

| | | | | | | | |
|---|--|---------------------------------------|--|---|--|---|--|
| Location of Construction: 618 Washington Ave | | Owner: Rainbow United Meth. Church | | Phone: | | Permit No: 001223 | |
| Owner Address: SAA | | Lessee/Buyer's Name: | | Phone: | | BusinessName: | |
| Contractor Name: ** Atlantic Coast Bill Nemmers | | Address: *** 774-3683*** | | Phone: | | Permit Issued: Oct 21 2000 | |
| Past Use: Church | | Proposed Use: same | | COST OF WORK: \$ 271,000.00 | | PERMIT FEE: \$ 1,650.00 | |
| | | | | FIRE DEPT. <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied | | INSPECTION: Use Group: A4 Type 5B Signature: [Signature] | |
| Proposed Project Description: Addition to church Phase 2 Phase 1 foundation all on one permit | | Signature: [Signature] | | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: Approved <input type="checkbox"/> Approved with Conditions: <input type="checkbox"/> Denied <input type="checkbox"/> | | Zone: R-5 CBL: 167-F-013 to 15 Zoning Approval: ok with conditions Special Zone or Review: NA 10/27/00 | |
| Permit Taken By: K | | Date Applied For: Oct 24 2000 | | Signature: [Signature] Date: | | Site Plan maj <input checked="" type="checkbox"/> Minor <input type="checkbox"/> \$19990060 | |

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Oct 24 2000 K

SIGNATURE OF APPLICANT ADDRESS: DATE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

Zone: R-5 CBL: 167-F-013 to 15
 Zoning Approval: ok with conditions
 Special Zone or Review: NA
 10/27/00
 Site Plan maj Minor
 #19990060
Zoning Appeal
 Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied
Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review
Action:
 Approved
 Approved with Conditions
 Denied
 Date: [Signature]
 PERMIT ISSUED WITH REQUIREMENTS 10/27/00
 CEO DISTRICT 2

COMMENTS

11/9/00 Forms being set self packs measure 20'4" at closest point

2/7/01 Framing o.k. Except for ~~st~~ tread ~~on~~ on one set which is a "beveled" 10". Bill Nevins the design pro was informed by phone. A row

8/14/01 Stairs (tread + rise o.k) need proper handrails, guardrails. Boiler room - 5/8 walls needed, vent pipes unsupported, self-blown door, penetrations must be filled. ~~Electric~~ & Hunter room - penetrations. Electric - cover must be secure, typped, outside lights. Fire alarm - Strobes in bathrooms ADA - Test of system. Remove old exit sign to old stairs. Ballusters front steps. AR w/ PSH, Lt M. Royal, M. Collins.

8/21/01 Met w/ Ed Morgan, who is unpaid consultant acting as sort of general contractor.

11/9/01- All above items corrected - OIC for Cofo to be issued for new space.
(Items listed on another sheet.)

Tom W

| Inspection Record | |
|-------------------|-------|
| Type | Date |
| Foundation: _____ | _____ |
| Framing: _____ | _____ |
| Plumbing: _____ | _____ |
| Final: _____ | _____ |
| Other: _____ | _____ |



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 618 Washington Ave

CBL 167 F01300101

Issued to Rainbow United Methodist church/Atlantic Coast Bil Nemmers Date of Issue 11/14/2001

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 00-1223 , has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

entire addition

APPROVED OCCUPANCY

Church, Use Group A-4, Type 5b. Boca 99

Limiting Conditions:

None

**This certificate supersedes
certificate issued**

Approved:

11/9/01 *Thomas M. Nemmers*
(Date) Inspector

Thomas M. Nemmers
Inspector of Buildings

AMA
11/15/01


Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the information below for a Building or Use Permit.

NOTEIf you or the property owner owns real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

| | | |
|---|---|---|
| Location/Address of Construction (include Portion of Building): 618 WASHINGTON AVE. Portland ME | | |
| Total Square Footage of Proposed Structure 4120 SF | Square Footage of Lot 15 000 SF | |
| Tax Assessor's Chart, Block & Lot Number Chart# 667 Block# F Lot# 013 | Owner: RAINBOW UNITED METHOD CHURCH 618 WASHINGTON AVE PORTLAND ME 04103 | Telephone#: |
| Owner's Address: 618 WASH. AVE PORTLAND ME 04103 | Lessee/Buyer's Name (If Applicable) — | Cost Of Work: \$271,000 Fee \$1650 |
| Proposed Project Description:(Please be as specific as possible) CLASS ROOM ADDITION TO EXISTING CHURCH - Phase II Phase I Foundation all in one permit | | |
| Contractor's Name, Address & Telephone ATLANTIC COAST CONSTRUCTION 764 9468 145 KENNESIC ST. PORTLAND 04101 | | Rec'd By  |
| Current Use: Church | Proposed Use: Church | |

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) Installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

*** IF Available also
Submit Plans on
ADOBE OR CAD FORMS**

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

**Bill
774-3683**

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

| | |
|---|-----------------------|
| Signature of applicant:  | Date: 10/24/00 |
|---|-----------------------|

Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum

BUILDING PERMIT REPORT

DATE: 24 October 2000 ADDRESS: 618 Washington Ave. CBL: 167-F-013

REASON FOR PERMIT: Addition To Church (Foundation)

BUILDING OWNER: Rainbow United Meth. Church.

PERMIT APPLICANT: _____ CONTRACTOR ATLANTIC COAST

USE GROUP: A-4 CONSTRUCTION TYPE: 5B CONSTRUCTION COST: \$27,000 PERMIT FEES: \$1,650.00

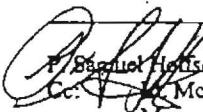
The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments) *This permit for*
 The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993) *Foundation at this time.*
Permit for full permit
has been paid for.

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: #1 *2 *3 *4 *5 *6
*11 *12 *13 *17 *18 *23 *27 *28 *29 *32 *33 *34 *36 *37 *38 139/
#31

- ~~1.~~ This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- ~~2.~~ Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "**ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING.**"
- ~~3.~~ Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- ~~4.~~ Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- ~~5.~~ Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- ~~6.~~ Precaution must be taken to protect concrete from freezing. Section 1908.0
- ~~7.~~ It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- ~~10.~~ Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- ~~11.~~ Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/2" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- ~~12.~~ Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- ~~13.~~ Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- ~~17.~~ All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- ~~18.~~ The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
- X 23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
- X 28. All requirements must be met before a final Certificate of Occupancy is issued.
- X 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements. *All conditions on the attached site plan review sheets shall be met*
- X 32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X 33. Bridging shall comply with Section 2305.16.
- X 34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
- X 36. All flashing shall comply with Section 1406.3.10.
- X 37. *Before Busses are erected a structural design shall be submitted to this office bearing the name, seal and date of design*
- X 38. *All site work shall comply with Chapter 33 of the Bldg. Code*
- X 39. *State Fire approval required for this project*


 F. Samuel Holmes, Building Inspector
 Cc: M. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 10/1/00

** This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.

! THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

**** ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.

**** CERTIFICATE OF OCCUPANCY FEE \$50.00

Applicant: Bill Neumers
Address: 618 Washington Ave

Date: 10/27/00
C-B-L: 167-F-13 to 15

CHECK-LIST AGAINST ZONING ORDINANCE

Date - ~~to~~ Existing

Zone Location - R-5

Interior or corner lot -

Proposed Use/Work - Addition to Church $\approx 42' \times 48'$ classroom
Addition

Sewage Disposal - City

Lot Street Frontage - 50' req - 150' shown

Front Yard - 20' req - 28' scaled

Rear Yard - 20' req - 20' shown

Side Yard - 12' req - 12' 7.5" shown

Projections - front entry

Width of Lot -

Height - 2 story shown - 35' max - 27' scaled

Lot Area -

15,399[#] per assess.

Lot Coverage/Impervious Surface -

40%

Area per Family - NA

Off-street Parking - No real increase - most under 15 yrs of age

Loading Bays -

because it is the same "clientel", just the kids

Site Plan - minor # 19990060

Shoreland Zoning/Stream Protection - NA

Flood Plains - Panel # 7 Zone X



City of Portland, Maine

ACCESSIBILITY CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Services

FROM: _____

RE: Certificate of Design, HANDICAP ACCESSIBILITY

DATE: _____

These plans and/or specifications covering construction work on:

Have been designed and drawn up by the undersigned, a Maine registered engineer/architect according to State Regulations as adopted by the State of Maine on Handicapped Accessibility.

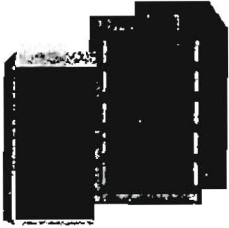
(SEAL)

Signature _____

Title _____

Firm _____

Address _____



CITY OF PORTLAND
BUILDING CODE CERTIFICATE

TO: Inspector of Buildings City of Portland, Maine
Department of Planning & Urban Development
Division of Housing & Community Service

FROM: William Nemmers Architect

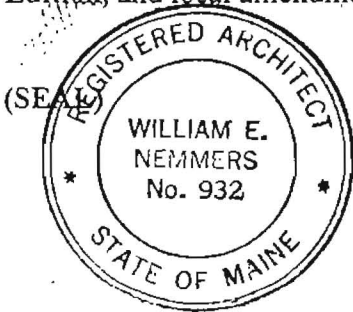
RE: Certificate of Design

DATE: Oct 21,

These plans and/or specifications covering construction work on:

Rainbow United Methodist Church
618 Washington Ave. Portland Me 04103

Have been designed and drawn up by the undersigned, a Maine registered architect/engineer according to the BOCA National Building Code/1996 Thirteenth Edition, and local amendments.



Signature [Handwritten Signature]

Title OWNER

Firm Wm. Nemmers & Assoc

Address 424 Fore St. Portland 04107

As per Maine State Law:

\$50,000.00 or more in new construction, repair expansion, addition, or modification for Building or Structures, shall be prepared by a registered design Professional.



CITY OF PORTLAND MAINE

389 Congress St., Rm 315
Portland, ME 04101
Tel. - 207-874-8704
Fax - 207-874-8716

TO: Inspector of Buildings City of Portland, Maine
Planning & Urban Development
Division of Housing & Community Services

FROM DESIGNER: William Nemmers
388 4th Ave SE. Portland 04101

DATE: 001 23

Job Name: Rainbow United Methodist Church Addn

Address of Construction: 418 Washington Ave. Portland 04103

THE BOCA NATIONAL BUILDING CODE/1999 THIRTEENTH EDITION

Construction project was designed according to the building code criteria listed below:

Building Code and Year 1999 Use Group Classification(s) A-B

Type of Construction WOOD FR. Bldg. Height 07' Bldg. Sq. Footage 2052 EXIST
2068 ADDITION

Seismic Zone _____ Group Class _____

Roof Snow Load Per Sq. Ft. 45# ROOF RAISE 50# Dead Load Per Sq. Ft. 100#/SF HALLWAY - 50# CLASSROOM

Basic Wind Speed (mph) _____ Effective Velocity Pressure Per Sq. Ft. _____

Floor Live Load Per Sq. Ft. 100#/SF HALLWAY 50#/SF CLASSROOMS

Structure has full sprinkler system? Yes _____ No X Alarm System? Yes X No _____
Sprinkler & Alarm systems must be installed according to BOCA and NFPA Standards with approval from the Portland Fire Department.

Is structure being considered unlimited area building: Yes _____ No X

If mixed use, what subsection of 313 is being considered _____

List Occupant loading for each room or space, designed into this Project.

PSH 9/24/99

(Designers Stamp & Signature)



CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

19990060

I. D. Number

Rainbow United Methodist Church

Applicant

618 Washington Ave, Portland, ME 04103

Applicant's Mailing Address

William Nemmers

Consultant/Agent

774-3883

761-2838

Applicant or Agent Daytime Telephone, Fax

5/18/99

Application Date

Washington Ave

Project Name/Description

818 Washington Ave

Address of Proposed Site

187-F-013-15

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

- see planning conditions

Planning Conditions of Approval

1. that if determined by Public Works that the sidewalk along the frontage of the site is in need of repair, the applicant will repair the bituminous sidewalk to city standards.
2. that the applicant provide capacity letters from the Portland Water District and Portland Sewer Division prior to issuance of a building permit.
3. that the landscape plan be reviewed and approved by the City Arborist.
4. that the applicant revise the plan to show that the drainage from the southwesterly side of the lot or such area as determined by staff will be collected and discharged into the storm drain system in Washington Avenue.
5. that the applicant submit lighting information, such as catalogue cuts of lighting, mounting height, and a photometric plan for review and approval by staff.
6. that a letter of financial capability be provided for review and approval by staff.

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. Separate permits are required for any new signage.
3. This permit is being issued for the entire addition, foundation and structure.

Fire Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990060

I. D. Number

Rainbow United Methodist Church
Applicant
618 Washington Ave, Portland, ME 04103
Applicant's Mailing Address
William Nemmers
Consultant/Agent
774-3683 761-2836
Applicant or Agent Daytime Telephone, Fax

5/19/99
Application Date
Washington Ave
Project Name/Description
618 Washington Ave
Address of Proposed Site
167-F-013-15
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) church
4,142 sq. ft. 15,399 sq. ft. R-5
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other

Fees Paid: Site Plan \$400.00 Subdivision _____ Engineer Review _____ Date: 5/19/99

Inspections Approval Status:

Reviewer Marge Schmuckal

- Approved Approved w/Conditions see attached Denied
Approval Date 10/27/00 Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

| | | | |
|--|-------------------------|--|-----------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | <u>10/25/00</u> date | <u>\$7,340.00</u> amount | <u>9/15/01</u> expiration date |
| <input checked="" type="checkbox"/> Inspection Fee Paid | <u>10/24/00</u> date | <u>\$300.00</u> amount | |
| <input type="checkbox"/> Building Permit Issued | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | _____ remaining balance | _____ signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | |
| <input type="checkbox"/> Final Inspection | _____ date | _____ signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | _____ signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | _____ amount | _____ expiration date |
| <input type="checkbox"/> Defect Guarantee Released | | | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

19990060
I. D. Number

Rainbow United Methodist Church
Applicant
618 Washington Ave, Portland, ME 04103
Applicant's Mailing Address
William Nemmers
Consultant/Agent
774-3683 **761-2836**
Applicant or Agent Daytime Telephone, Fax

5/19/99
Application Date
Washington Ave
Project Name/Description

618 Washington Ave
Address of Proposed Site
167-F-013
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
4,142 sq. ft. **15,399 sq. ft.** **R-5**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
 Flood Hazard Shoreland Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$400.00** Subdiv/slo _____ Engineer Review _____ Date **5/19/99**

Planning Approval Status:

Reviewer **Kandi Talbot**

Approved Approved w/Conditions See Attached Denied

Approval Date **6/27/00** Approval Expiration **6/27/01** Extension to _____ Additional Sheets Attached
 OK to Issue Building Permi **kandi talbot** **10/25/00**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

| | | | |
|--|-------------------------|--|-----------------------------------|
| <input checked="" type="checkbox"/> Performance Guarantee Accepted | 10/25/00 date | \$7,340.00 amount | 9/15/01 expiration date |
| <input checked="" type="checkbox"/> Inspection Fee Paid | 10/24/00 date | \$300.00 amount | |
| <input type="checkbox"/> Building Permit Issue | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date | <input type="checkbox"/> Conditions (See Attached) | |
| <input type="checkbox"/> Final Inspection | _____ date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ date | signature | |

CLASSROOM ADDITION to the RAINBOW UNITED METHOD 618 WASHINGTON AVENUE, POR



LIST OF DRAWINGS

- S-1 TITLE SHEET
- S-2 SITE PLAN

- A-1 LOWER LEVEL PLAN
- A-2 UPPER LEVEL PLAN
- A-3 WASHINGTON AVE. ELEVATION
- A-4 SIDE ELEVATION
- A-5 REAR ELEVATION
- A-6 FOUNDATION PLAN
- A-7 FLOOR FRAMING PLAN
- A-8 ROOF FRAMING PLAN
- A-9 NORTH/SOUTH SECTION
- A-10 EAST/WEST SECTION
- A-11 TRUSS SECTIONS
- A-12 FRONT PORCH DETAILS
- A-13 ELEVATOR DETAILS

- E-1 LOWER LEVEL ELECTRICAL PLAN
- E-2 UPPER LEVEL ELECTRICAL PLAN

- M-1 MECHANICAL PLANS

S

Pg

Pg

Pg

Pg

Pg

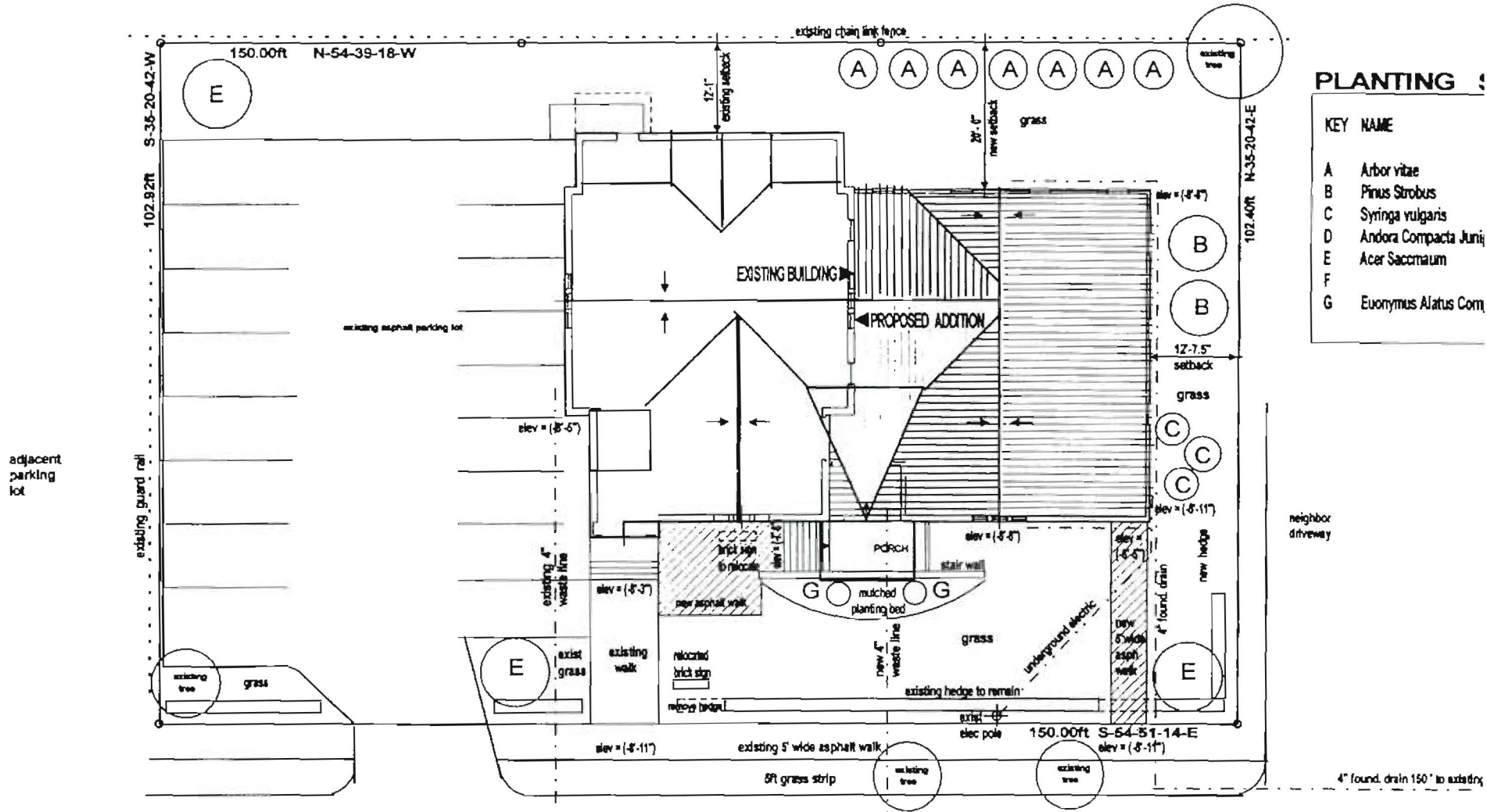
Pg

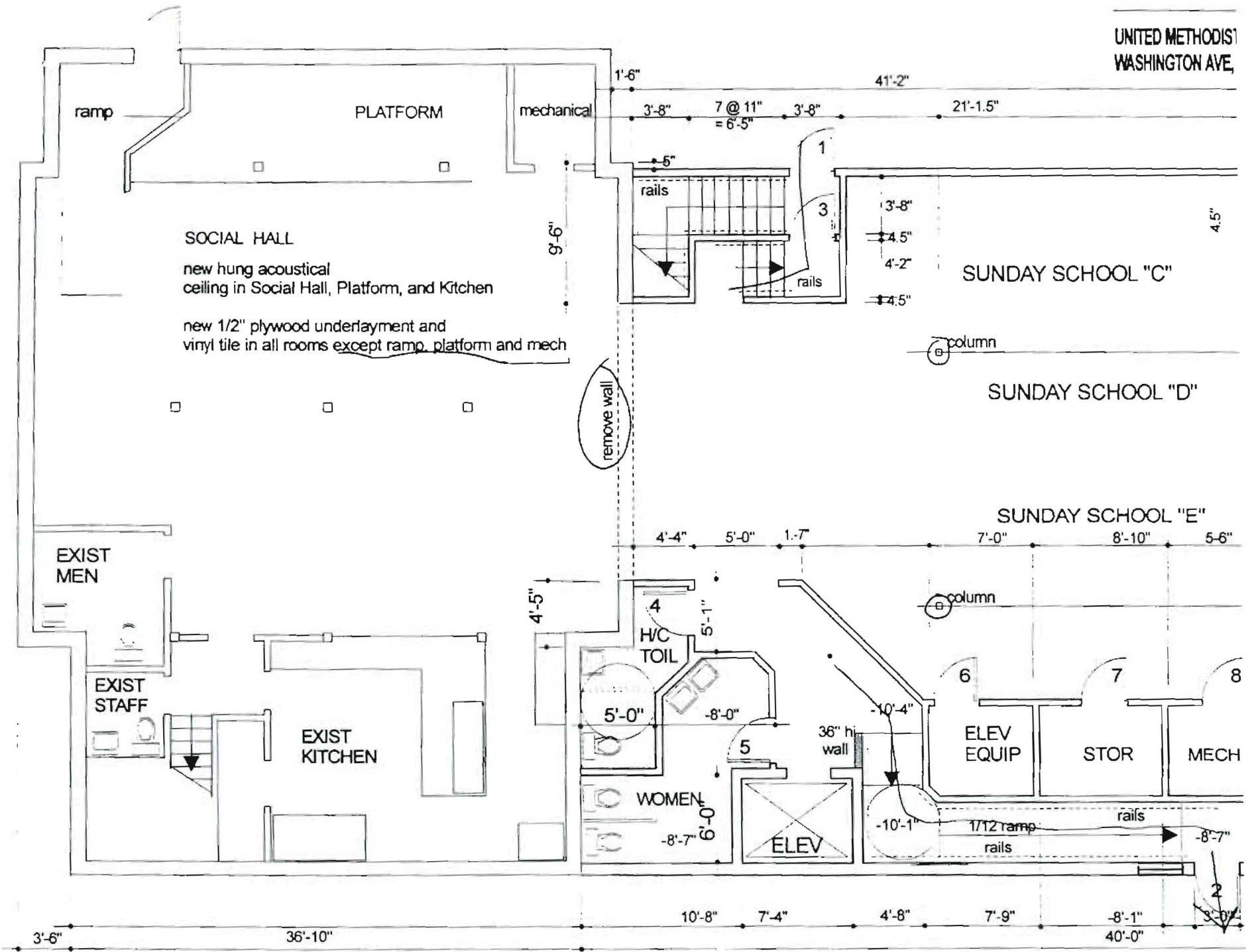
RAINBOW UNITED MET
WASHINGTON AVE, PC

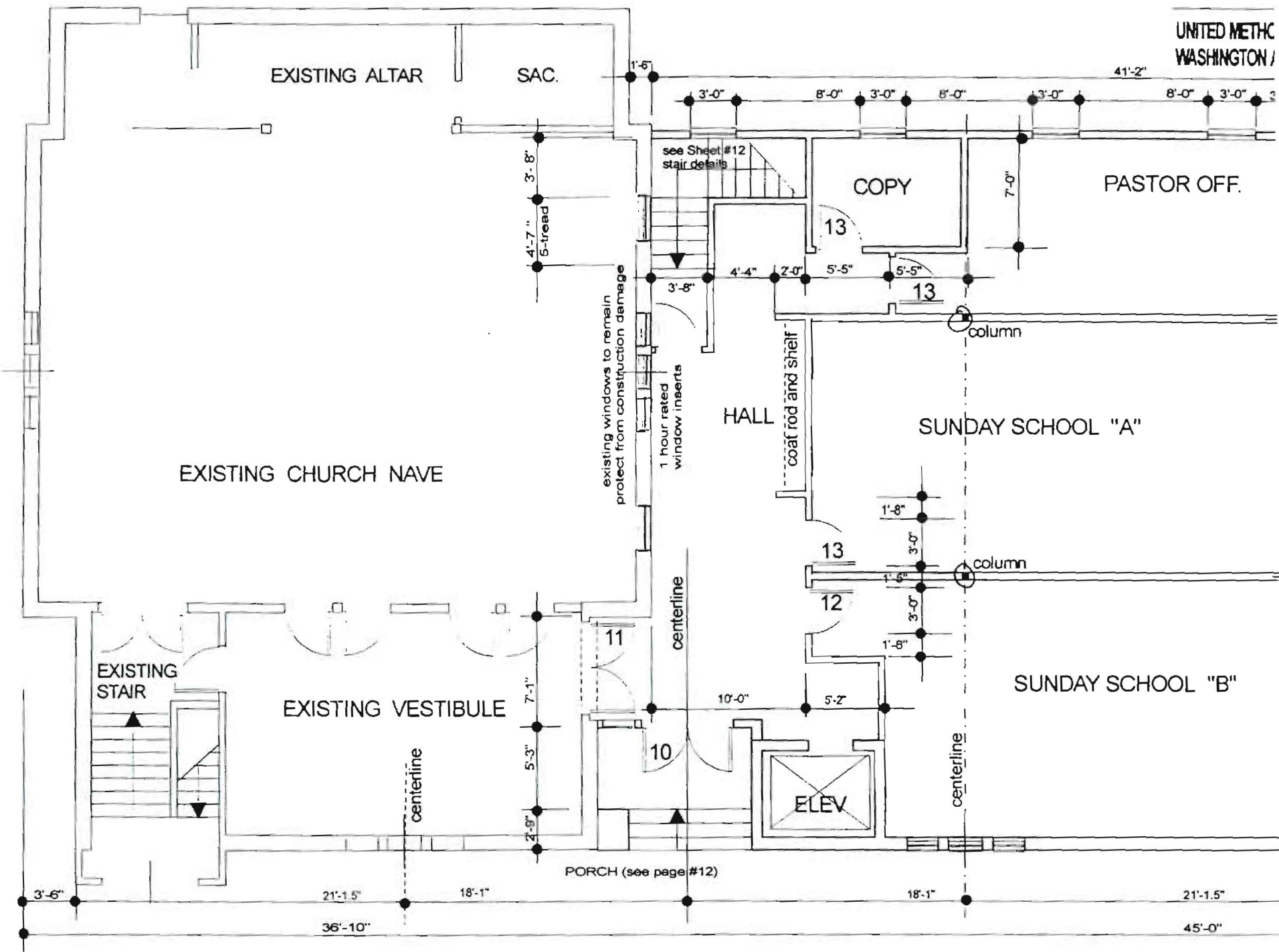
PLANTING

KEY NAME

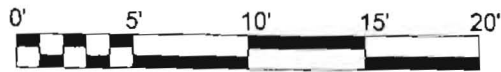
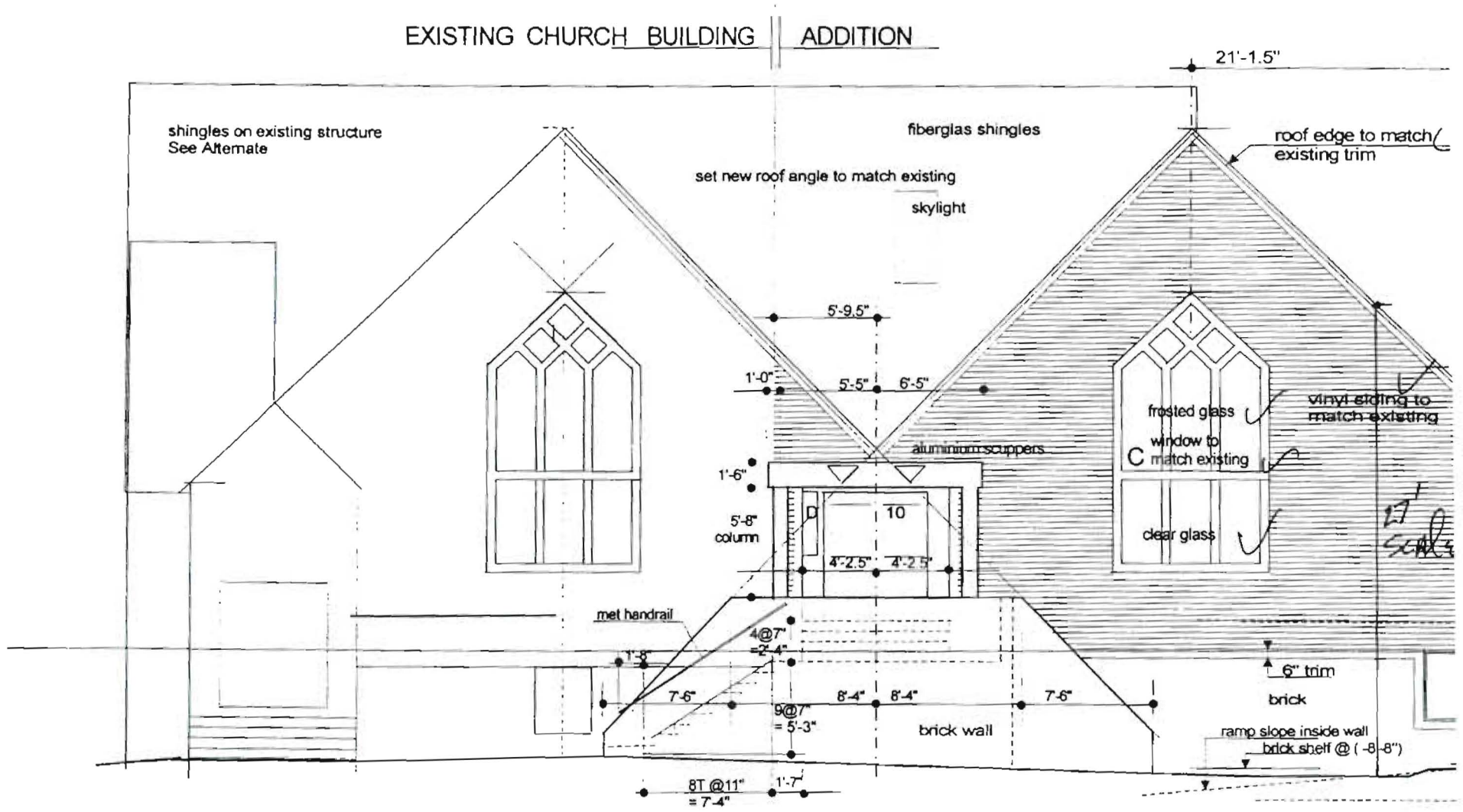
| | |
|---|-----------------------|
| A | Arbor vitae |
| B | Pinus Strobus |
| C | Syringa vulgaris |
| D | Andora Compacta Junip |
| E | Acer Saccmaum |
| F | |
| G | Euonymus Alatus Com |



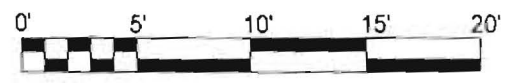
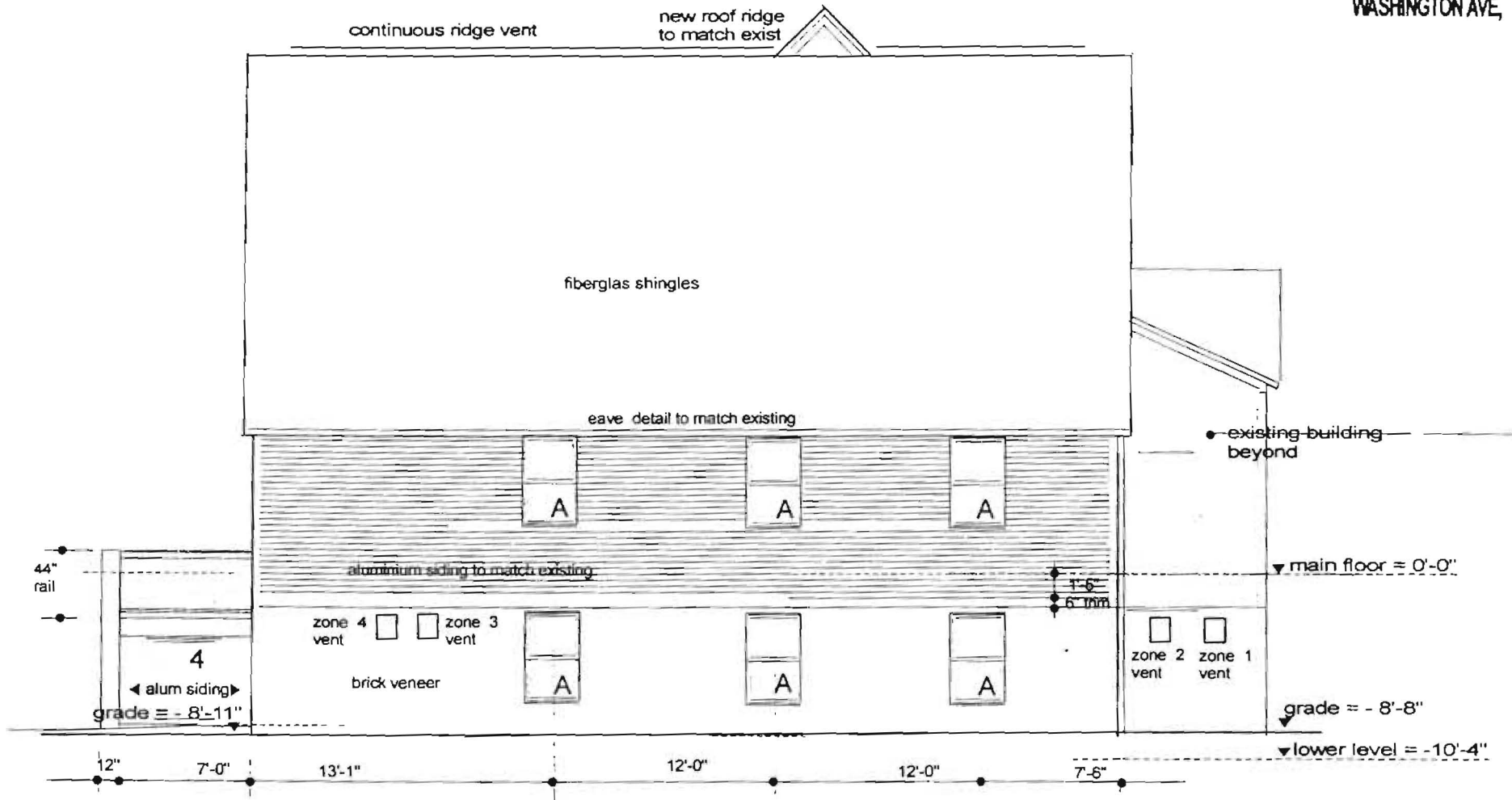


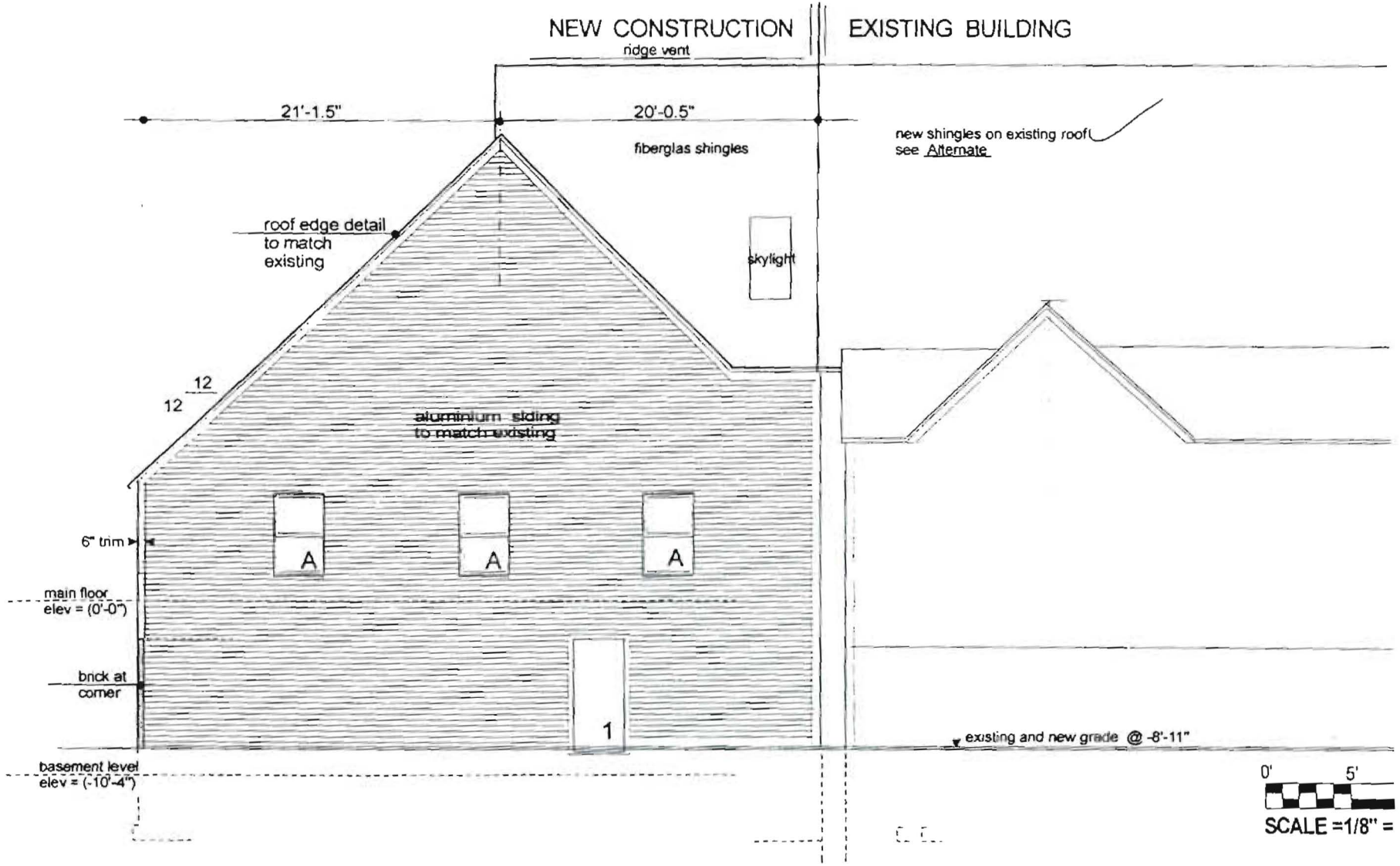


EXISTING CHURCH BUILDING | ADDITION

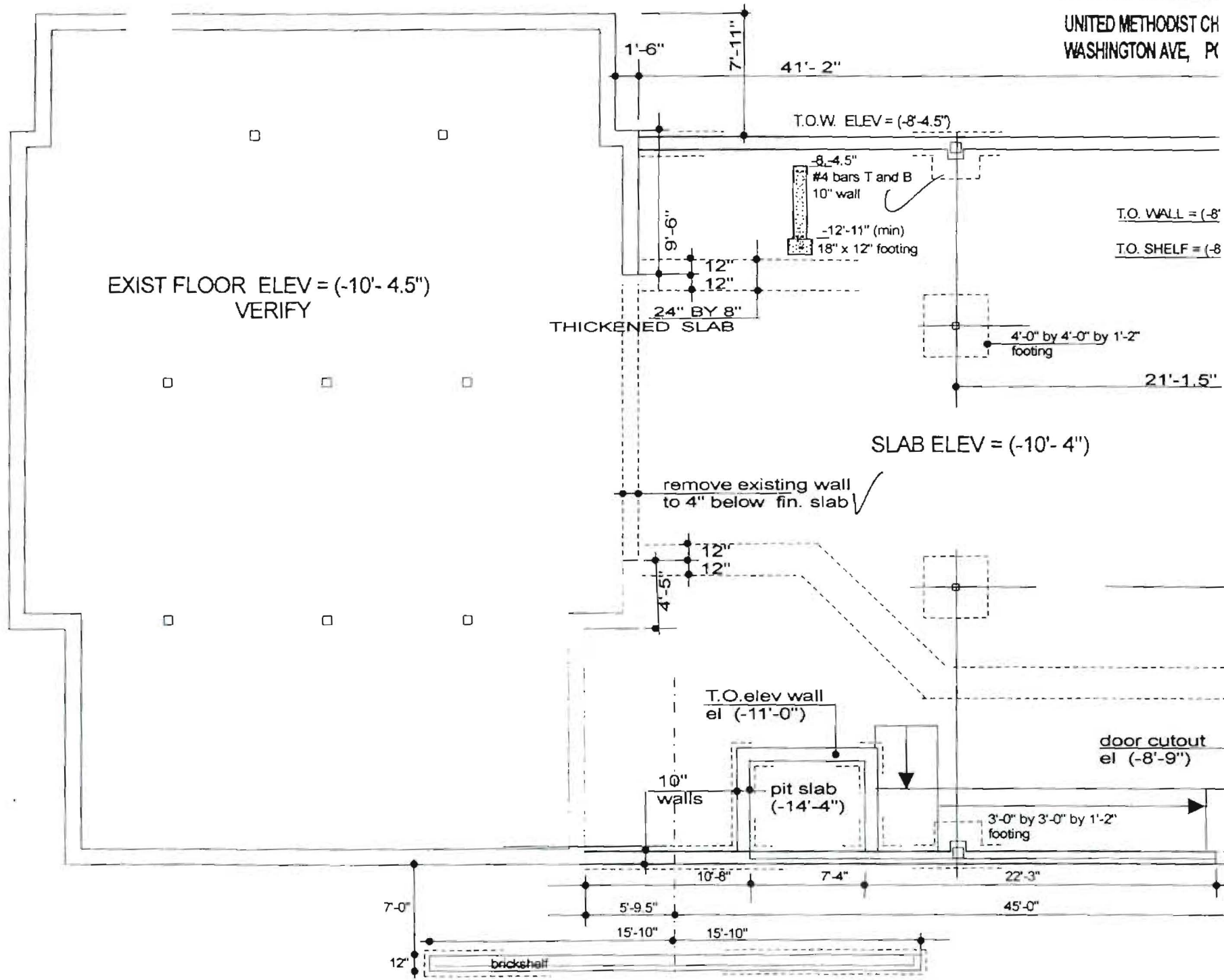


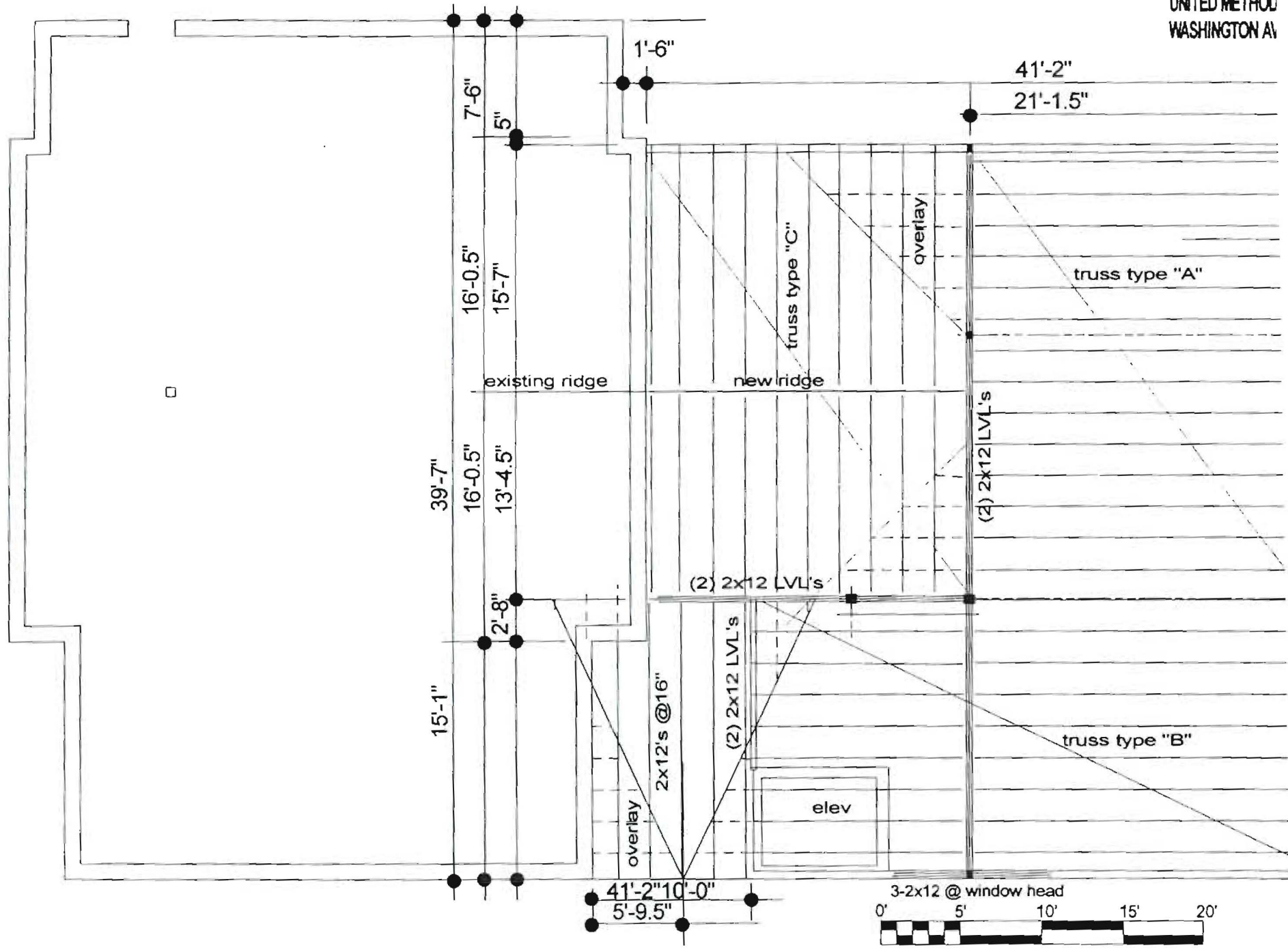
SCALE = 1/8" = 1'-0"

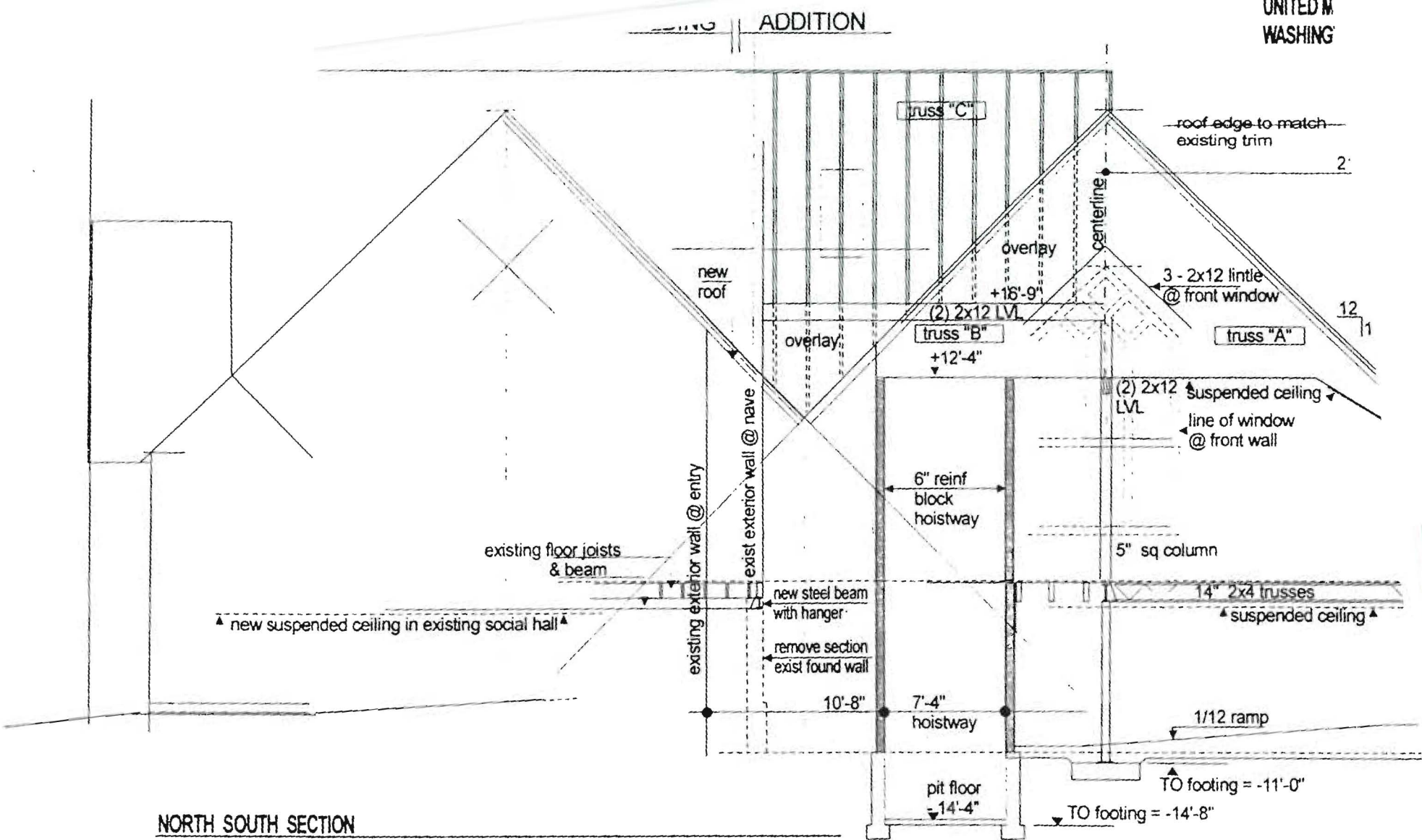




UNITED METHODIST CH
WASHINGTON AVE, PC

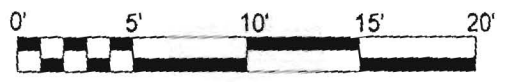


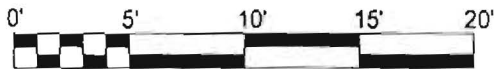
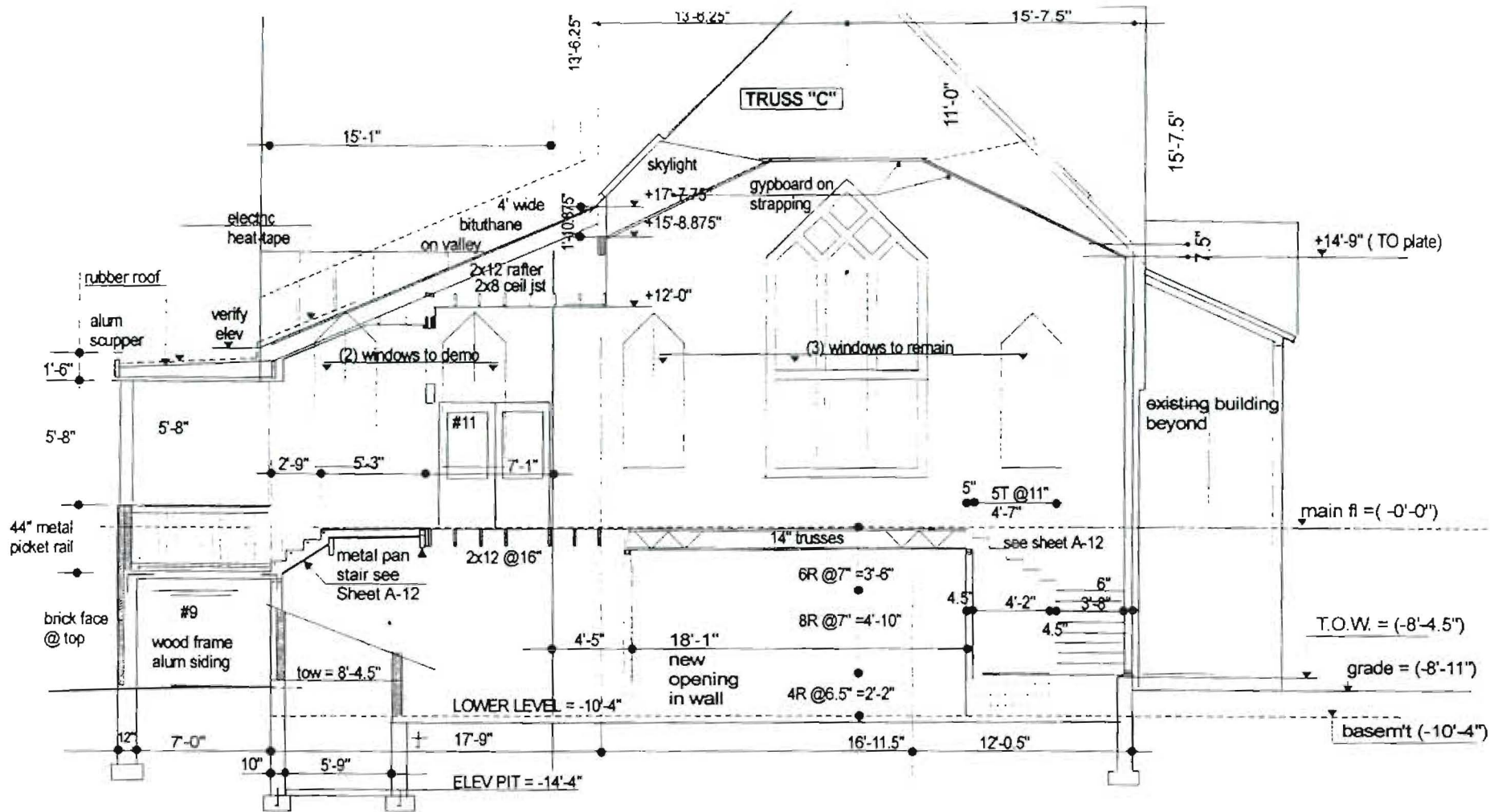


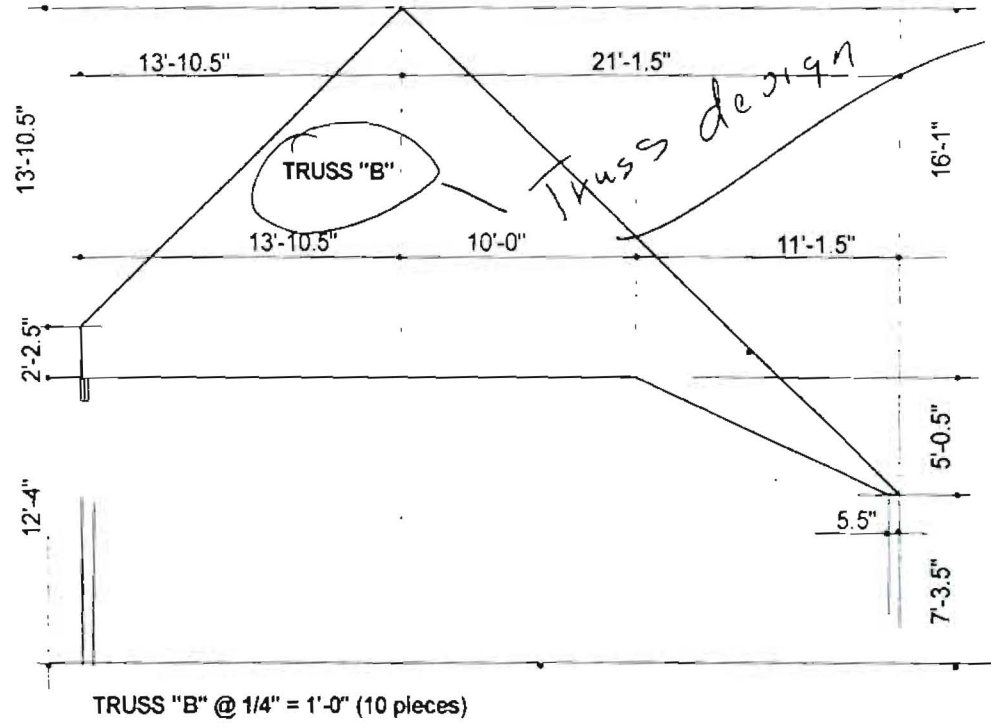
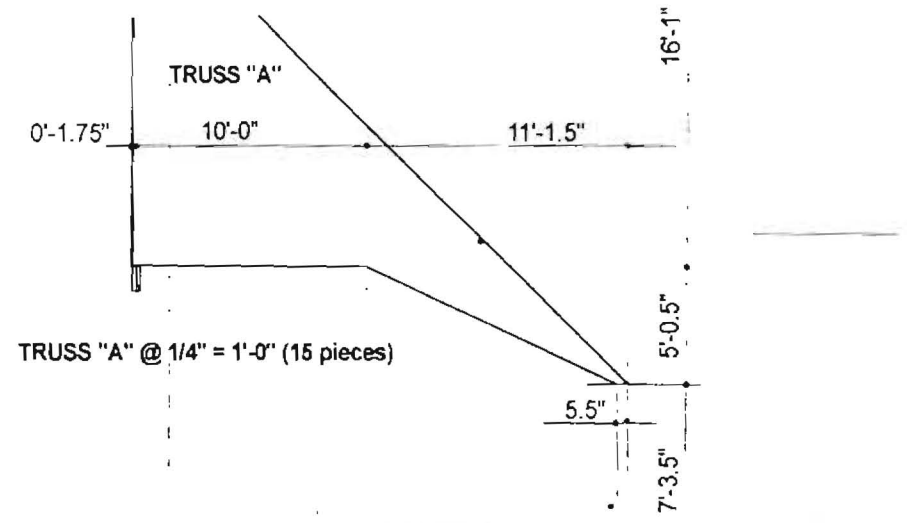
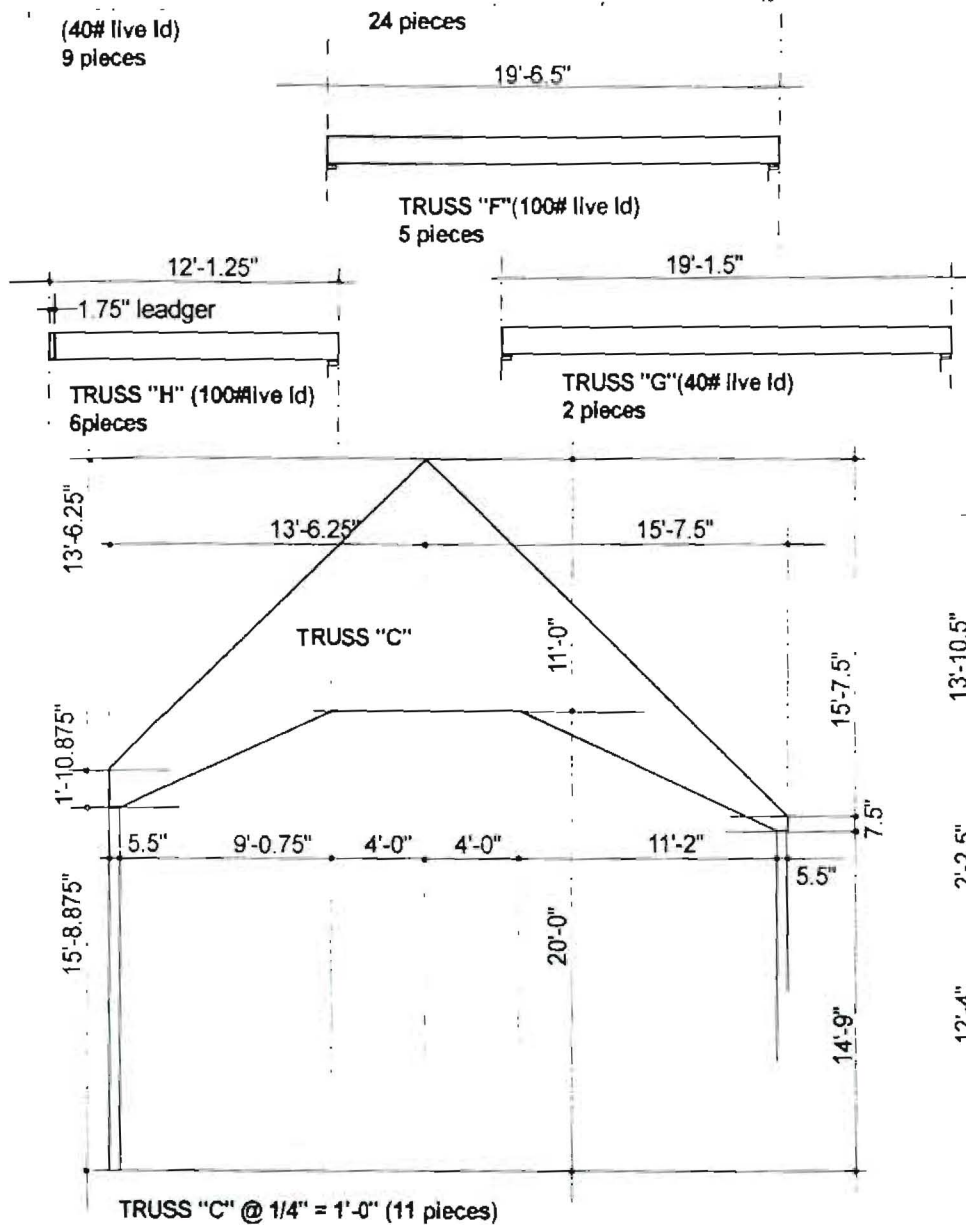


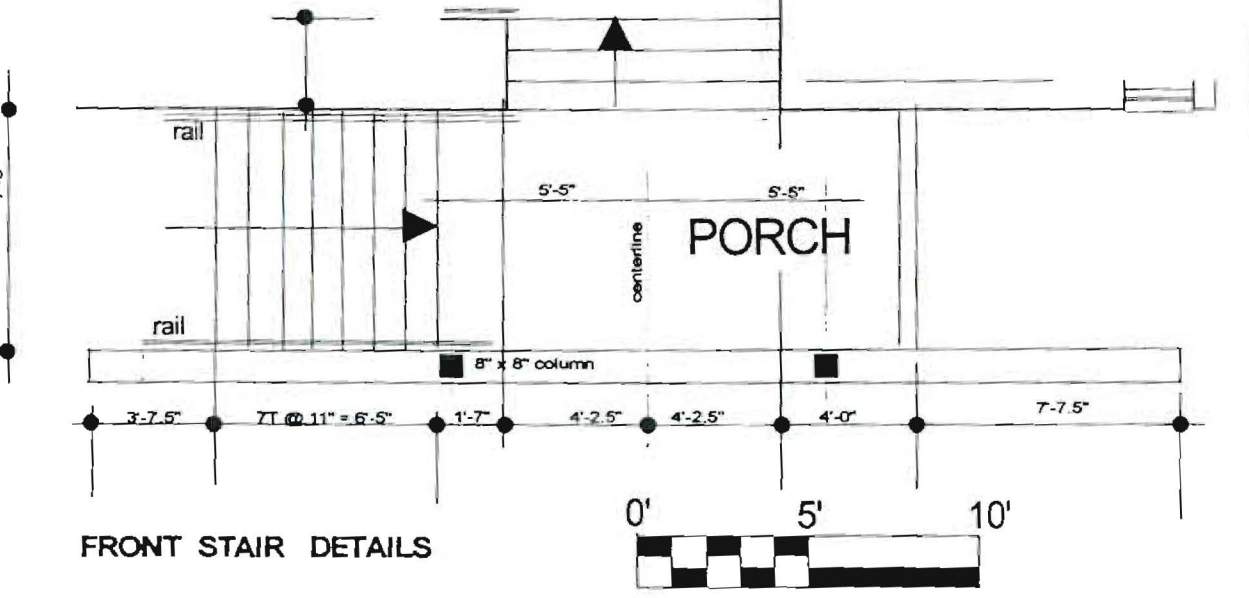
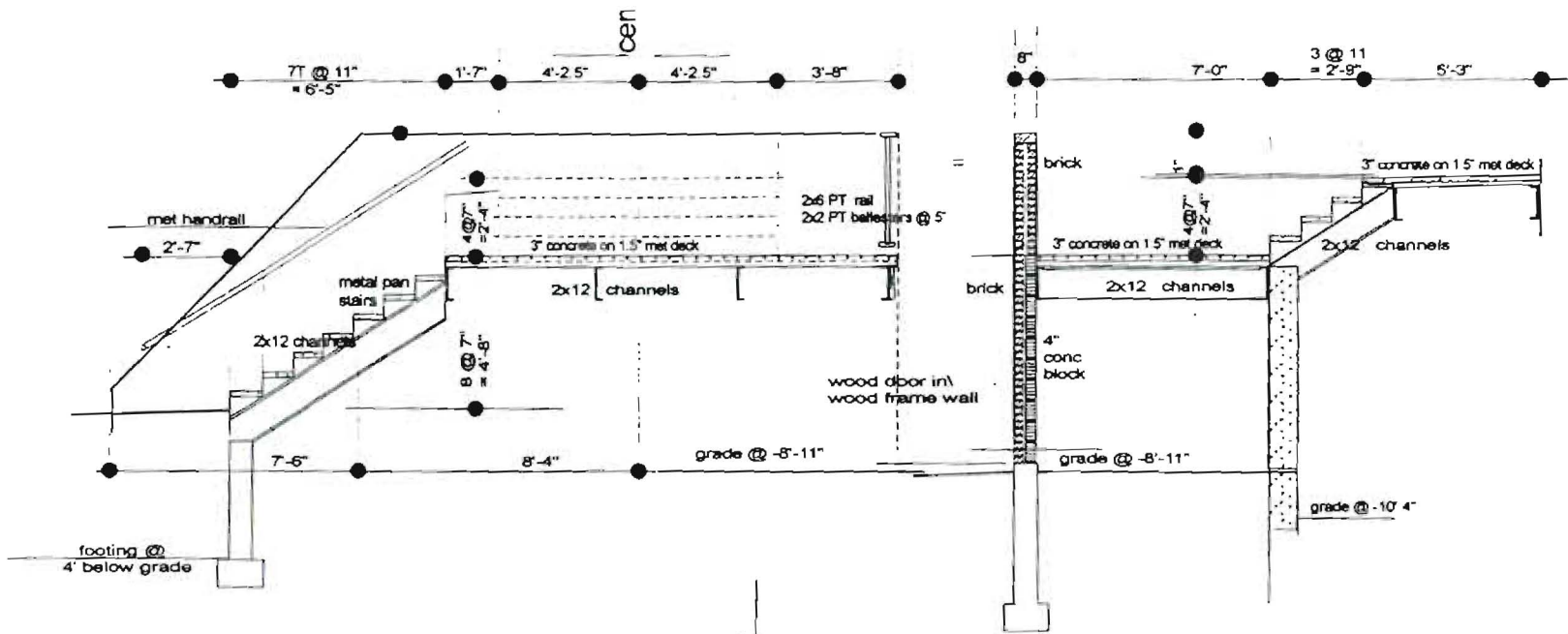
NORTH SOUTH SECTION

ADDITION TO UNITED METHODIST CHURCH
PORTLAND, MAINE

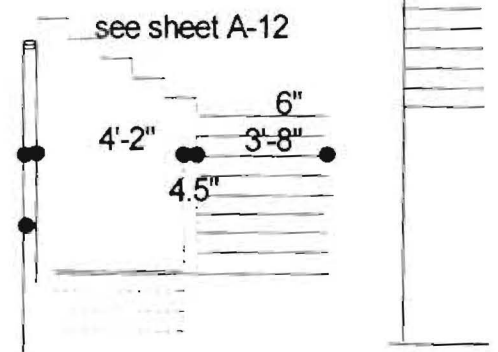
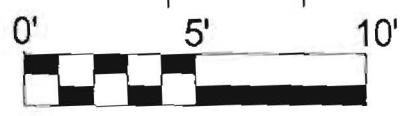




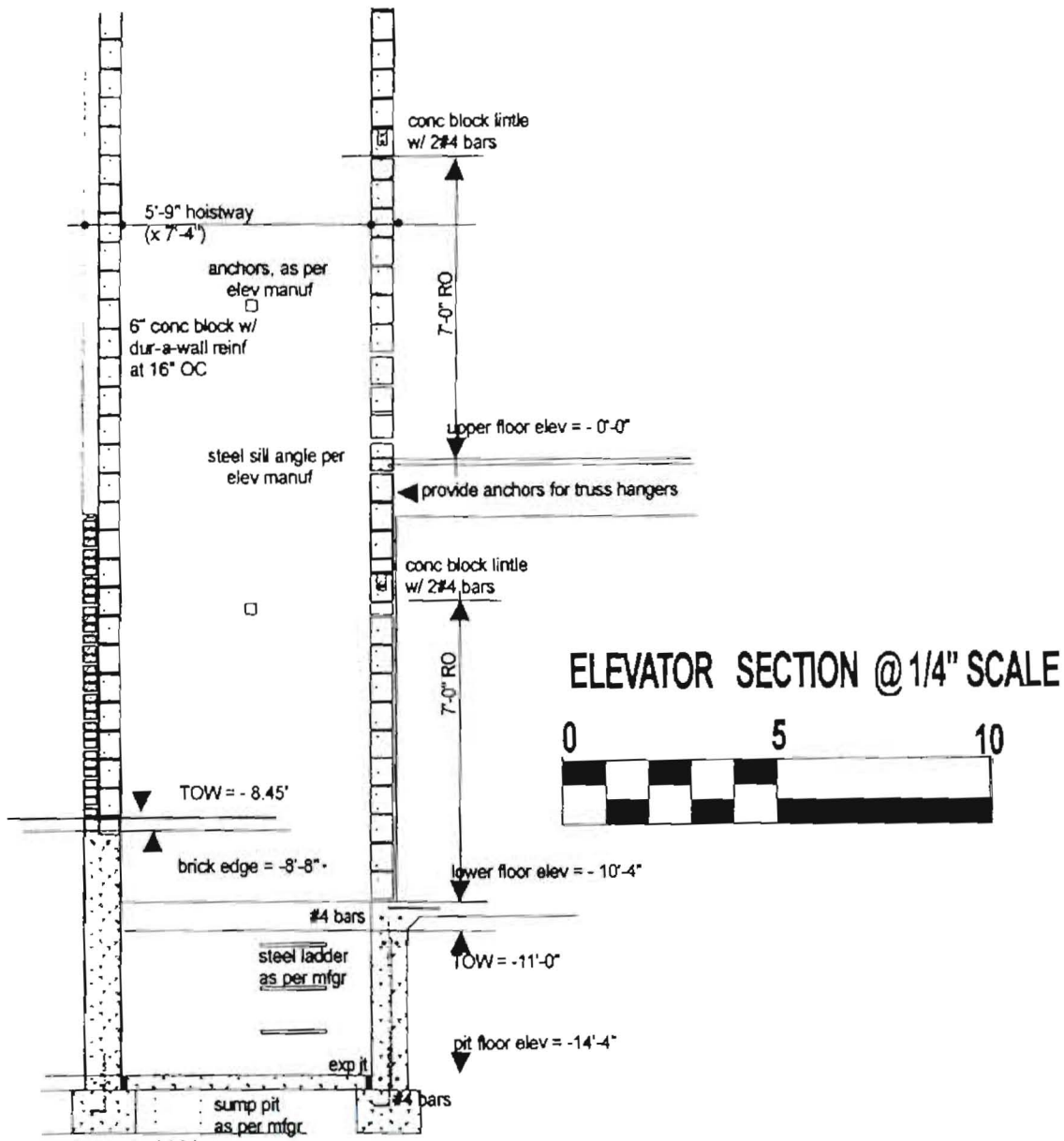




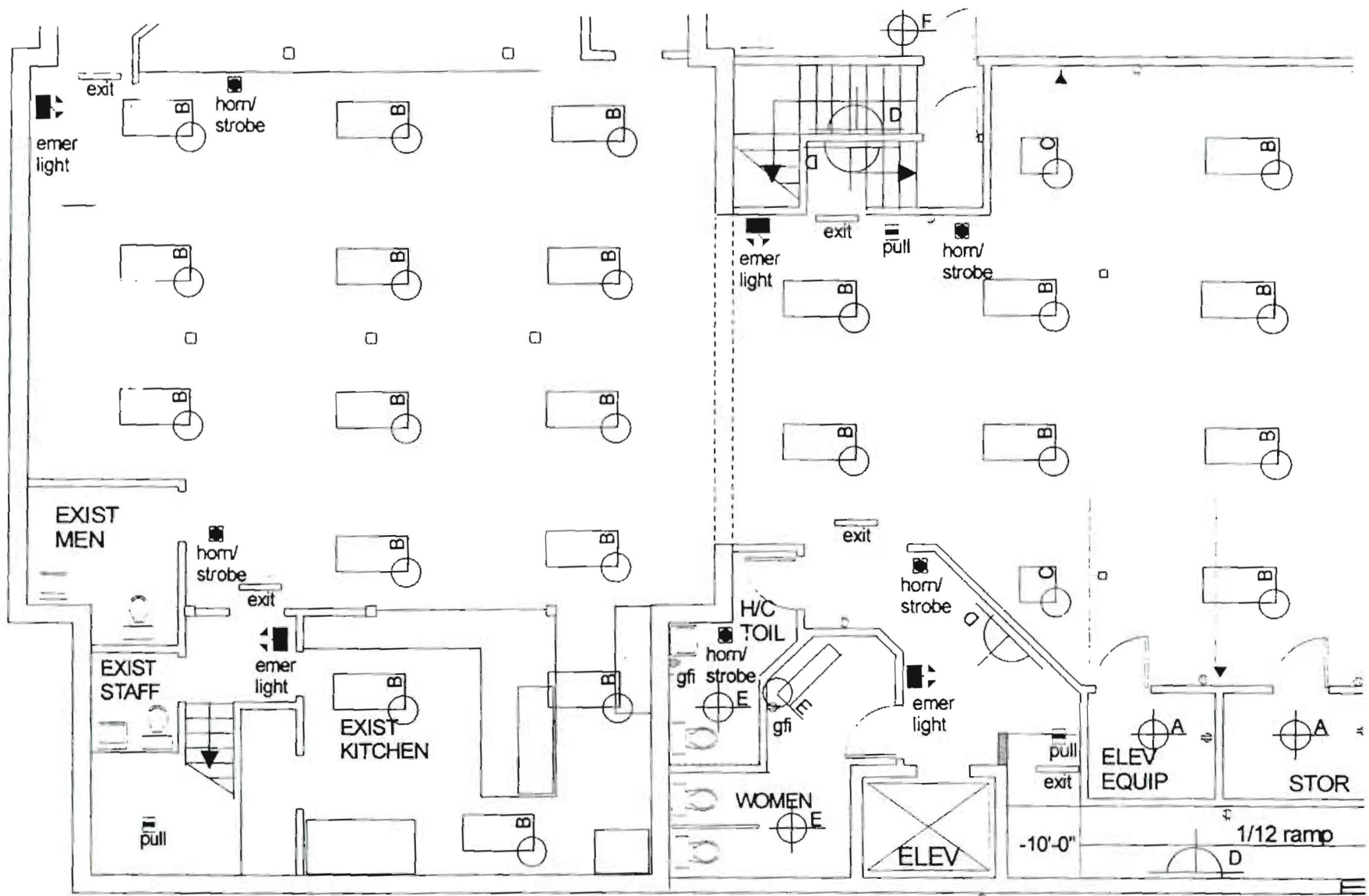
FRONT STAIR DETAILS



REAR STAIR DETA




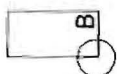










William Nemmers Associates
424 Fore Street Portland

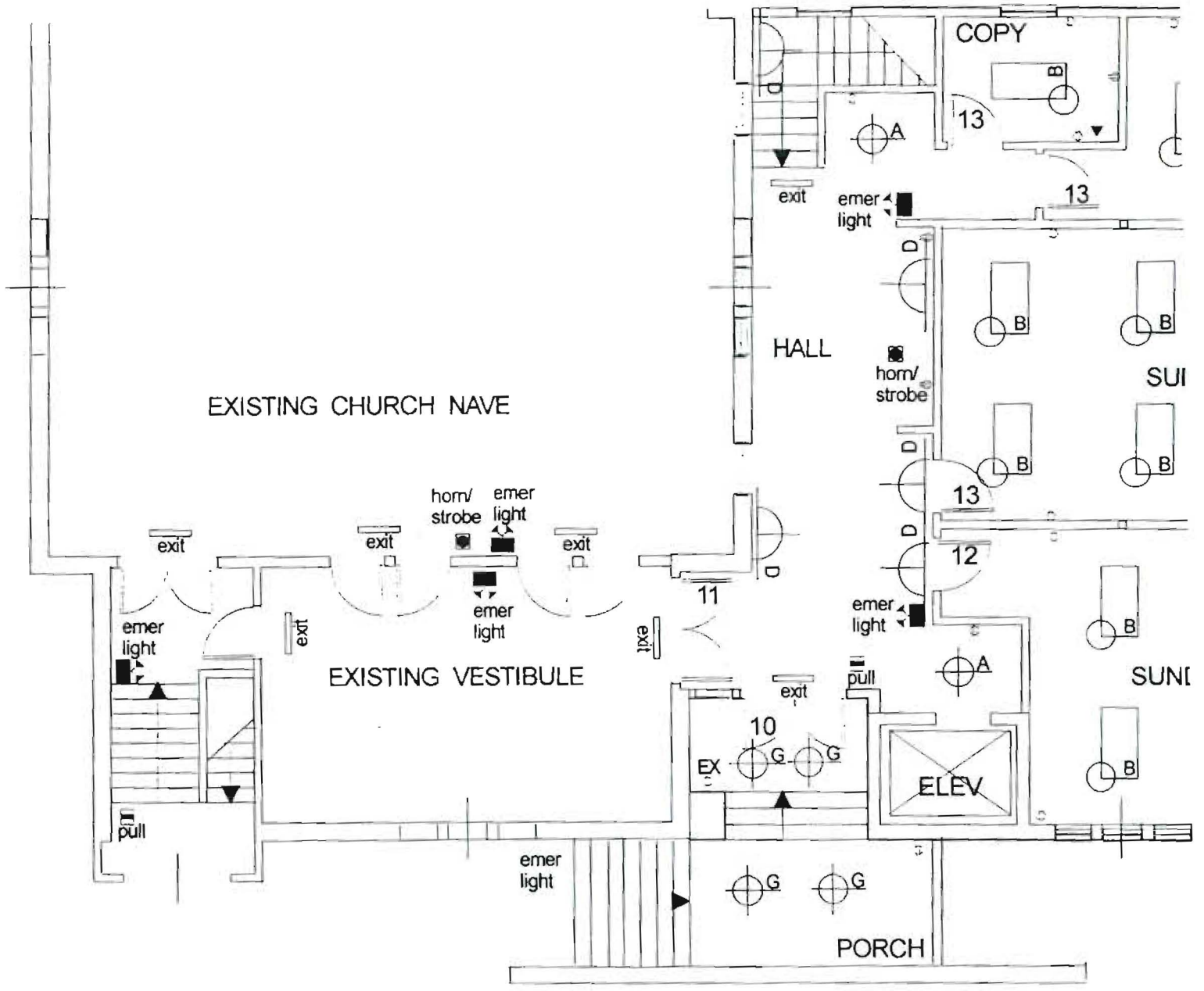


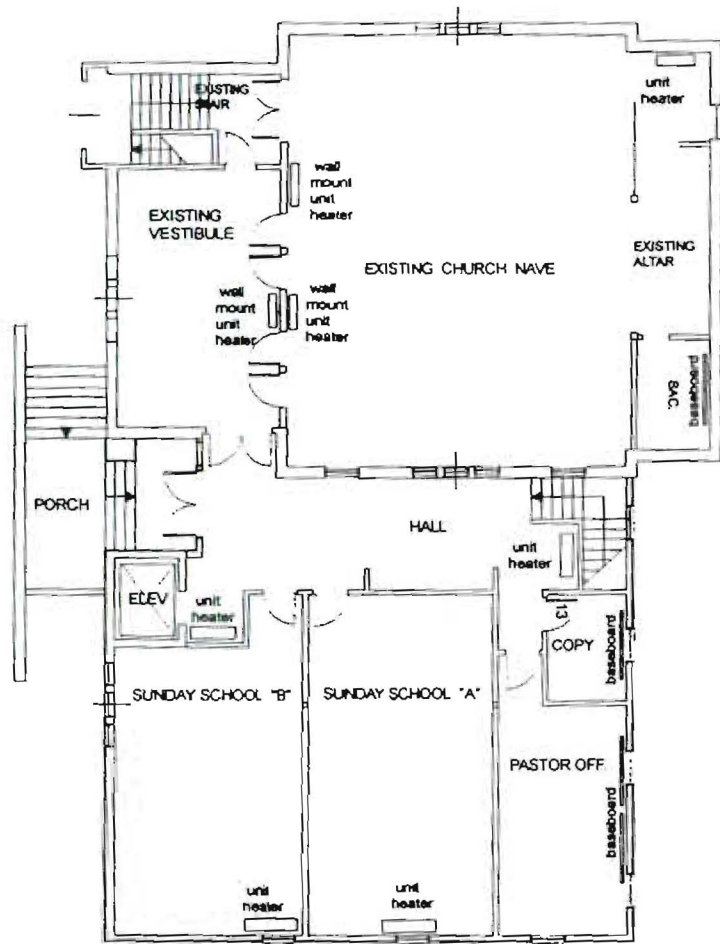
BASEMENT ELECTRIC PLAN

ex

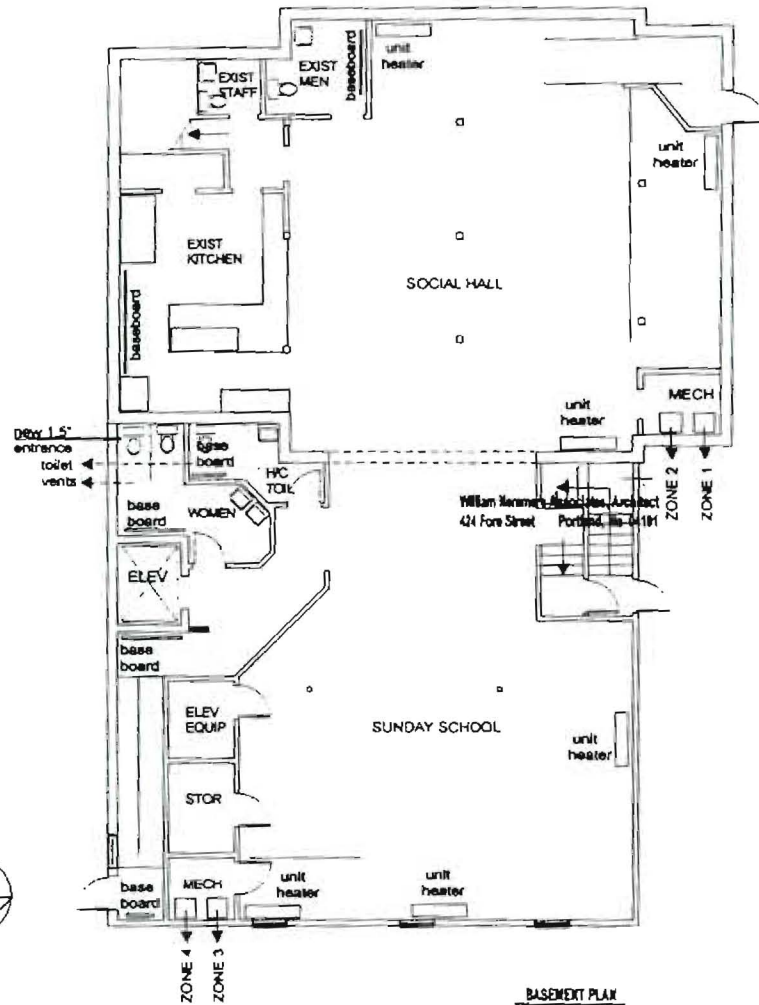


-  A RECESSED
-  B 2x4 FLUORESCENT LAY-IN
-  C 2x2 FLUORESCENT LAY-IN
-  D WALL SCONCE
-  W LAVATORY
-  F TOILET FAN/LIGHT
-  G RECESSED EXTERIOR
-  H EXT. WALLMOUNT
-  emer light EMERGENCY LIGHT PACK
-  horn/strobe HORN/LIGHT STROBE
-  pull PULL STATION
-  exit EXIT LIGHT

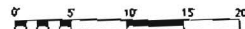




MAIN LEVEL PLAN



BASEMENT PLAN



SCALE = 1/16" = 1'-0"

PLUMBING APPLICATION

Department of Human Sciences
Division of Health Engineering

167 F 013

209
DC

PROPERTY ADDRESS

Town or Plantation: PORTLAND
 Street: 618 Washington
 Subdivision Lot #: Unit 101 Mailbox 1st Rainbow Church
 Last: _____ First: _____
 Applicant Name: John Scott
 Mailing Address of Owner/Applicant (If Different): 291 Deering Ave

PORTLAND 7527 TOWN COPY
 Date Permit Issued: 11/24/01 \$ 3610.00 Double Fee Charged
 Local Plumbing Inspector Signature: [Signature] L.P.I. # 01124

Owner/Applicant Statement

I certify that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Local Plumbing Inspectors to deny a Permit.

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Maine Plumbing Rules.

Signature of Owner/Applicant _____ Date _____

Local Plumbing Inspector Signature _____ Date Approved _____

PERMIT INFORMATION

This Application is for

1. NEW PLUMBING
 2. RELOCATED PLUMBING

Type of Structure To Be Served:

1. SINGLE FAMILY DWELLING
 2. MODULAR OR MOBILE HOME
 3. MULTIPLE FAMILY DWELLING
 4. OTHER - SPECIFY Church

Plumbing To Be Installed By:

1. MASTER PLUMBER
 2. OIL BURNERMAN
 3. MFG'D. HOUSING DEALER/MECHANIC
 4. PUBLIC UTILITY EMPLOYEE
 5. PROPERTY OWNER
 LICENSE # L 76521

| Hook-Up & Piping Relocation Maximum of 1 Hook-Up | Column 2 Type of Fixture | | Column 1 Type of Fixture | |
|---|---------------------------------|--|---------------------------------|---------------------------------|
| | Number | Type of Fixture | Number | Type of Fixture |
| <p>HOOK-UP: to public sewer in those cases where the connection is not regulated and inspected by the local Sanitary District.</p> <p>OR</p> <p>HOOK-UP: to an existing subsurface wastewater disposal system.</p> <p>PIPING RELOCATION: of sanitary lines, drains, and piping without new fixtures.</p> <p>OR</p> <p>TRANSFER FEE [\$6.00]</p> | | Hosebibb / Sillcock | | Bathtub (and Shower) |
| | | Floor Drain | | Shower (Separate) |
| | | Urinal | 0,3 | Sink |
| | | Drinking Fountain | | Wash Basin |
| | | Indirect Waste | 0,3 | Water Closet (Toilet) |
| | | Water Treatment Softener, Filter, etc. | | Clothes Washer |
| | | Grease / Oil Separator | | Dish Washer |
| | | Dental Cuspidor | | Garbage Disposal |
| | | Bidet | | Laundry Tub |
| | | Other: _____ | | Water Heater |
| | Fixtures (Subtotal) Column 2 | 06 | Fixtures (Subtotal) Column 1 | |
| <p>SEE PERMIT FEE SCHEDULE FOR CALCULATING FEE</p> | | | | Fixtures (Subtotal) Column 2 |
| | | | | Total Fixtures |
| | | | | Fixture Fee |
| | | | | Transfer Fee |
| | | | | Hook-Up & Relocation Fee |
| | | | 36 | Permit Fee (Total) |