ Overhang
 _____ Wall
 Gutter _____ Remove
 _____ Leave
 House Wall _____ Ranch
 _____ 2-Story
 Existing Roof _____
 Condition _____
 Floor Height _____ Distance Below
 Above Grade _____ House Floor _____

SKETCH:

(use reference points, doors, windows, etc.)
 INDICATE OPERATIONS OF DOORS

ASWC agrees to obtain and bear the expense of obtaining a building permit. In the event variances or certified plot plans are required. ASWC will make arrangements, and the homeowners shall bear the expense.

NOTE: EXISTING DECKS MAY REQUIRE ADDITIONAL FOOTINGS (NOT QUOTES HEREIN). THE COST PER FOOTING IS \$250 EACH.

TOTAL INVESTMENT: \$ 19,166.00
 PAYMENT SCHEDULE: 500.00 DEPOSIT
18,666.00
 Deposit 30% _____ Delivery 25% _____
 Remeasure 30% _____ Completion 15% _____

ATTENTION: Please keep this as your record of the style of patio room being manufactured for you. The sales representative has completed this form in my/our presence and has explained all of the above information to my/our satisfaction. I/We understand that our order will be placed into production three working days from the date and following that an installation mechanic will visit my/our home for a pre-installation inspection. I/We agree to all provisions of this Agreement including the reverse side hereof which are incorporated herein by reference, and acknowledge that I/we received a copy of this Agreement before I/we signed below.

_____ Slab (4") _____ Wire
 _____ Brick Wall Height _____ Style _____
 _____ Steps _____ Poured _____ Precast _____ Other
 _____ Sizes _____ Railing Yes No
 _____ Saw Cut #Ft. _____
 _____ Insulation Perimeter Floor
 _____ Vapor Barrier (Visquene)
 _____ Dirt Haul Away _____ Leave _____ Where? _____
 _____ Additional Slab Size _____

permits in the event variances or certified plot plans are required.
 ASWC will make arrangements, and the homeowners shall bear the
 expense.

**NOTE: EXISTING DECKS MAY REQUIRE ADDITIONAL FOOTINGS
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The Contractor represents that it carries Workmen's Compensation and Public Liability Insurance in amount equal to or greater than \$500,000.
PROMISE TO PAY: Owner(s) agree to pay this balance in full to the Installation Mechanics on the date of substantial completion.
GOVERNING LAW: The terms of this agreement shall be governed by the laws of the state in which the work is being performed. This Contract may be rescinded by the Buyer until midnight of the third business day following the date hereof by giving written notice of recession to the Contractor at his place of business given in this Contract. IF after the recession period but prior to the time the Contractor starts performance of this Contract, Buyer fails or refuses to accept delivery of the goods or performance of the services covered hereby, Buyer agrees to pay to Contractor as liquidated damages an amount equal to 1/3 the Cash Price stated herein.

IN WITNESS OF, the parties have hereunto signed their names this 23 day of APRIL 20 02.

Bud McGinty

 (Marketing Representative)

SIGNED: *Steve Hawk*

 OWNER

ACCEPTED: _____
 OFFICER OF ADVANCED SIDING, INC.

BY: _____
 AUTHORIZED SIGNATURE TITLE

SIGNED: _____
 OWNER

NOTICE: The terms of this agreement are contained on both sides of this page.



APPLICATION FOR PERMIT

RECEIVED
AUG 31 1979
CITY OF PORTLAND

B.O.C.A. USE GROUP

000742

B.O.C.A. TYPE OF CONSTRUCTION

ZONING LOCATION PORTLAND, MAINE, AUG. 20, 1979

To the DIRECTOR OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

132-142 #3

LOCATION ~~132-142~~ 3 Front Street Bldg. A Fire District #1 , #2

1. Owner's name and address Arnold Brynes-813 Washington Ave., 04103 Telephone 774-6141.

2. Lessee's name and address Telephone

3. Contractor's name and address William Small-Hillside Ave. Cumb Telephone 829-5887.

4. Architect Specifications No. of sheets

Proposed use of building 2 family duplex No. families

Last use No. families

Material No. stories Heat Style of roof Roofing

Other buildings on same lot

Estimated contractual cost \$ 40,000. Fee \$ 181.00

FIELD INSPECTOR—Mr. GENERAL DESCRIPTION

This application is for: @ 775-5451

Dwelling Ext. 234

Garage

Masonry Bldg.

Metal Bldg.

Alterations

Demolitions

Change of Use

Other

To construct 2 family dwelling, ranch duplex 24 x 60 with no garage as per plans, 2 sheets of plans.

Stamp of Special Conditions

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors for heating, plumbing, electrical and mechanicals.

PERMIT IS TO BE ISSUED TO 1 2 3 4

Other:

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?

Is connection to be made to public sewer? If not, what is proposed for sewage?

Has septic tank notice been sent? Form notice sent?

Height average grade to top of plate Height average grade to highest point of roof

Size, front depth No. stories solid or filled land? earth or rock?

Material of foundation Thickness, top bottom cellar

Kind of roof Rise per foot Roof covering

No. of chimneys Material of chimneys of lining Kind of heat fuel

Framing Lumber—Kind Dressed or full size? Corner posts Sills

Size Girder Columns under girders Size Max. on centers

Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.

Joists and rafters: 1st floor 2nd 3rd roof

On centers: 1st floor 2nd 3rd roof

Maximum span: 1st floor 2nd 3rd roof

If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot, to be accommodated ... number commercial cars to be accommodated ...

Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION PLAN EXAMINER

ZONING: *A.R. Majeed* 8/30/79

BUILDING CODE

Fire Dept.:

Health Dept.:

Others:

Will work require disturbing of any tree on a public street? ..

Will there be in charge of the above work a person competent to see that the State and City requirements pertaining thereto are observed?

Signature of Applicant *Arnold Brynes* Phone # same

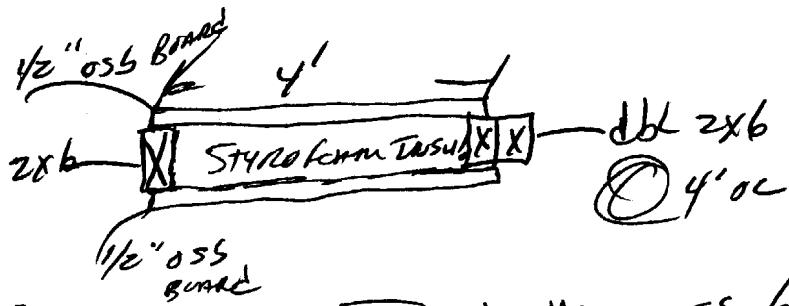
Name of Applicant Arnold Brynes 18 20 30 40

DATE:

PREPARED BY:

PROJECT TITLE:

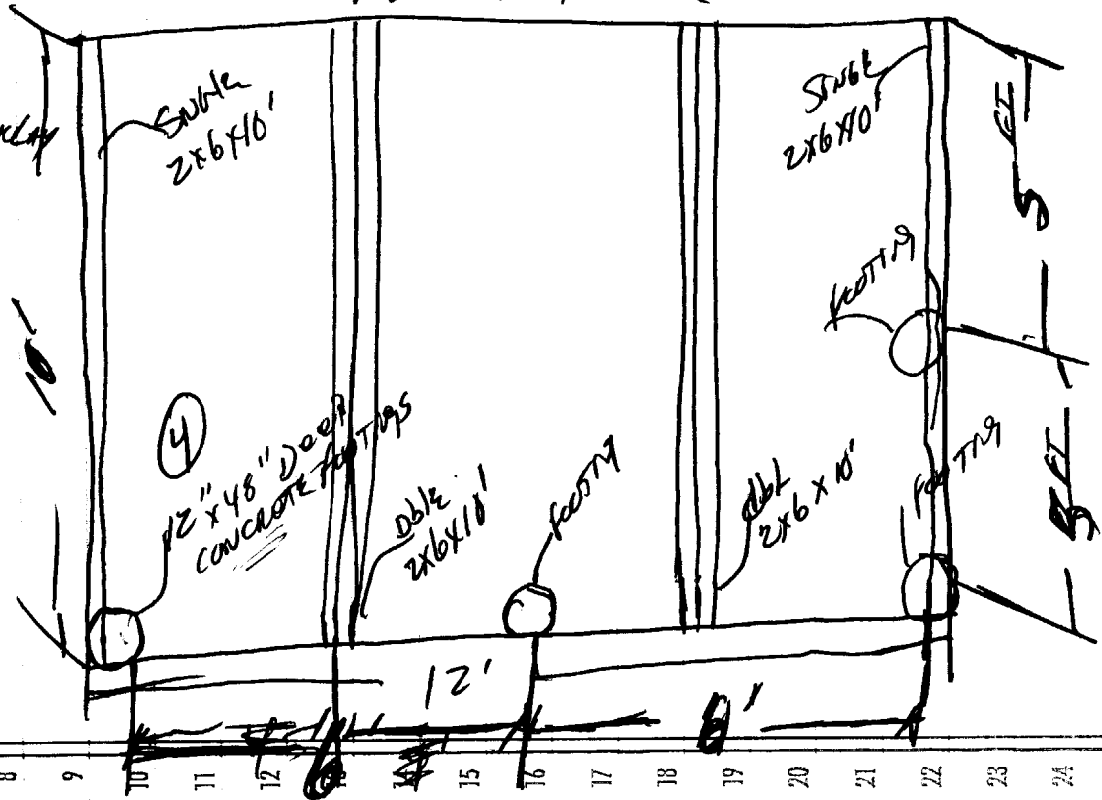
Panelized 10' x 12' Insul-Deck Floor System



TOTAL THICKNESS 69/16"

- ① 2x6x12 LABELED TO CONCRETE FOUNDATION
- ② 4- 12"x48" DEEP CONCRETE FOOTINGS
- ③ 2- DBL 2x6x10 @ 4' OC
- ④ 2x6 ed PERIMETER.
- ⑤ 4x8x1/2 UNDERLAYMENT overlay

EXISTING HOUSE

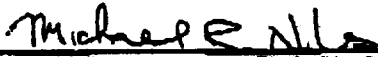


July 8, 2002

Parkside Owners Association

To Whom It May Concern:

At the meeting of the condominium unit owners on May 8, 2002, approval was given for the addition of a room onto Unit 59 Johansen Street.



Michael Niles, President, Parkside Owners Association



Date: 7/11/03
To: Tammy Munson

From: ADVANCED SIDING & WINDOW CO.

Phone: 800-519-9944

Fax: 603-679-2844

Pages: 2

Subject:

Parkside owner association
approval for Florence Fowler
to do Sunroom:

MAX. SPAN THIS CONDITION

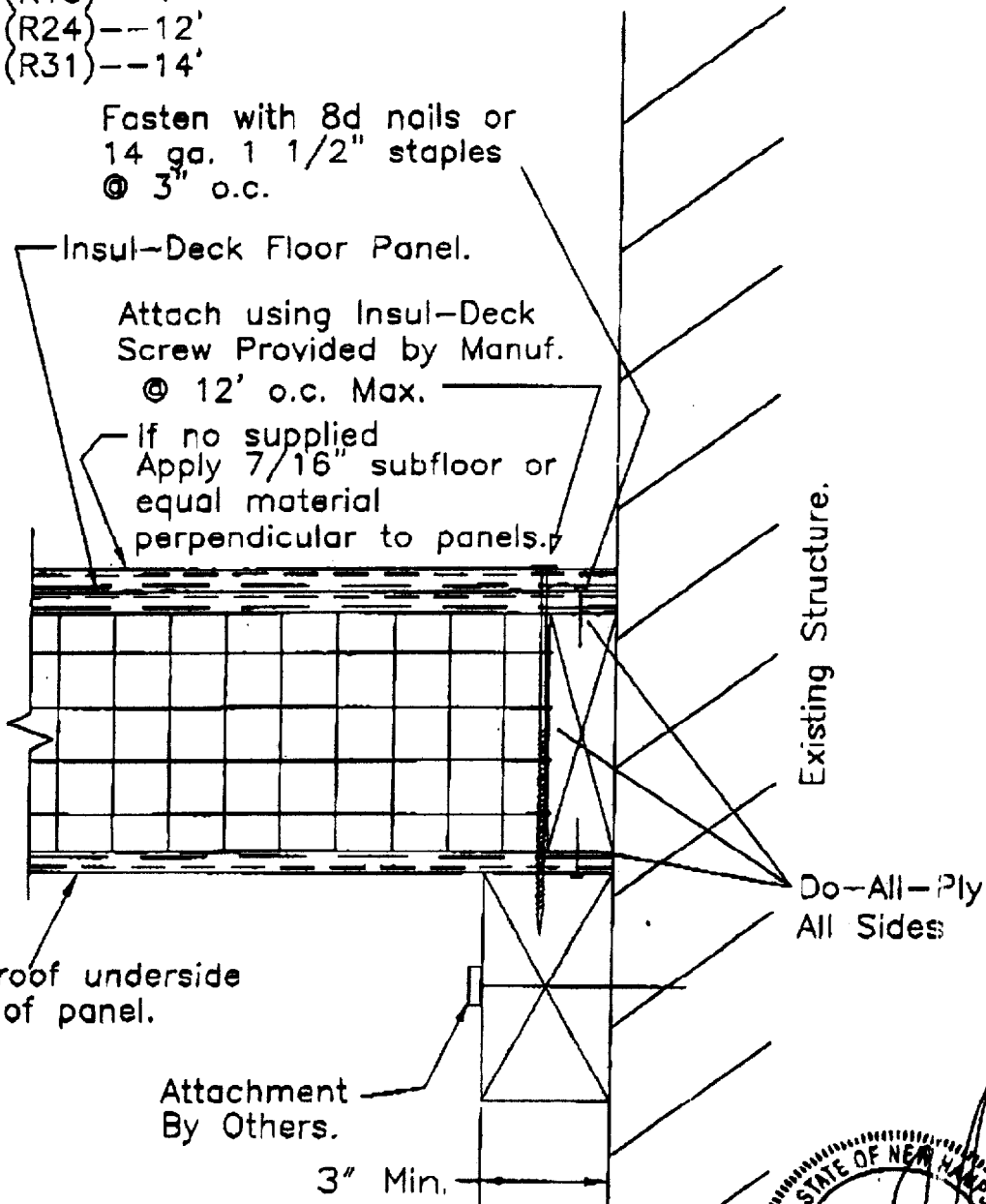
- 4-9/16" (R16) -- 4'
- 6-9/16" (R24) -- 12'
- 8-5/16" (R31) -- 14'

Fasten with 8d nails or
14 ga. 1 1/2" staples
@ 3" o.c.

Insul-Deck Floor Panel.

Attach using Insul-Deck
Screw Provided by Manuf.
@ 12' o.c. Max.

If no supplied
Apply 7/16" subfloor or
equal material
perpendicular to panels.



Damp proof underside
surface of panel.

Attachment
By Others.

3" Min.

Existing Structure.

Do-All-Ply
All Sides

[Handwritten Signature]

THE STATE OF NEW HAMPSHIRE
GARY J. DURBIN
No. 8956
LICENSED PROFESSIONAL ENGINEER
JUL 31 2002
Updated 5/8/01

SECTION/PLAN

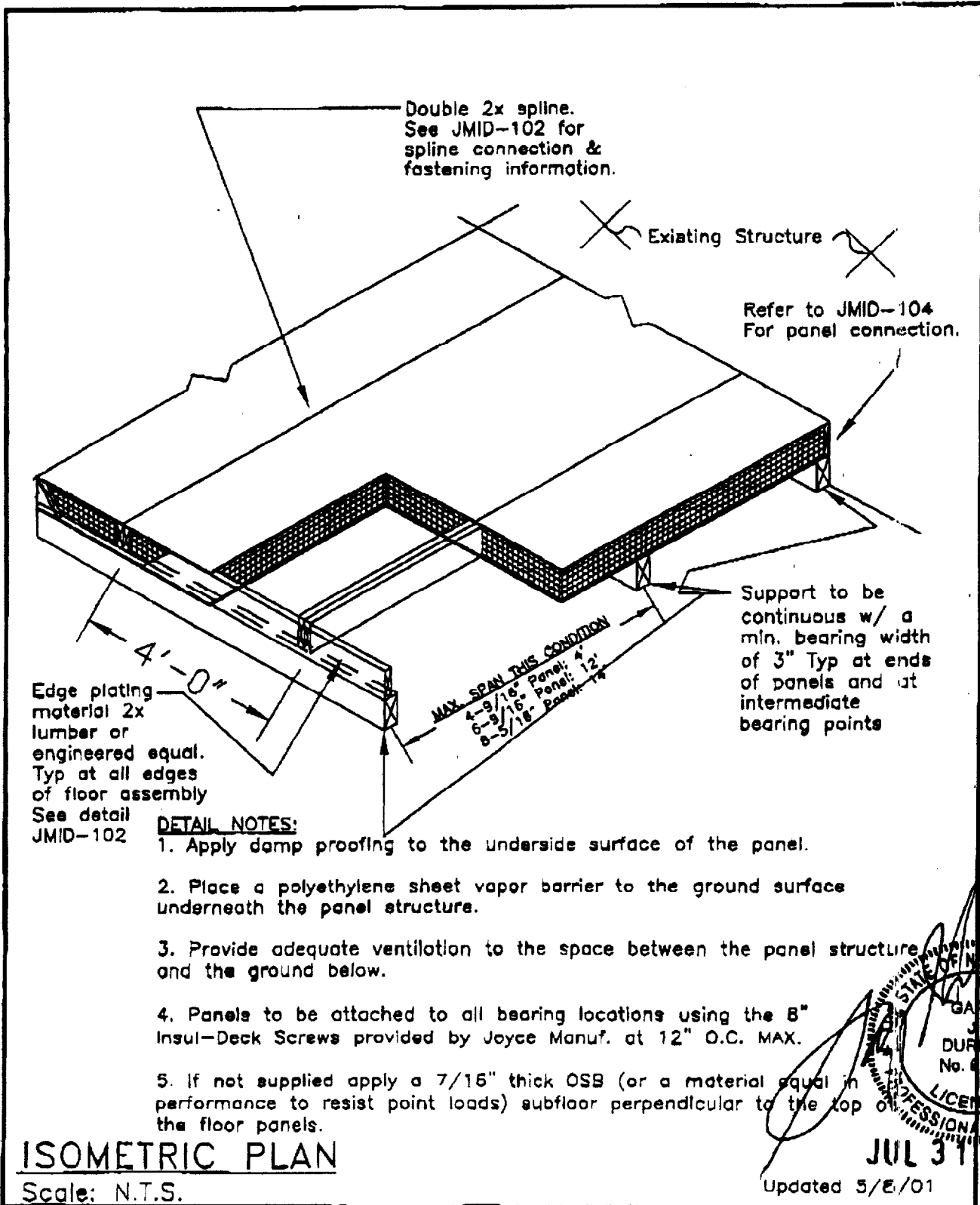
Scale: 3"=1'

INSUL-DECK Floor Panel

TITLE: Attachment to
Existing Structure

NO.
JMID-104

*8008247988
LAUREL*



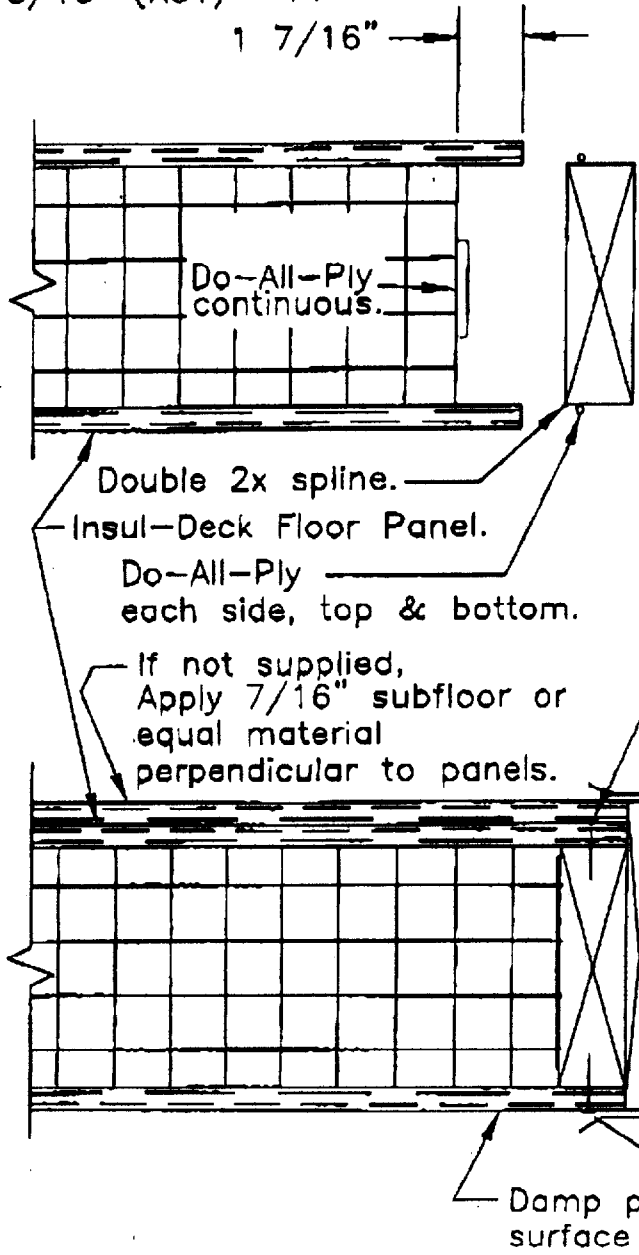
INSUL-DECK Floor Panel	
TITLE: Floor Panel Connection	NO. JMID-103

MAX. SPAN THIS CONDITION

4-9/16" (R16)--4'

6-9/16" (R24)--12'

8-5/16" (R31)--14'



Fasten with 8d nails or 14 ga. 1 1/2" staples @ 3" o.c.

Optional Metal trim w/ Dripedge.

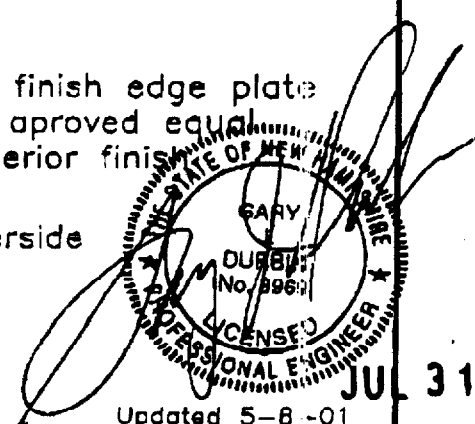
1x finish edge plate or approved equal exterior finish

Damp proof underside surface of panel.

SECTION/PLAN

Scale: 3"=1'

Updated 5-8 -01



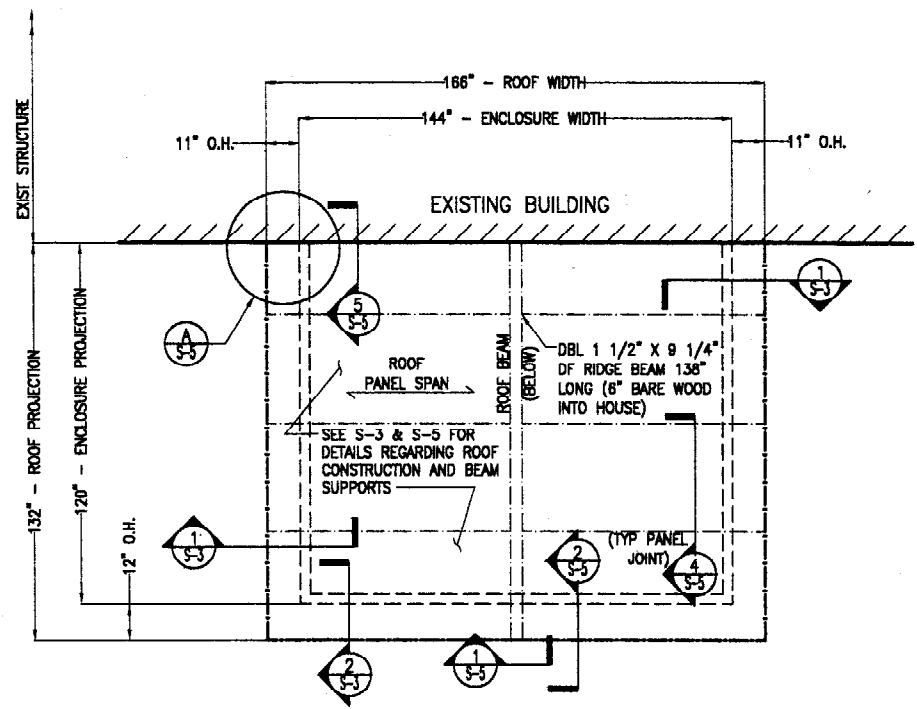
JUL 31 2002

INSUL-DECK Floor Panel

TITLE: Edge Plating

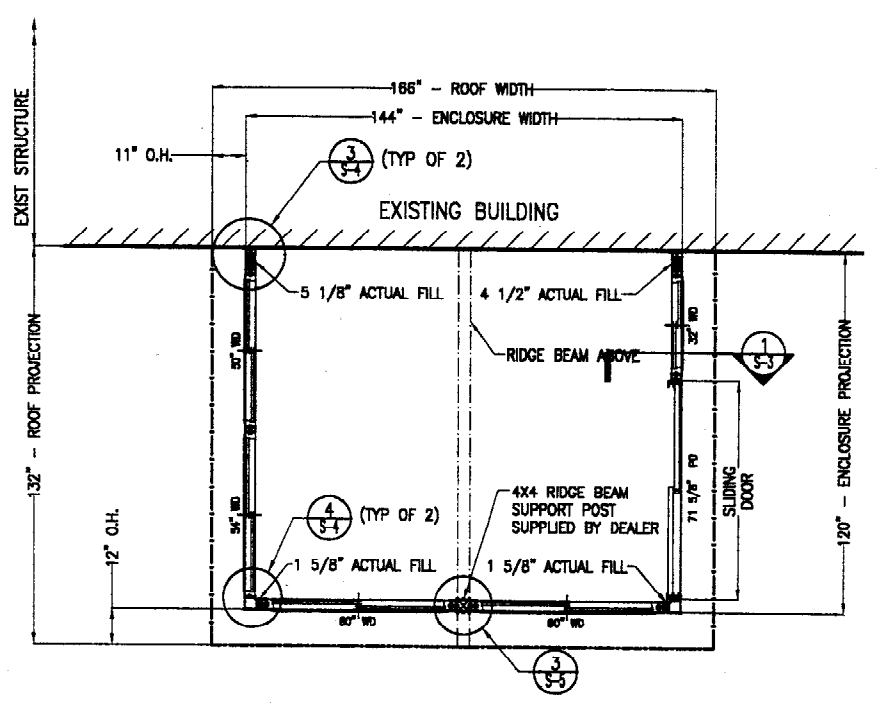
NO.

JMID-102



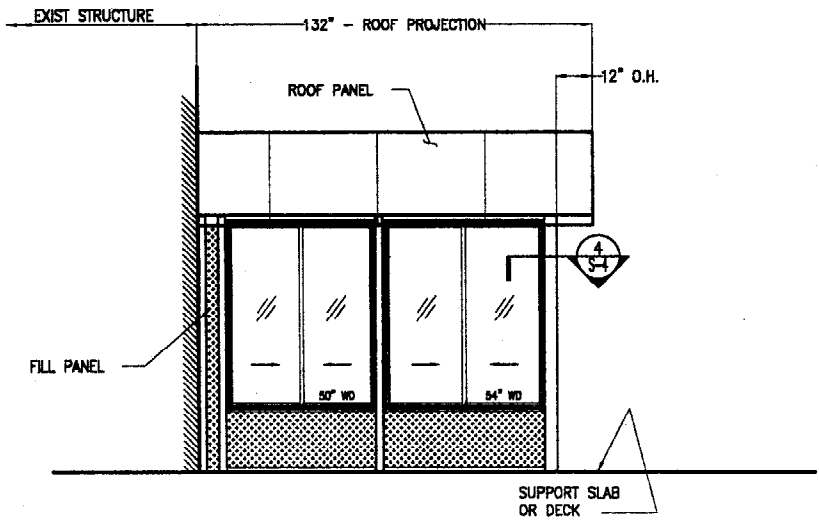
ROOF PLAN

3/8 = 1'-0"



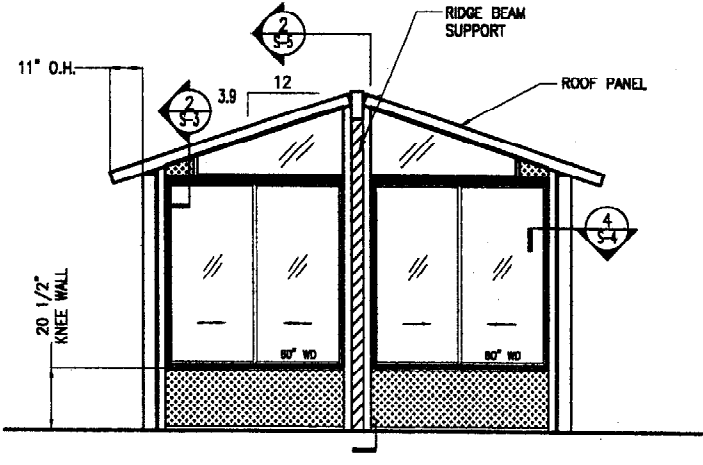
FLOOR PLAN

3/8 = 1'-0"



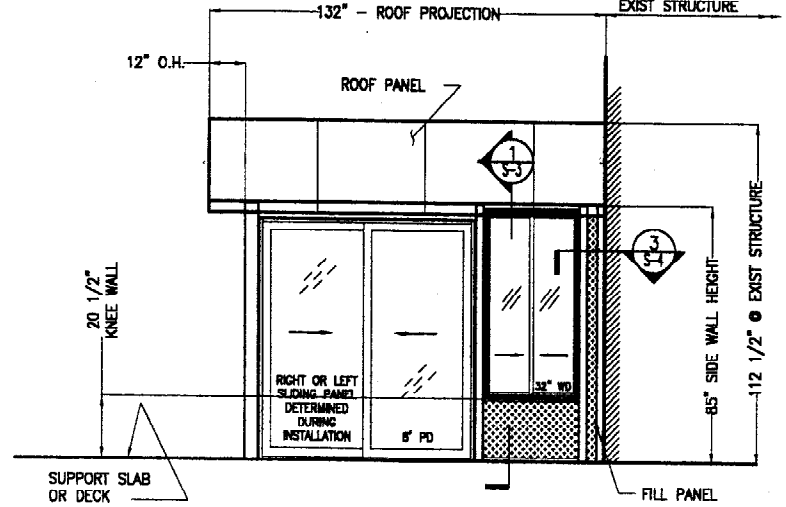
LEFT SIDE ELEVATION

3/8 = 1'-0"



FRONT WALL ELEVATION

3/8 = 1'-0"



RIGHT SIDE ELEVATION

3/8 = 1'-0"

TYPICAL GABLE STYLE ENCLOSURE

3/8 = 1'-0"

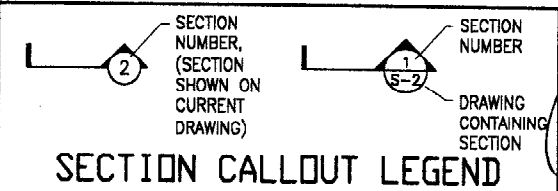
THIS 3" VINYL PATIO ENCLOSURE SHALL BE CONSTRUCTED PER THESE ENCLOSURE DRAWINGS NUMBERED S-1 THROUGH S-6 USING THE FOLLOWING DESIGN CRITERIA

SNOW LOAD = 60 PSF WIND LOAD = 80 MPH

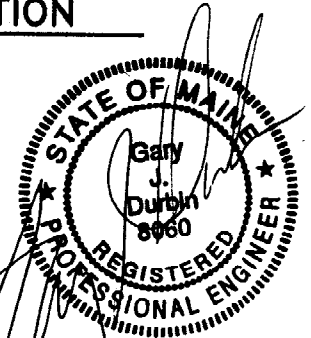
SEISMIC = N.A. (LIGHTWEIGHT ENCLOSURES HAVE NEGLIGIBLE RESPONSE TO SEISMIC LOADS)

DIMENSIONS ARE AS NOTED ON THESE DRAWINGS

OWNER & LOCATION: FLORENCE FOWLER
59 JOHANSEN STREET
PORTLAND, ME 04103



SECTION CALLOUT LEGEND



AUG 08 2002

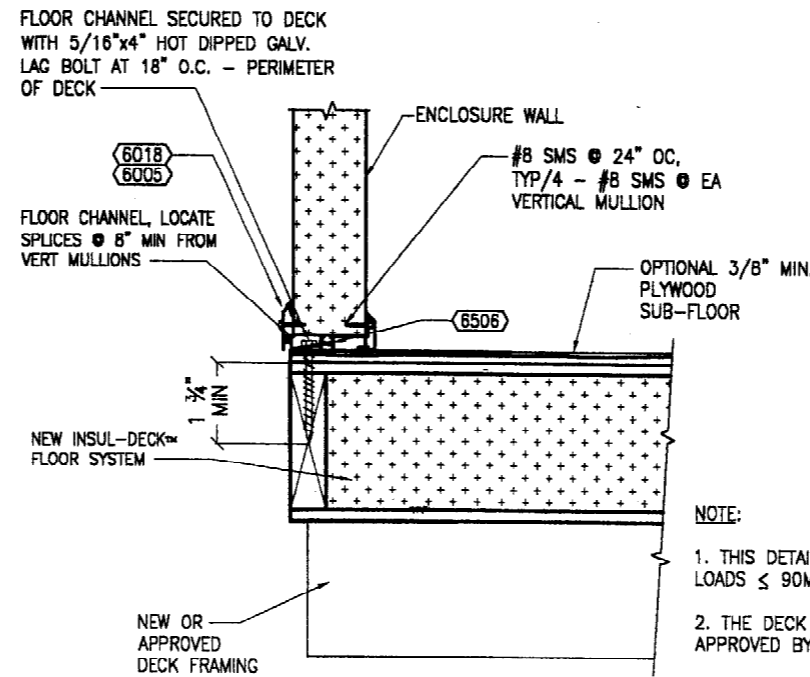
THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE	
TITLE LEISURE ROOM 3000 ELEVATIONS, ROOF PLAN, FLOOR PLAN	
ORDER NUMBER: 20022928	DATE: AUGUST B. 2002
DRAWN BY: G. DURBIN	AS NOTED
CHECKED BY: G. DURBIN	
SCALE:	
1125 BEREA RD. PAWTUCKET, RI 02871 1125 BEREA RD. PAWTUCKET, RI 02871 PH: (401) 239-9100 FAX: (401) 239-1812 TOLL FREE: (800) 824-7888	
Joyce Co. mfg.	
REV. DATE BY COMMENT	
SIZE: D	
SHEET NO.	S-1
SHEET 1 OF 6	

ABBREVIATIONS

Ø	DIAMETER	FDN	FOUNDATION	RAD	RADIUS
AB	ANCHOR BOLT	FTG	FOOTING	REF	REFERENCE/REFER
ADDL	ADDITIONAL	GA	GAGE	REINF	REINFORCE (D,-ING)
AL	ALUMINUM	GALV	GALVANIZED	REQD	REQUIRED
ANCH	ANCHOR	GN	GENERAL NOTE	REV	REVISION
APPROX	APPROXIMATE(LY)			RL	ROOF LIVE LOAD
BAL	BALANCE	HGT	HEIGHT	SD	STEEL ENTRY DOOR
BLDG	BUILDING	HOR	HORIZONTAL	SHT	SHEET
BM	BEAM	INFO	INFORMATION	SIM	SIMILAR
B.O.	BOTTOM OF			SMS	SHEET METAL SCREWS
BOT	BOTTOM	SP	SPACE (S, ED)	SP	SPACE (S, ED)
		KWF	KNEEWALL, FILL	SPEC	SPECIFICATION, SPECIFIED
		KWG	KNEEWALL, GLASS	SQ	SQUARE
				SST	STAINLESS STEEL
C/C	CENTER TO CENTER	LC	LONG	STAG	STAGGERED
CL	CENTERLINE	LVL	LAMINATED VENEER	STD	STANDARD
CLR	CLEARANCE		LUMBER	STIF	STIFFENER
COL	COLUMN			STL	STEEL
CONC	CONCRETE	MATL	MATERIAL	STRUC	STRUCTURE (S, URAL)
CONN	CONNECTION	MAX	MAXIMUM	SYM	SYMMETRICAL
CONT	CONTINUOUS	MB	MACHINE BOLT		
CTR	CENTER (ED)	MFR	MANUFACTURER	T&B	TOP AND BOTTOM
		MIN	MINIMUM	THD	THREADED
				THK	THICK (NESS)
DET	DETAIL	NA	NOT ALLOWED	T.O.	TOP OF
DF	DOUG FIR LARCH	NR	NOT REQUIRED	TRG	TRANSOM GLASS INSERT
DIA	DIAMETER	NTS	NOT TO SCALE	TRF	TRANSOM FILL INSERT
DIM	DIMENSION			TYP	TYPICAL
DL	DEAD LOAD	OC	ON CENTER	UON	UNLESS OTHERWISE
DWG(S)	DRAWING(S)	OD	OUTSIDE DIAMETER	NOTED	
		OH	OVER HANG		
EA	EACH	OPNG(S)	OPENING(S)	VERT	VERTICAL
EF	EACH FACE	OPP	OPPOSITE		
EL	ELEVATION	OPT	OPTION (AL)	W/	WITH
EMBED	EMBEDMENT			W/O	WITHOUT
EQ	EQUAL (LY)	PD	PATIO DOOR	WD	WINDOW, SLIDING
ES	EACH SIDE	PL	PLATE	WDF	WINDOW, FIXED
EXP	EXPANSION	PROJ	PROJECTION	WS	WOOD SCREW
EXIST	EXISTING	PLWD	PLYWOOD	WT	WEIGHT

GENERAL NOTES AND SPECIFICATIONS

- CHAPTER 31 OF THE 1997 UNIFORM BUILDING CODE APPENDIX IS THE REGULATION COVERING THESE STRUCTURES. ALL PATIO COVERS SHALL BE USED FOR RECREATIONAL/OUTDOOR LIVING PURPOSES ONLY.
- ENCLOSURE WALL SYSTEM SHALL MEET THE FOLLOWING REQUIREMENTS:
 - THE MAXIMUM HEIGHT OF THE WALL SYSTEM (INCLUDING KNEE WALL) IS 12'-0" AND MINIMUM IS 6'-8".
 - THE OPEN AREA OF THE LARGER WALL AND ONE ADDITIONAL WALL IS 65% OR MORE OF THE AREA BELOW 6'-8" MEASURED FROM THE GROUND FOR EACH WALL. OPEN AREA MAY BE EITHER INSECT SCREENING, READILY REMOVABLE TRANSLUCENT PLASTIC OR TEMPERED GLASS NOT MORE THAN 0.125" THICK, WHICH IS APPROVED BY THE 1997 UNIFORM BUILDING CODE.
- ROOF PANEL, WHICH COMPLIES WITH THE REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE AND WHICH APPLIES TO THE CONDITIONS OF THE SUBJECT ENCLOSURE, MAY BE USED. WHERE ALLOWABLE PANEL SPANS SHALL BE LIMITED TO THOSE SHOWN IN THE PANEL'S CERTIFICATION REPORT. REGARDLESS OF PANEL USED, PANEL SKIN SHALL BE 3105-H174 ALUMINUM OR STRONGER MATERIAL WITH ALUMINUM THICKNESS OF 0.024". THE CORE MATERIAL SHALL BE EXPANDED POLYSTYRENE ADHERED TO THE PANEL WITH AN APPROVED ADHESIVE. THE MAXIMUM DEAD LOAD FOR THE ROOF PANEL SHALL BE 2.0 PSF.
- THE WALL FILLER PANEL WHICH COMPLIES WITH THE REQUIREMENTS OF THE 1997 UNIFORM BUILDING CODE AND WHICH APPLIES TO THE CONDITIONS OF THE SUBJECT ENCLOSURE, MAY BE USED.
- MAXIMUM ROOF PANEL OVERHANGS (O.H.) SHALL BE AS FOLLOWS:
 - COVERS W/O ENCLOSURE: O.H. (MAX) = 1'-0"
 - COVERS W/ ENCLOSURE:
 - L.L. = 10.0 psf, O.H. (MAX) = 3'-0"
 - L.L. = 20.0 psf, O.H. (MAX) = 2'-0"
 - L.L. = 30.0 psf, O.H. (MAX) = 1'-0"
- IN ORDER FOR AN EXISTING CONCRETE SLAB TO BE USED IT MUST BE IN GOOD SOUND CONDITION (MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI) WITH NO EVIDENCE OF EXTENSIVE CRACKING, WATER SEEPAGE, OR UNSTABLE FOUNDATION CHARACTERISTICS.
- ALUMINUM SHALL BE ALLOY AND TEMPER 6063-T5, (UON).
- ALUMINUM IN CONTACT WITH DISSIMILAR MATERIALS SHALL BE COATED IN ACCORDANCE WITH THE 1997 UNIFORM BUILDING CODE.
- POP RIVETS SHALL BE ALUMINUM ALLOY 5056 WITH CARBON STEEL MANDREL AS MANUFACTURED BY U.S.M. CORPORATION.
- SHEET METAL SCREWS (S.M.S.) SHALL BE STAINLESS STEEL, ZINC PLATE, GALVANIZED STEEL OR 2024-T4 ALUMINUM.
- EXPANSION ANCHORS SHALL BE 3/8" HILTI "KWIK BOLT II" OR APPROVED EQUAL ANCHORS SHALL BE AS DESCRIBED BY AND INSTALLED PER ICBO ES REPORT #4627.
- WHERE ATTACHMENT TO EXISTING STRUCTURE OCCURS, THE WOOD OF THE EXISTING STRUCTURE SHALL HAVE A MINIMUM SPECIFIC GRAVITY OF 0.5, SUCH AS DF LARCH.
- WHERE SCREWS ARE INSTALLED INTO WOOD FRAMING, THE CONTRACTOR SHALL VERIFY, THROUGH NONDESTRUCTIVE MEANS, THAT EACH SCREW HAS A MINIMUM OF 1/2" SIDE COVER ON ALL SIDES OF THE SCREW.



NOTE:

- THIS DETAIL IS TO BE USED FOR WIND LOADS ≤ 90MPH
- THE DECK SUPPORT FRAMING SHALL BE APPROVED BY THE LOCAL JURISDICTION
- FOR ENCLOSURES ATTACHED TO DECKS, THE MAXIMUM HEIGHT OF THE ENCLOSURE SHALL BE 12'-0" MEASURED FROM THE FLOOR TO THE ROOF

DETAIL

3" = 1'-0"



SEE SHEET S-6 FOR DECK PLAN AND DETAILS

THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TITLE
GENERAL NOTES - ABBREVIATIONS AND FOUNDATION DETAIL OPTIONS

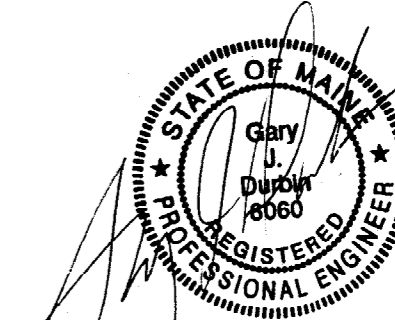
ORDER NUMBER: 20022928
DRAWN BY: G. DURBIN
CHECKED BY: G. DURBIN
SCALE: AS NOTED
DATE: AUGUST 8, 2002

1125 BEEBE RD. PKWY. BEEBE, OH 44017
PH: (440) 238-9100
FAC: (440) 238-1812
TOLL FREE: (800) 824-7888

Joyco
mfg. co.

REV.	DATE	BY	COMMENT

SIZE: D
SHEET NO. S-2
SHEET 2 OF 6



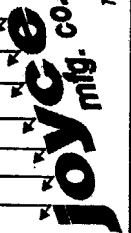
AUG 08 2002

THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TYPICAL WALL SECTIONS

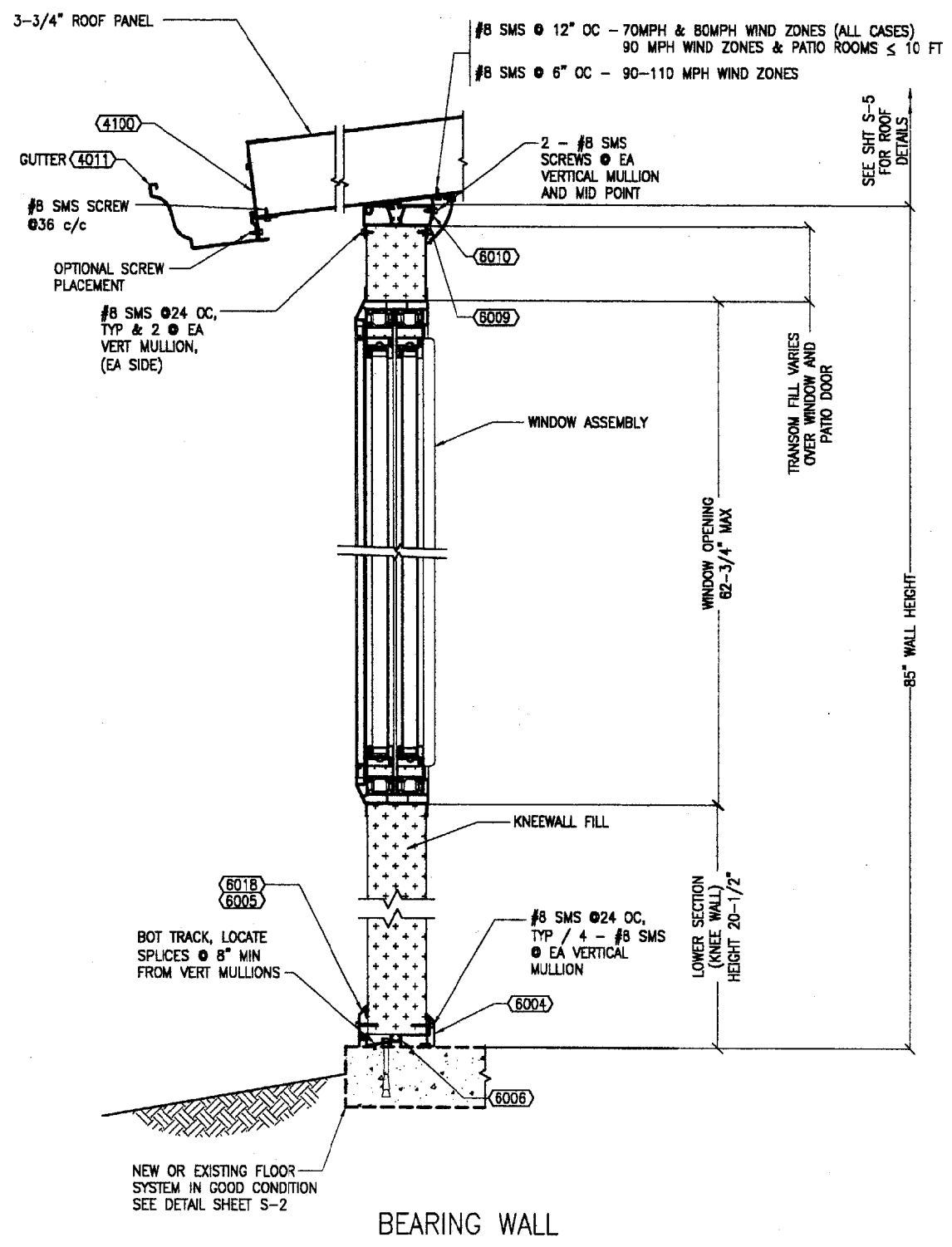
ORDER NUMBER: 20022928
 DRAWN BY: G. DURBIN
 CHECKED BY: G. DURBIN
 SCALE: AS NOTED
 DATE: AUGUST 8, 2002

1125 BEREA RD. PRVY.
 BEREA, OH 44017
 PH: (440) 239-8100
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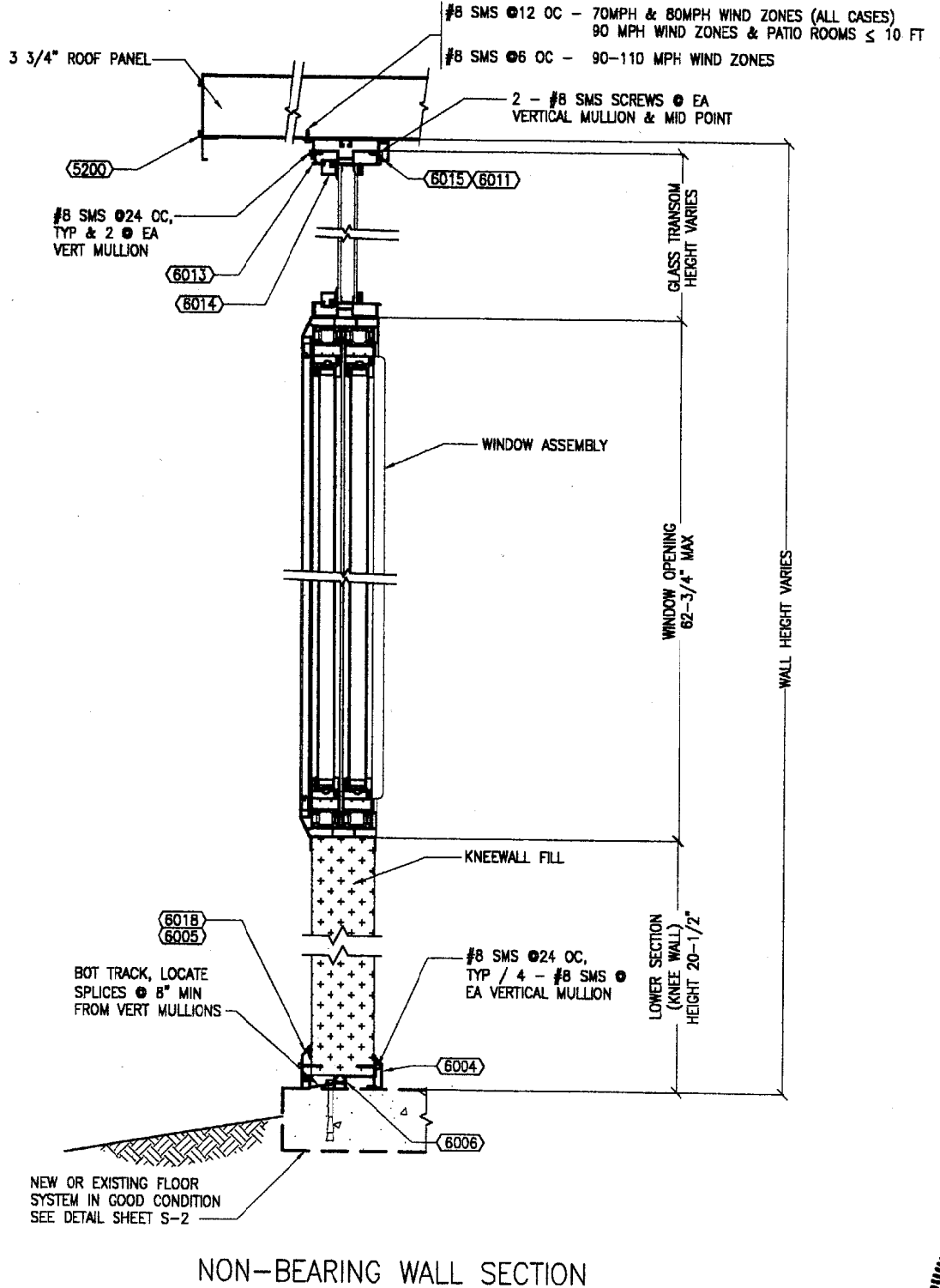
REV.	DATE	BY	COMMENT

SIZE: D
 SHEET NO. S-3
 SHEET 3 OF 6

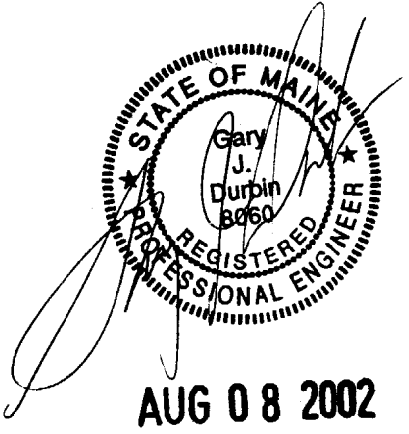


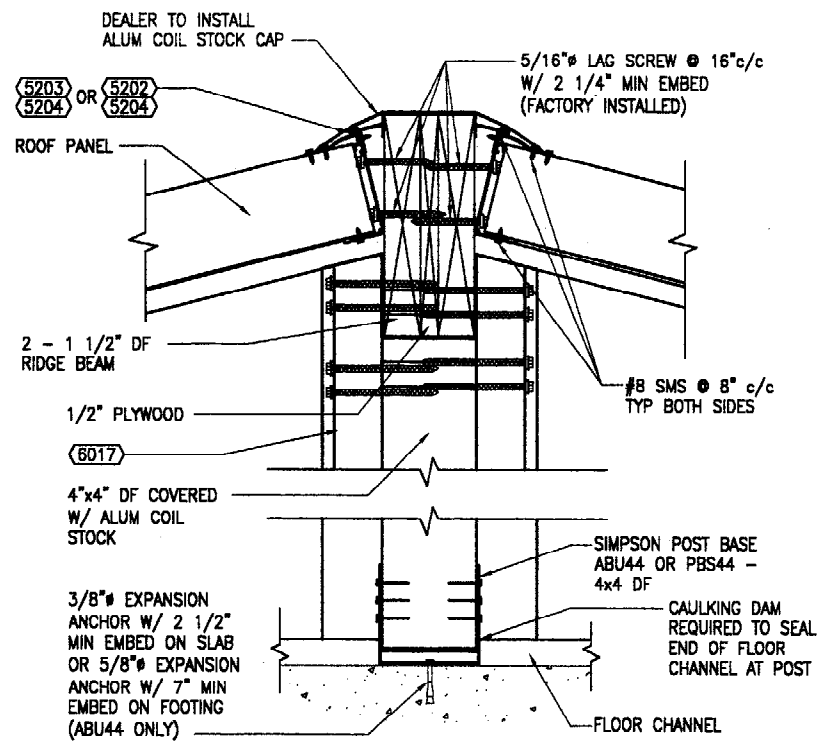
BEARING WALL
 SECTION 1
 3' = 1'-0" S-3

SEE SHIT S-5 FOR ROOF DETAILS

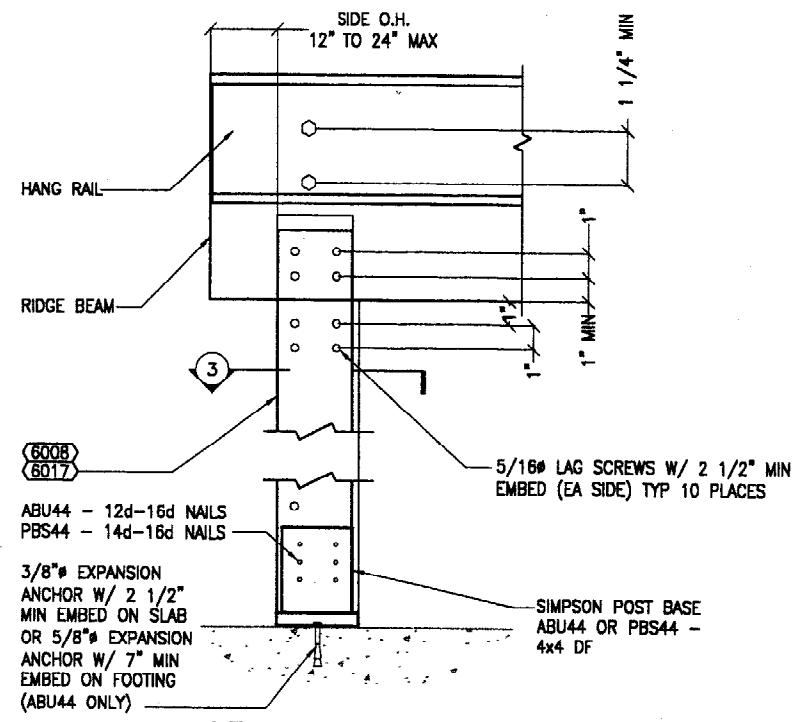


NON-BEARING WALL SECTION
 SECTION 2
 3' = 1'-0" S-3

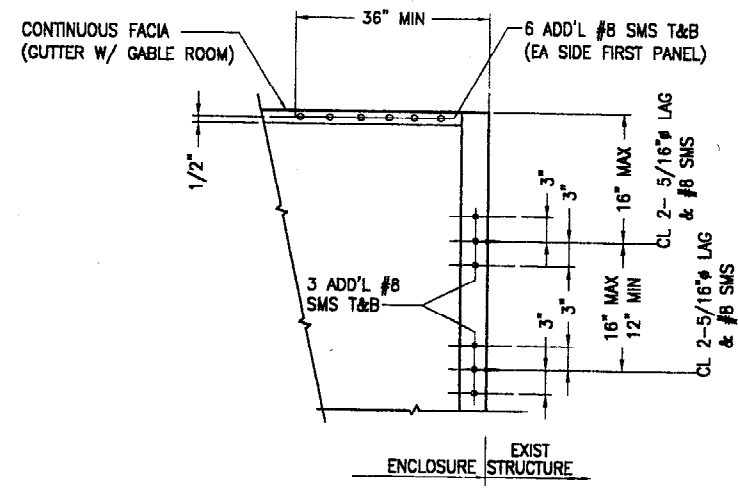




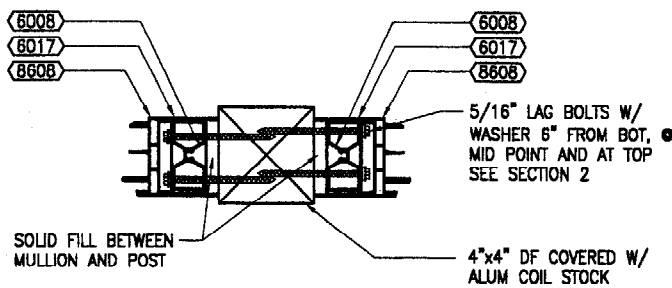
SECTION 1
3' = 1'-0" S-5



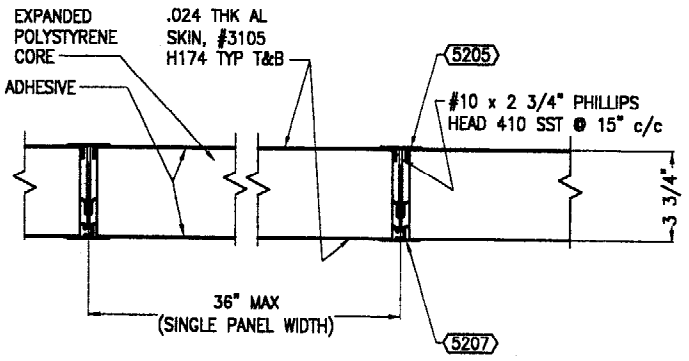
SECTION 2
3' = 1'-0" S-5



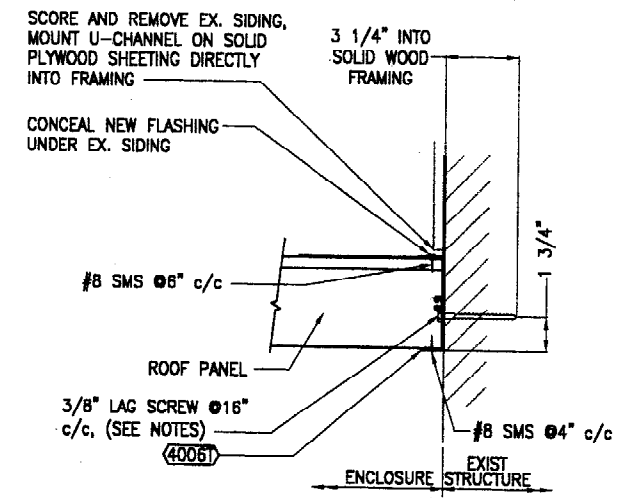
CONNECTION OF ROOF AT EXIST. BUILDING (FOR HIGH DRIFT LOADS)
DETAIL A
1' = 1'-0" S-5



SECTION 3
3' = 1'-0" S-5



TYPICAL ROOF PANEL SECTION 4
3' = 1'-0" S-5



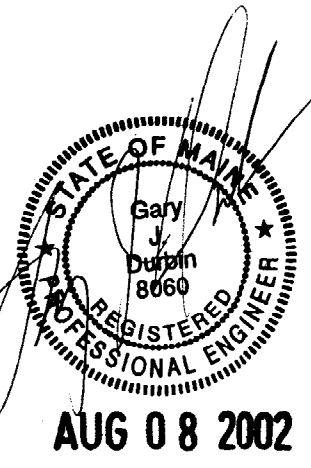
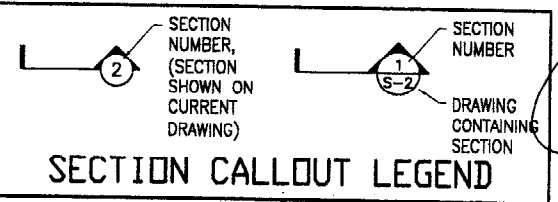
NOTE:
1. USE 3/8" HILTI HIT HY20 W/ 6" MIN EMBED ϕ 16 c/c FOR MASONRY/BRICK (NOT ALLOWED FOR RLL \geq 40 PSF) OR 3/8" HILTI HIT HY150 W/ 3 1/2" MIN EMBED (HFA INSERTS) ϕ 16 c/c FOR CONCRETE OR 1/4" HILTI KWIK-BOLK II W/ 2" MIN EMBED ϕ 16 c/c FOR CONCRETE. (ϕ 12 c/c FOR RLL \geq 40 PSF)
2. 3/8" LAG SCREW FOR RLL \geq 40 PSF.

HANG RAIL AT EXIST. BUILDING SECTION 5
3' = 1'-0" S-5

MAX. ROOF PANEL SPAN CHART

PANEL PROFILE	ROOF LIVE LOAD					TEST DATA FOR THIS PANEL BY PROFESSIONAL SERVICE INDUSTRIES INC. (PSI) TEST REPORT 827-98088, SPT 90107, DATED OCT. 5, 1989. ENGINEERING ANALYSIS BY S.M. HAW ASSOC.
	10 PSF	20 PSF	30 PSF	40 PSF	50 PSF	
"ULTIMATE" ROOF PANEL 48" IN WIDTH	19.0 FT.	17.0 FT.	15.5 FT.	14.0 FT.	NO DATA	TEST DATA FOR THESE PANELS BY TERRAPIN TESTING, INC. PROJECT NO. 59904-B ENGINEERING ANALYSIS BY TJC AND ASSOCIATES, INC. TJC PROJECT NO. 19919, JUNE 3, 1999.
"DELUXE CLIMATE MASTER" ROOF PANEL 36" IN WIDTH	18.0 FT.	15.8 FT.	11.7 FT.	10.2 FT.	9.1 FT.	
"DELUXE CLIMATE MASTER" ROOF PANEL 36" IN WIDTH	17.3 FT.	12.5 FT.	9.2 FT.	8.0 FT.	7.2 FT.	

THE MAXIMUM ALLOWABLE LOAD, FOR THESE PANELS WAS FOUND TO BE 95 PSF @ 15' SPAN USING ASTM E 72-60 TESTING PROCEDURES. THIS TABLE IS DERIVED BY APPLYING A SAFETY FACTOR OF 2.5 TO THE VARIOUS LOADING APPLICATIONS.



THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TITLE
ROOF SYSTEM SECTIONS, DETAILS AND ATTACHMENTS

ORDER NUMBER: 20022928
DRAWN BY: G. DURBIN
CHECKED BY: G. DURBIN
SCALE: AS NOTED
DATE: AUGUST 8, 2002

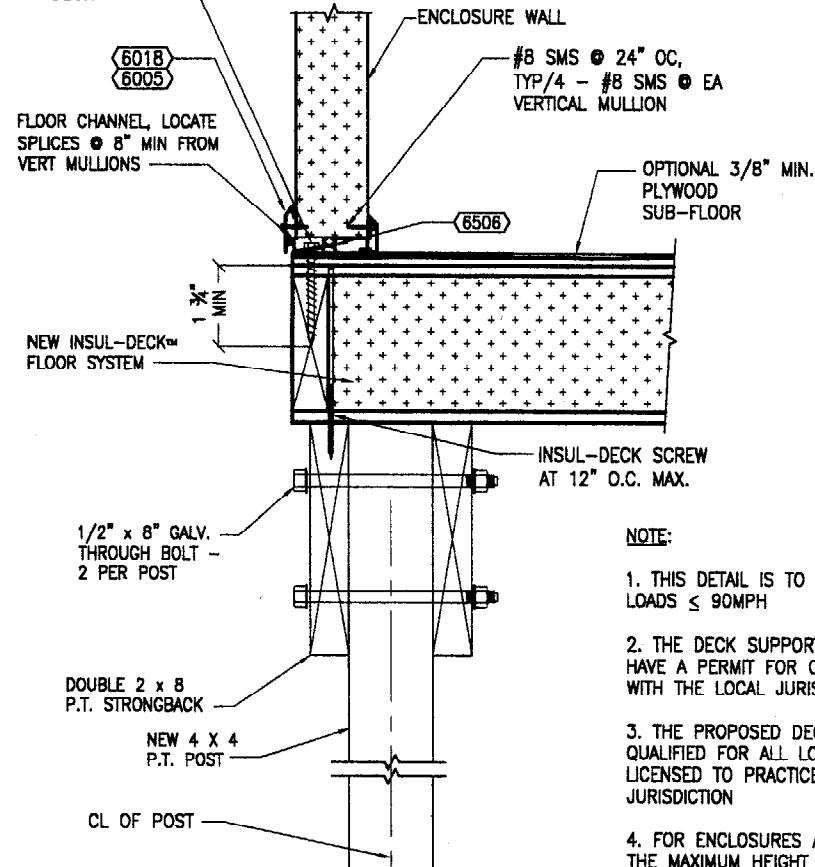
1125 BERRY RD. PRY. BEREA, OH 44017
PH: (440) 238-9100
FAX: (440) 238-1812
TOLL FREE: (800) 824-7986

Joyce co. mfg.

REV. DATE BY COMMENT

SIZE: D
SHEET NO. S-5
SHEET 5 OF 6

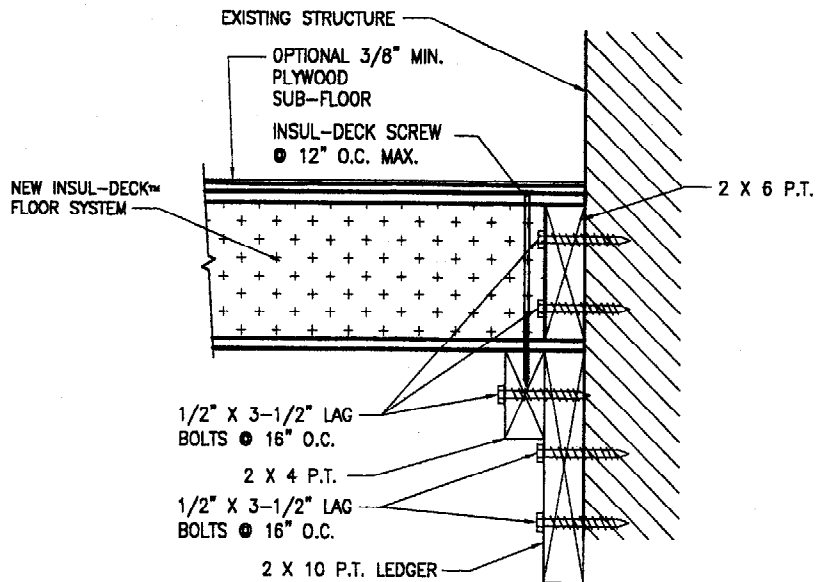
FLOOR CHANNEL SECURED TO DECK WITH 5/16"x4" HOT DIPPED GALV. LAG BOLT AT 18" O.C. - PERIMETER OF DECK



- NOTE:**
1. THIS DETAIL IS TO BE USED FOR WIND LOADS \leq 90MPH
 2. THE DECK SUPPORT FRAMING SHALL HAVE A PERMIT FOR CONSTRUCTION ON FILE WITH THE LOCAL JURISDICTION
 3. THE PROPOSED DECK FRAMING SHALL BE QUALIFIED FOR ALL LOADS BY AN ENGINEER LICENSED TO PRACTICE IN THE LOCAL JURISDICTION
 4. FOR ENCLOSURES ATTACHED TO DECKS, THE MAXIMUM HEIGHT OF THE ROOM SHALL BE 12'-0" MEASURED FROM THE GROUND TO THE ROOF

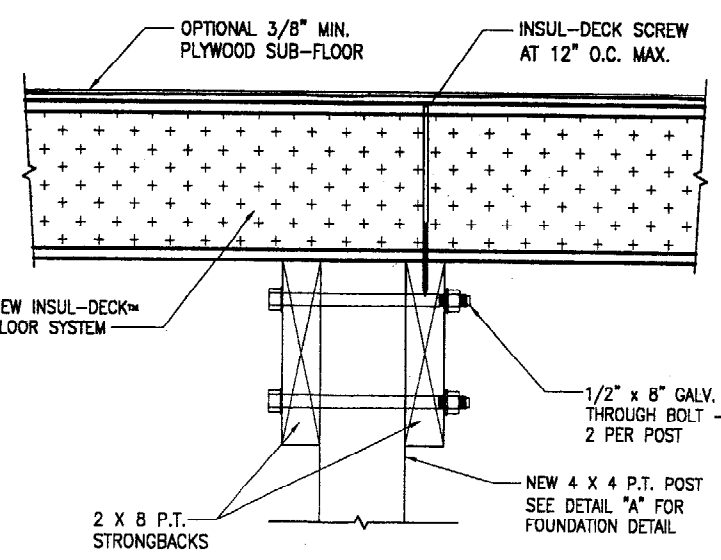
FOUNDATION DETAIL

3" = 1'-0" A S-6



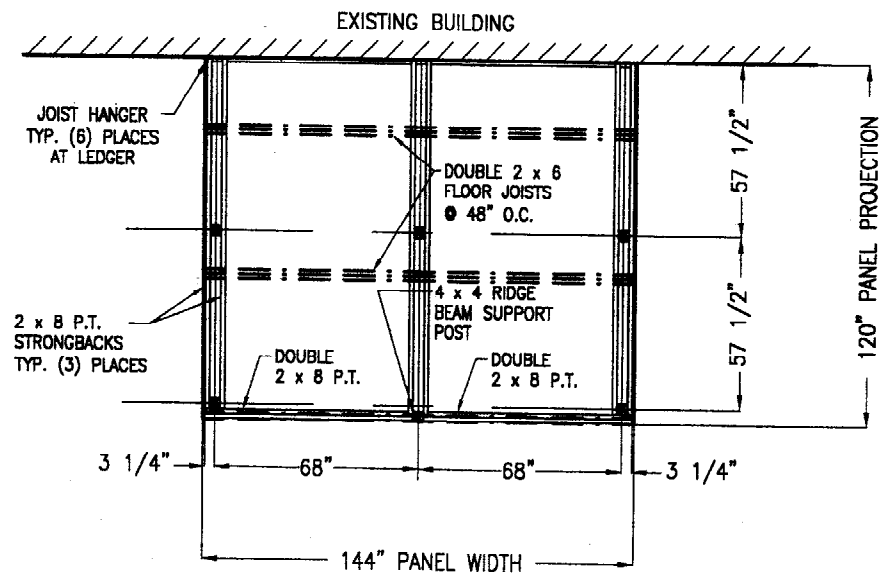
INSUL-DECK AT BUILDING DETAIL

3" = 1'-0" B S-6



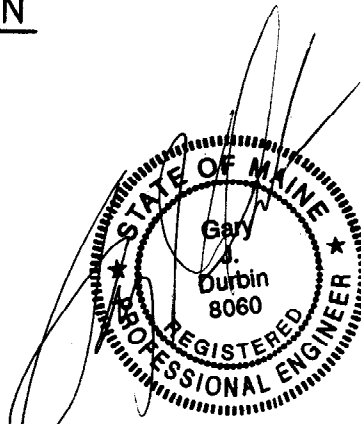
POST AT MID-POINT DETAIL

3" = 1'-0" C S-6



DECK LAYOUT PLAN

3/8" = 1'-0"



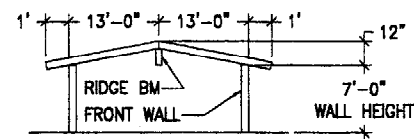
AUG 08 2002

THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE	
DECK PLAN AND AND FOUNDATION DETAIL	
ORDER NUMBER: 20022928	DATE: AUGUST 8, 2002
DRAWN BY: G. DURBIN	AS NOTED
CHECKED BY: G. DURBIN	
SCALE: AS NOTED	
1125 BEREA RD. PRVT. BEREA, OH 44017 PH: (440) 239-9100 FAX: (440) 239-1612 TOLL FREE: (800) 824-7888	
Joyce co. mfg.	
REV. DATE BY COMMENT	SIZE: D
	SHEET NO. S-6
	SHEET 6 OF 6

EXAMPLE USE OF TABLES ---

I. GIVEN:

A. ENCLOSURE CONFIGURATION



- B. LIVE LOAD = 10 psf
- C. WIND LOAD = 70 mph
- D. WALL MULLION SPACING = 4'-0"
- E. MULLION TYPE I
- F. FRONT WALL (BEARING) HEIGHT = 7'-0"
- G. SIDE WALL (NON-BEARING) HEIGHT = 7'-6"
- H. ROOM PROJECTION (OUT OF PAGE) = 12'-0"
- I. RIDGE BEAM IS 1 3/4"x14" MICROLAM BEAM
- J. BEAM POST IS 4x6 DOUGLAS FIR LARCH

ii. FIND:

A. MAXIMUM BEARING WALL HT.

STEP 1 - DETERMINE TRIBUTARY PANEL SPAN TO WALL USING TABLE 1

Roof Panel Span	Front Wall Support Overhang (ft.)			Ridge Beam
	0	1	2	
2 ft.	1.0	2.5	4.0	2.0
4 ft.	2.0	3.5	4.5	4.0
12 ft.	8.0	7.5	8.5	8.0
OK TO	8.4	8.0	9.0	

STEP 2 - SELECT MAXIMUM WALL HEIGHT USING TABLE 5

Walls Mullion Spacing (ft.)	Applied Roof Live Load - 10 psf	
	Wind Up to 70 mph	Wind Up to 80 mph
48	10.5 ft.	9.3 ft.
54	10.0 ft.	8.8 ft.
70	8.8 ft.	7.8 ft.
48	10.0 ft.	8.8 ft.
54	9.4 ft.	8.4 ft.
70	8.3 ft.	7.5 ft.
48	8.8 ft.	8.8 ft.
54	8.3 ft.	8.3 ft.
70	8.2 ft.	7.3 ft.

STEP 3 - ANSWER: MAXIMUM WALL HT = 9'-10" > 7'-0" - OK

B. MAXIMUM NON-BEARING WALL HEIGHT.

STEP 1 - TRIBUTARY PANEL SPAN = 0'-0"

STEP 2 - SELECT MAXIMUM WALL HEIGHT USING TABLE 5

STEP 3 - ANSWER: ALLOWABLE WALL HEIGHT = 10'-6" > 7'-6" - OK

C. MAXIMUM ROOM WIDTH/PROJECTION RATIO

STEP 1 - DETERMINE NEED FOR SPECIAL ENGINEERING FROM TABLE 2

Enclosure Projection	Average Mullion Height	Wind Up to 70 mph				
		10	15	20	25	30
10 ft.	8 ft.					
	10 ft.					
12 ft.	8 ft.					
	10 ft.					
14 ft.	8 ft.					
	10 ft.					
16 ft.	8 ft.					
	10 ft.					
18 ft.	8 ft.					
	10 ft.					
20 ft.	8 ft.					
	10 ft.					

STEP 2 - ANSWER: SPECIAL ENGINEERING IS NOT REQUIRED

D. EAVE ATTACHMENT

STEP 1 - USE TABLE 3 TO DETERMINE MAXIMUM EAVE PROJECTION & USE TABLE 4 TO DETERMINE ANCHORAGE TO EXISTING STRUCTURE

E. BEAM CONFIGURATION (IF REQUIRED)

STEP 1 - DETERMINE TRIBUTARY PANEL SPAN TO BEAM USING TABLE 1

Roof Panel Span	Front Wall Support Overhang (ft.)			Ridge Beam
	0	1	2	
2 ft.	1.0	2.5	4.0	2.0
4 ft.	2.0	3.5	4.5	4.0
12 ft.	8.0	7.5	8.5	8.0
OK TO	8.4	8.0	9.0	

STEP 2 - SELECT MAXIMUM ALLOWABLE SPAN USING TABLE 6

Trib. Panel Span (ft.)	Roof Live Load @ 10 psf, < 80mph Wind Zone			Microlam: 1-3/4 X		
	0	10	12	14	16	18
8	24.0	24.0	23.8	24.0	22.0	19.0
10	10.4	11.5	12.3	17.5	16.2	18.8
12	NA	10.6	11.6	16.4	17.1	17.7
14	NA	10.2	11.0	16.0	16.2	16.9
16	NA	NA	10.5	14.9	15.5	16.1
18	NA	NA	10.0	14.3	14.9	15.4
20	NA	NA	NA	13.8	14.4	14.9

STEP 3 - ANSWER: MAXIMUM BEAM SPAN = 15'-7" > 12'-0" - OK

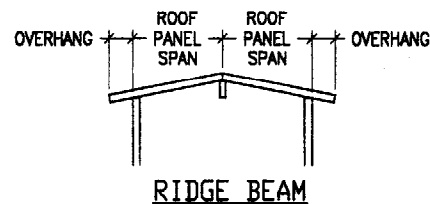
F. DETERMINE POST FOOTING SIZE USING TABLE 7

STEP 1 - DETERMINE TRIBUTARY PANEL SPAN TO BEAM USING TABLE 1 SEE STEP E

STEP 2 - SELECT FOOTING SIZE USING TABLE 7.

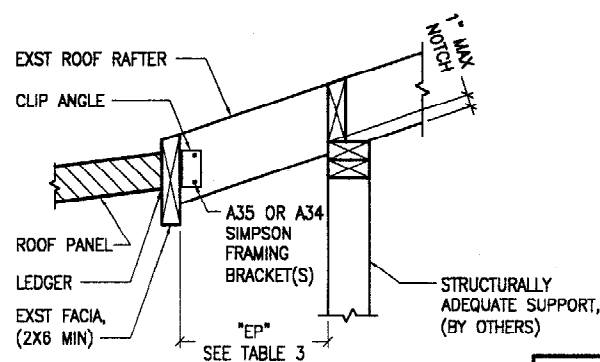
Trib. Panel Span (ft.)	2 ft. Deep Square Footing "b" Dimension (ft.)			
	10	15	20	25
2	NR	NR	1	1
4	1	1.5	1.5	1.5
6	1.5	1.5	2	2
8	1.5	2	2	2.5
10	1.5	2	2.5	2.5
12	1.8	2	2.5	2.5
14	2	2	2.5	2.5
16	2	2.5	2.5	3
18	2	2.5	3	3
20	2	2.5	3	3

STEP 3 - ANSWER: USE 2x2x2 DEEP FOOTING



Roof Panel Span	Front Wall Support Overhang (ft.)				Ridge Beam
	0	1	2	3	
2 ft.	1.0	2.5	4.0	6.5	2.0
4 ft.	2.0	3.5	4.5	6.5	4.0
6 ft.	3.0	4.5	5.5	7.0	6.0
8 ft.	4.0	5.5	6.5	8.0	8.0
10 ft.	5.0	6.5	7.5	8.5	10.0
11 ft.	5.5	7.0	8.0	9.0	11.0
12 ft.	6.0	7.5	8.5	9.5	12.0
13 ft.	6.5	8.0	9.0	10.0	13.0
14 ft.	7.0	8.5	9.5	10.5	14.0
15 ft.	7.5	9.0	10.0	11.0	15.0
16 ft.	8.0	9.5	10.5	11.5	16.0
17 ft.	8.5	10.0	11.0	12.0	17.0
18 ft.	9.0	10.5	11.5	12.5	18.0
19 ft.	9.5	11.0	12.0	13.0	19.0
20 ft.	10.0	11.5	12.5	13.5	20.0

ALL DIMENSIONS IN FEET (UON)



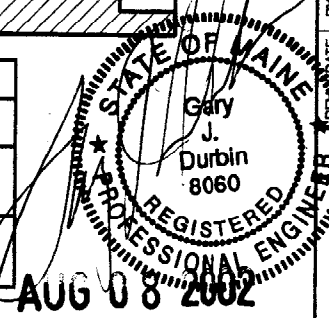
NOTES:

1. THE NOTCHED PROJECTIONS (E.G. 2x6 NOTCH) GIVEN IN THE TABLE ABOVE, ARE FOR BEAMS WITH A 1" NOTCH. FOR BEAMS WITH A 1/2" TO 1" NOTCH, L MAY BE INCREASED BY 4". FOR BEAMS WITH A 1" TO 1.5" NOTCH, DECREASE L BY 5". DO NOT USE A NOTCH GREATER THAN 1" FOR 30 AND 40 PSF PATIO LOADS.

Rafter Size (in.)	Patio Load (psf)			
	10	20	30	40
2x4 Full	15	12	11	9
2x6 Notched	23	19	17	14
2x6 Full	31	27	24	19
2x8 Notched	37	33	29	24
2x8 Full	46	41	37	30

LIVE LOAD	STUD WALL	EXIST. EAVE	BLOCK OR BRICK	CONCRETE	
Up to 30 psf	5/16" Lag Scw w/ 3 1/4" min.embed. @ 16" o.c.	5/16" Lag Screw w/ 3 1/4" min.embed. @ 16" o.c.	3/8" Hilti HIT-HY 20 w/ 6" min.embed. @ 16" o.c.	3/8" Hilti HIT-HY 150 w/ 3.5" min.embed. @ 16" o.c.	1/4" Hilti KB II w/ 2" min.embed @ 16" o.c.
Up to 40 psf	3/8" Lag Scw w/ 3 1/4" min.embed. @ 16" o.c.	3/8" Lag Screw w/ 3 1/4" min.embed. @ 16" o.c.	Not Allowed	3/8" Hilti HIT-HY 150 w/ 3.5" min.embed. @ 16" o.c.	1/4" Hilti KB II w/ 2" min.embed @ 12" o.c.

NOTE: RAFTER AND FACIA SHALL HAVE A MINIMUM SPECIFIC GRAVITY OF 0.5, SUCH AS DF.



THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TITLE: MISCELLANEOUS TABLES

ORDER NUMBER: 20022928

DRAWN BY: G. DURBIN

CHECKED BY: G. DURBIN

SCALE: AS NOTED

DATE: AUGUST 8, 2002

1125 BEREA RD. PRWY. BEREA, OH 44017
 PH: (440) 239-9100
 FAX: (440) 239-1812
 TOLL FREE: (800) 824-7988

joyce co. mfg.

DATE BY COMMENT

SIZE: D

SHEET NO. T-1

SHEET 1 OF 2

TABLE 5 Maximum Allowable Wall Mullion Height (ft.)

Trib. Panel Span (ft.)	Max. Mullion Spacing (ft.)	Applied Roof Live Load - 10 psf								Applied Roof Live Load - 20 psf								Applied Roof Live Load - 30 psf								Applied Roof Live Load - 40 psf							
		Wind Up to 70 mph		Wind Up to 80 mph		Wind Up to 90 mph		Wind Up to 110 mph		Wind Up to 70 mph		Wind Up to 80 mph		Wind Up to 90 mph		Wind Up to 110 mph		Wind Up to 70 mph		Wind Up to 80 mph		Wind Up to 90 mph		Wind Up to 110 mph		Wind Up to 70 mph		Wind Up to 80 mph		Wind Up to 90 mph		Wind Up to 110 mph	
		Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I	Mullion	Type I
0	48	11.0	9.7	9.1	8.5	7.4	11.0	9.7	9.1	8.5	7.4	11.0	9.7	9.1	8.5	7.4	11.0	9.7	9.1	8.5	7.4	11.0	9.7	9.1	8.5	7.4	11.0	9.7	9.1	8.5	7.4		
	54	10.3	9.1	8.5	7.8	6.9	10.3	9.1	8.5	7.8	6.9	10.3	9.1	8.5	7.8	6.9	10.3	9.1	8.5	7.8	6.9	10.3	9.1	8.5	7.8	6.9	10.3	9.1	8.5	7.8	6.9		
	70	9.3	8.2	7.8	7.5	6.2	9.3	8.2	7.8	7.5	6.2	9.3	8.2	7.8	7.5	6.2	9.3	8.2	7.8	7.5	6.2	9.3	8.2	7.8	7.5	6.2	9.3	8.2	7.8	7.5	6.2		
4	48	10.6	9.4	8.6	7.5	10.3	9.2	8.7	7.2	9.1	8.0	7.5	7.1	8.7	7.8	7.1	8.7	7.8	7.1	8.7	7.8	7.1	8.7	7.8	7.1	8.7	7.8	7.1	8.7	7.8	7.1		
	54	10.0	8.8	8.3	7.5	9.7	8.7	8.1	6.8	8.8	8.4	8.0	6.7	8.2	7.5	6.7	8.2	7.5	6.7	8.2	7.5	6.7	8.2	7.5	6.7	8.2	7.5	6.7	8.2	7.5	6.7		
	70	8.9	8.0	7.5	6.1	8.7	7.8	7.3	6.0	7.7	7.5	7.1	5.9	7.3	6.7	6.0	7.3	6.7	6.0	7.3	6.7	6.0	7.3	6.7	6.0	7.3	6.7	6.0	7.3	6.7	6.0		
6	48	10.4	9.3	8.7	7.4	9.1	8.8	8.5	7.2	8.5	7.9	7.5	6.1	8.1	7.9	7.0	6.1	8.1	7.9	7.0	6.1	8.1	7.9	7.0	6.1	8.1	7.9	7.0	6.1	8.1	7.9	7.0	
	54	9.8	8.7	8.2	7.4	8.5	8.3	8.0	6.8	8.0	7.4	7.0	5.9	7.6	7.0	6.3	5.9	7.6	7.0	6.3	5.9	7.6	7.0	6.3	5.9	7.6	7.0	6.3	5.9	7.6	7.0	6.3	
	70	8.8	7.8	7.4	6.1	7.8	7.4	7.1	5.9	7.2	6.8	6.3	5.3	7.0	6.5	5.8	5.3	7.0	6.5	5.8	5.3	7.0	6.5	5.8	5.3	7.0	6.5	5.8	5.3	7.0	6.5	5.8	
8	48	10.2	9.2	8.6	7.3	8.7	8.0	7.5	6.2	8.0	7.5	7.2	5.9	7.6	7.1	6.5	5.9	7.6	7.1	6.5	5.9	7.6	7.1	6.5	5.9	7.6	7.1	6.5	5.9	7.6	7.1	6.5	
	54	9.8	8.6	8.1	7.3	8.1	7.5	7.2	6.0	7.6	7.0	6.7	5.7	7.4	6.8	6.4	5.7	7.4	6.8	6.4	5.7	7.4	6.8	6.4	5.7	7.4	6.8	6.4	5.7	7.4	6.8	6.4	
	70	8.8	7.7	7.3	6.1	7.3	6.7	6.4	5.3	7.0	6.5	6.0	5.0	6.8	6.3	5.8	5.0	6.8	6.3	5.8	5.0	6.8	6.3	5.8	5.0	6.8	6.3	5.8	5.0	6.8	6.3	5.8	
10	48	9.2	8.2	7.7	6.4	8.5	7.8	7.3	6.0	7.7	7.2	6.7	5.6	7.2	6.7	6.2	5.6	7.2	6.7	6.2	5.6	7.2	6.7	6.2	5.6	7.2	6.7	6.2	5.6	7.2	6.7	6.2	
	54	8.7	7.7	7.3	6.1	7.8	7.3	6.8	5.7	7.2	6.7	6.2	5.2	6.8	6.3	5.8	5.2	6.8	6.3	5.8	5.2	6.8	6.3	5.8	5.2	6.8	6.3	5.8	5.2	6.8	6.3	5.8	
	70	7.7	6.7	6.3	5.1	7.0	6.5	6.0	5.0	6.4	5.9	5.4	4.4	6.0	5.5	5.0	4.4	6.0	5.5	5.0	4.4	6.0	5.5	5.0	4.4	6.0	5.5	5.0	4.4	6.0	5.5	5.0	

- NOTES: 1. Values below heavy line require a 2'x2' footing or Continuous footing under all bearing wall mullions.
 2. Interpolation is permitted for values between those shown.
 3. Tributary panel span is determined per Table 1/T-1
 4. Not Allowed for Studio (Shed) Type Roof.

TABLE 6a MAXIMUM ALLOWABLE RIDGE BEAM SPAN
 Roof Live Load @ 10 psf, < 90 mph Wind Zone & < 12' 4x6 DF Support Post.

Trib. Panel Span (ft.)	Doug Fir-Larch: 2 X				Microrollam: 1-3/4 X					
	8	10	12	14	5-1/2	7-1/4	9-1/4	11-7/8	14	16
8	14.8	18.6	22.4	26.1	12.8	16.8	21.9	27.2	31.9	36.3
10	13.3	16.8	20.2	23.6	11.9	15.7	20.5	25.5	29.9	34.0
12	12.2	15.4	18.6	21.7	11.3	14.8	19.3	24.1	28.3	32.2
14	11.3	14.3	17.2	20.2	10.7	13.9	18.4	22.9	26.9	30.7
16	10.6	13.4	16.2	18.9	10.3	13.5	17.6	22.0	25.9	29.5
18	10.0	12.7	15.3	17.9	9.9	13.0	17.0	21.2	24.9	28.4
20	9.5	12.0	14.5	17.0	9.5	12.6	16.4	20.5	24.1	27.5

TABLE 6c MAXIMUM ALLOWABLE RIDGE BEAM SPAN
 Roof Live Load @ 30 psf, < 90 mph Wind Zone & < 12' 4x6 DF Support Post.

Trib. Panel Span (ft.)	Doug Fir-Larch: 2 X				Microrollam: 1-3/4 X					
	8	10	12	14	5-1/2	7-1/4	9-1/4	11-7/8	14	16
8	9.2	11.7	14.1	16.6	9.3	12.3	16.1	20.0	23.6	26.9
10	8.3	10.5	12.6	14.8	8.7	11.4	15.0	18.7	22.0	25.1
12	NA	9.2	11.1	13.0	8.2	10.8	14.1	17.6	20.7	23.7
14	NA	NA	9.6	11.2	7.8	10.2	13.4	16.7	19.7	22.5
16	NA	NA	8.4	9.8	7.4	9.8	12.8	16.0	18.9	21.6
18	NA	NA	NA	8.7	7.1	9.4	12.3	15.4	18.2	20.7
20	NA	NA	NA	NA	6.9	9.1	11.9	14.9	17.9	20.0

TABLE 6b MAXIMUM ALLOWABLE RIDGE BEAM SPAN
 Roof Live Load @ 20 psf, < 90 mph Wind Zone & < 12' 4x6 DF Support Post.

Trib. Panel Span (ft.)	Doug Fir-Larch: 2 X				Microrollam: 1-3/4 X					
	8	10	12	14	5-1/2	7-1/4	9-1/4	11-7/8	14	16
8	11.1	14.0	16.9	19.7	10.6	13.9	18.1	22.6	26.6	30.3
10	9.9	12.5	15.2	17.7	9.8	12.9	16.9	21.1	24.8	28.2
12	9.1	11.5	13.9	16.2	9.2	12.2	15.9	19.9	23.4	26.7
14	8.4	10.6	12.9	15.1	8.8	11.6	15.1	18.9	22.3	25.4
16	NA	10.0	12.1	14.1	8.4	11.1	14.5	18.1	21.3	24.3
18	NA	8.9	10.8	12.6	8.1	10.7	14.0	17.4	20.5	23.4
20	NA	8.0	9.7	11.4	7.8	10.3	13.5	16.8	19.8	22.8

TABLE 6d MAXIMUM ALLOWABLE RIDGE BEAM SPAN
 Roof Live Load @ 40 psf, < 90 mph Wind Zone & < 12' 4x6 DF Support Post.

Trib. Panel Span (ft.)	Doug Fir-Larch: 2 X				Microrollam: 1-3/4 X					
	8	10	12	14	5-1/2	7-1/4	9-1/4	11-7/8	14	16
8	8.1	10.2	12.3	14.5	8.5	11.2	14.7	18.4	21.8	24.7
10	NA	8.4	10.1	11.9	7.9	10.5	13.7	17.1	20.1	23.0
12	NA	NA	8.5	10.0	7.5	9.8	12.9	16.1	19.0	21.7
14	NA	NA	NA	8.6	7.1	9.4	12.3	15.3	18.0	20.6
16	NA	NA	NA	NA	6.8	8.9	11.7	14.7	17.3	19.7
18	NA	NA	NA	NA	6.5	8.6	11.3	14.1	16.6	19.0
20	NA	NA	NA	NA	6.2	8.2	10.7	13.4	15.8	18.0

- NOTES: 1. Interpolation is permitted for values between those provided.
 2. Tributary panel span is determined per Table 1/T-1
 3. For wind zones higher than 90 mph special engineering is required.

TABLE 7 FOOTING SCHEDULE
 2 ft. Deep Square Footing "b" Dimension (ft.)

Trib. Panel Span (ft.)	Wind up to 70 mph				Wind up to 80 mph				Wind up to 90 mph				Wind up to 110 mph			
	Ridge Beam Span (ft.)				Ridge Beam Span (ft.)				Ridge Beam Span (ft.)				Ridge Beam Span (ft.)			
	10	15	20	25	10	15	20	25	10	15	20	25	10	15	20	25
2	NR	NR	1	1	NR	NR	1	1.5	NR	NR	1.5	1.5	NR	NR	1.5	1.5
4	1	1.5	1.5	1.5	1	1.5	1.5	1.5	1.5	1.5	1.5	2	1.5	2	2	2.5
6	1.5	1.5	1.5	2	1.5	1.5	2	2	1.5	2	2	2.5	2	2	2.5	3
8	1.5	1.5	2	2	1.5	2	2	2.5	1.5	2	2.5	2.5	2	2.5	3	3
10	1.5	2	2	2.5	1.5	2	2.5	2.5	2	2.5	2.5	3	2.5	3	3	3.5
12	1.5	2	2.5	2.5	2	2	2.5	3	2	2.5	3	3	2.5	3	3.5	4
14	2	2	2.5	2.5	2	2.5	2.5	3	2	2.5	3	3.5	2.5	3	3.5	4
16	2	2.5	2.5	3	2	2.5	3	3	2.5	3	3	3.5	3	3.5	4	4.5
18	2	2.5	3	3	2	2.5	3	3.5	2.5	3	3.5	4	3	3.5	4	4.5
20	2	2.5	3	3	2.5	3	3	3.5	2.5	3	3.5	4	3	4	4.5	5

"NR" FOOTING IS NOT REQUIRED FOR THE APPLIED LOADS
 NOTE: TRIBUTARY PANEL SPAN IS DETERMINED PER TABLE 1/T-1

THIS BAR MEASURES EXACTLY ONE INCH AT FULL SCALE

TITLE: MISCELLANEOUS TABLES

ORDER NUMBER: 20022928

DRAWN BY: G. DURBIN

CHECKED BY: G. DURBIN

SCALE: AS NOTED

DATE: AUGUST 8, 2002

1125 BEREA RD. PRWY. BEREA, OH 44017 PH: (440) 239-9100 FAX: (440) 239-1812 TOLL FREE: (800) 824-7888

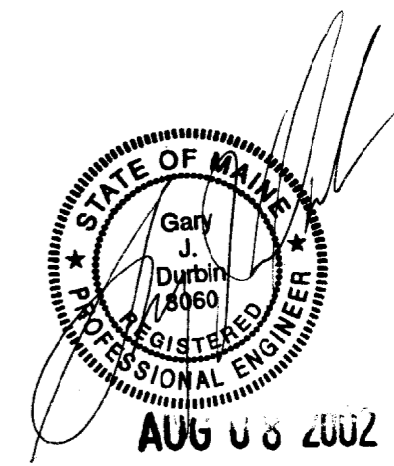
joyce co. inc. mfg.

REV. DATE BY COMMENT

SIZE: D

SHEET NO. T-2

SHEET 2 OF 2



INSUL-DECK. Floor Panel Do's and Don'ts

- 1.) Do not drop panels on their corners. Do not lift panels by their top skin. Panels are to be handled with care.
- 2.) Do provide adequate support for panels when storing them. Store panels laying flat and covered.
- 3.) Do store Do-All-Ply in a warm area for best application results in cold weather.
- 4.) Do place Do-All-Ply along the leading edge of wood being inset into panel.
- 5.) Do not place the panels in a cantilever condition.
- 6.) Do not use the panels in an exterior application.
- 7.) Do provide level and square foundations to support Joyce Mfg. Floor Panels.
- 8.) Do not install panels directly on concrete.
- 9.) Do remove debris from plate area prior to panel placement.
- 10.) Do provide adequate bracing of panels during erection.
- 11.) Do damp proof the underside of panels and provide a polyethylene vapor barrier on the ground underneath structure.
- 12.) Do provide adequate ventilation into the space between the ground and the underside of the floor panels.
- 13.) Do provide a 7/16" thick OSB (or material equal in performance to resist point loading) subfloor perpendicular to the floor panels
- 14.) Do not put plumbing in INSUL-DECK Floor Panels without consulting panel manufacturer.
- 15.) Do not overcut the skins for field-cut openings.
- 16.) Do not cut the skins for electrical chases.

GARY J. DURBIN
No. 8999
PROFESSIONAL ENGINEER
JUL 31 2002
Updated 5-14-97

INSUL-DECK Floor Panel	
TITLE: Panel Precautions	NO. JMID-100



CITY OF PORTLAND, MAINE

Department of Building Inspections

718 20 02

Received from Advanced Siding

Location of Work 2 Parkside

Cost of Construction \$ 19,000

Permit Fee \$ 156-

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 167-H2001

Check #: 10384

Total Collected \$ 156-

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy