

City of Portland, Maine - Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: <i>606 Washington Ave.</i>	Owner: <i>Anania's Inc.</i>	Phone: <i>774-4639</i>	Permit No: <i>A 2122T</i>
Owner Address: <i>606 Washington Ave.</i>	Lessee/Buyer's Name:	Phone:	Business Name:
Contractor Name: <i>Anania's Inc.</i>	Address: <i>606 Washington Ave.</i>	Phone: <i>774-4639</i>	Permit Issued:
Past Use: Commercial	Proposed Use: Commercial	COST OF WORK: \$ 14,000.00	PERMIT FEE: \$ 108.00
Proposed Project Description: Build 8 x 24 Deck & attached 8 x 16 walk-in cooler		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>M</i> Type: <i>5B</i>
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	Zone: 167-F-011
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied	CBL: 167-F-011
Permit Taken By: Gayle		Date Applied For: November 3, 2000	Zoning Approval:

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

November 3, 2000

SIGNATURE OF APPLICANT _____ ADDRESS: _____ DATE: _____ PHONE: _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ PHONE: _____

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: _____

PERMIT ISSUED WITH REQUIREMENTS
CEO DISTRICT

COMMENTS

11/9/00 - R-5 Zone - left message for ED ANANIA - ED called back's I explained that this is a Residential zone & The Bldg's use is Non-conforming & I can't allow The Expansion of A Non conforming use - I gave them Alex & Sarah's number

LF

Inspection Record

Type	Date
Foundation: _____	_____
Framing: _____	_____
Plumbing: _____	_____
Final: _____	_____
Other: _____	_____

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Attached Single Family Dwellings/Two-Family Dwelling
Multi-Family or Commercial Structures and Additions Thereto**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on ANY PROPERTY within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction (include Portion of Building): 606 Washington Av., Portland			
Total Square Footage of Proposed Structure 192		Square Footage of Lot	
Tax Assessor's Chart, Block & Lot Number Chart# 167 Block# F Lot# 011		Owner: Anania's, Inc. (Ed. Anania)	Telephone#: 774-4639 774-8104
Owner's Address: 606 Washington Av.		Lessee/Buyer's Name (If Applicable) N/A	Cost Of Work: \$14,000. Fee \$108.00
Proposed Project Description: (Please be as specific as possible) Build a 8' x 24' Deck, and an attached 8' x 16' walk-in-cooler. Exemption Passed (R)			
Contractor's Name, Address & Telephone Self/Anania's Inc. 774-4639 Bill Needham			
Current Use: Variety Store		Proposed Use: Variety Store	

Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC (Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan/Site Plan

Minor or Major site plan review will be required for the above proposed projects. The attached checklist outlines the minimum standards for a site plan.

- 4) Building Plans

Unless exempted by State Law, construction documents must be designed by a registered design professional.

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>[Signature]</i>	Date: 11/2/00
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Building Permit Fee: \$30.00 for the 1st \$1000. cost plus \$6.00 per \$1,000.00 construction cost thereafter.
Additional Site review and related fees are attached on a separate addendum



BUILDING PERMIT REPORT

DATE: 6 November 2014 ADDRESS: 606 Washington Ave CBL: 167-F-011

REASON FOR PERMIT: To Construct deck & walk-in cooler

BUILDING OWNER: Annia's Inc.

PERMIT APPLICANT: CONTRACTOR Annia's Inc.

USE GROUP: M CONSTRUCTION TYPE: 59 CONSTRUCTION COST: \$14,000 PERMIT FEES: 10800

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

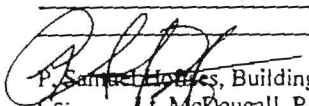
CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2 *11, *13
*27 *29 *32 *33 *37

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the ~~Development Review Coordinator~~ and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) **"ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."**
- 3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- 4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- 5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- 6. Precaution must be taken to protect concrete from freezing. Section 1908.0
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- 8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- 9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- 14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- 15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

11/3

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):
 - In the immediate vicinity of bedrooms
 - In all bedrooms
 - In each story within a dwelling unit, including basements
20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)
21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.
22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.
23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)
24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.
26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).
- X 27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.
28. All requirements must be met before a final Certificate of Occupancy is issued.
- X 29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).
30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16)
31. Please read and implement the attached Land Use Zoning report requirements.
- X 32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.
- X 33. Bridging shall comply with Section 2305.16.
34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)
35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).
36. All flashing shall comply with Section 1406.3.10.
- X 37. Fasteners shall be used between pier (Sono Tube) and columns and columns and deck -


 P. Samuel Jones, Building Inspector
 Cc: Lt. McDougall, PFD
 Marge Schmuckal, Zoning Administrator

PSH 10/1/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

...THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.

*****ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, DXF FORMAT OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Anania's, Inc.
 Applicant
806 Washington Av.
 Applicant's Mailing Address
17769
 Consultant/Agent/Phone Number

9/14/00
 Application Date
Deck with walking center
 Project Name/Description
806 Washington Av.
 Address of Proposed Site

Description of Proposed Development:
ADD a 8' x 28' Deck to the back of
Existing building and set a 8' x 16' walking center
on it.

Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:

See Section 14-523 (4)

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/ Comply with ADA
- e) No Additional Parking / No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment (Yes, No, N/A)	Planning Office Use Only
<u>Yes</u>	<u>8x28' with walking center</u>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>
<u>N/A</u>	<input checked="" type="checkbox"/>

Additional note: lack of land for screening

Planning Office Use Only:

Exemption Granted Partial Exemption _____ Exemption Denied _____

An exemption from site plan review does not exempt this proposal from other approvals or permits, nor is it an authorization for construction. You should first check with the Building Inspection office, Room 315, City Hall (874-8703), to determine what other City permits, such as a building permit, will be required.

Planner's Signature [Signature] Date 10-30-00

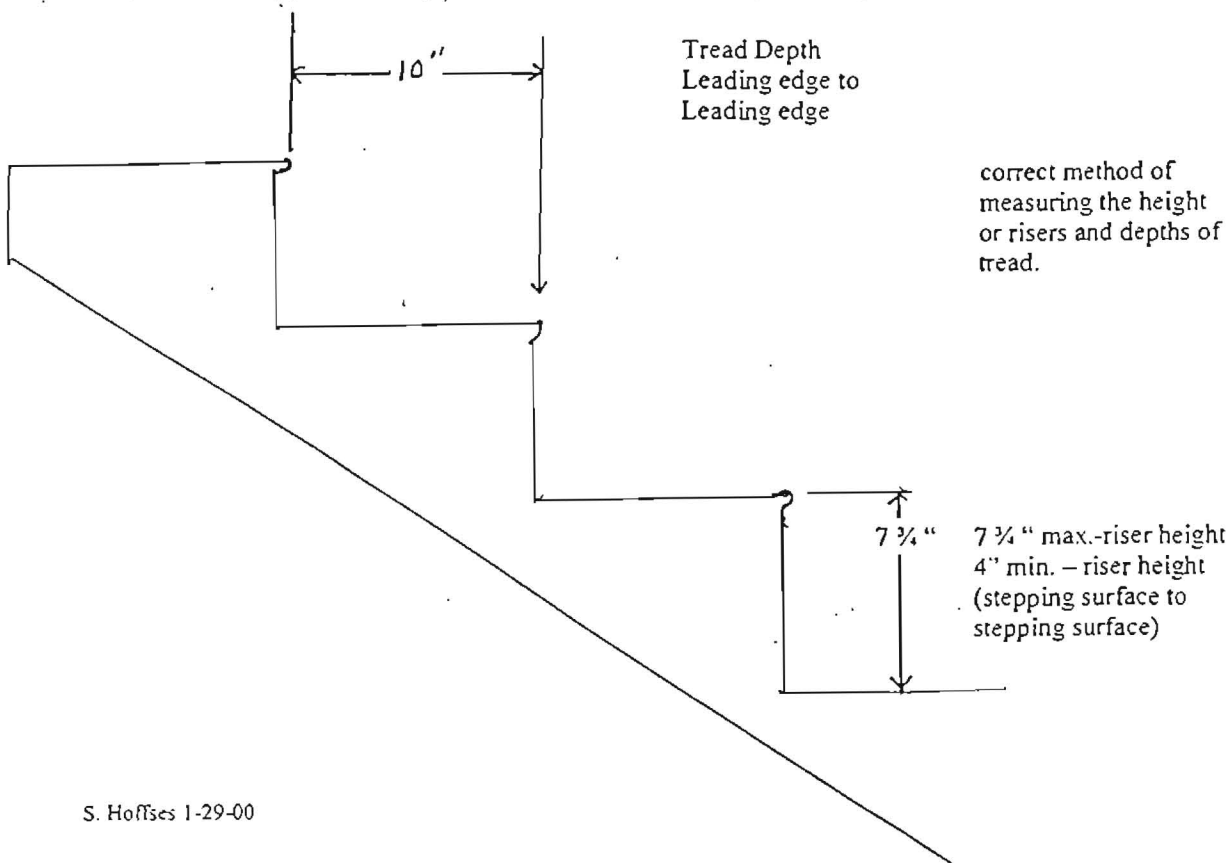
TREAD/RISER DIMENSIONS

ONE & TWO FAMILY

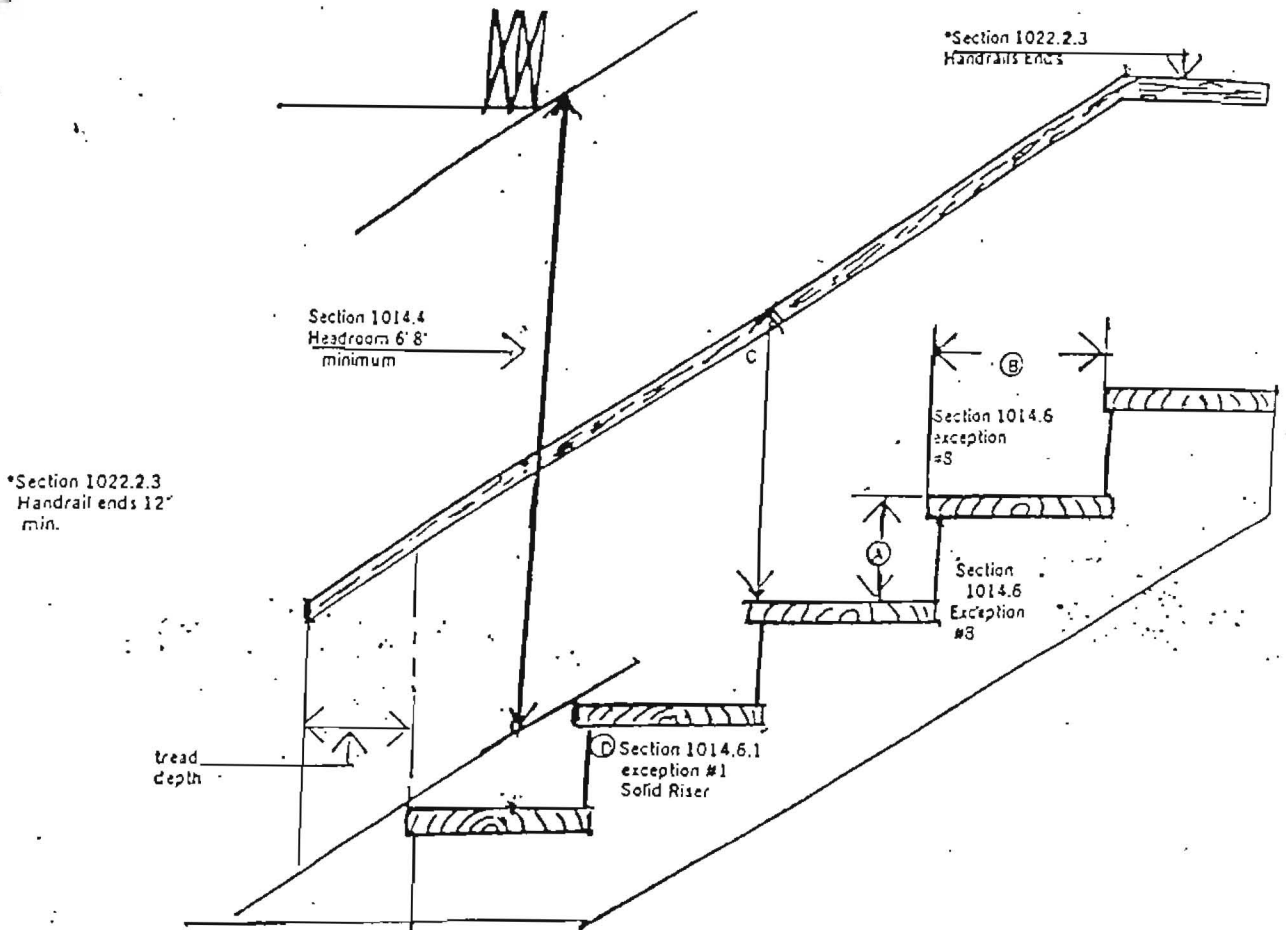
BOCA NATIONAL BUILDING CODE/1999

SECTION 1014.6 TREADS & RISERS

EXCEPTION: NO. 8 – In occupancies in use group R-3, within dwelling units in occupancies Use Group R-2 and in occupancies in Use Group U which are accessory to an occupancy in Use Group R-3. The maximum riser height shall be 7 ¾ inches (197mm) and the minimum tread depth shall be 10 inches (254mm). A nosing not less than ¾ inches but not more than 1 ¼ inches (32mm) shall be provided on stairways with solid risers where the depth is less than 11 inches (279mm).



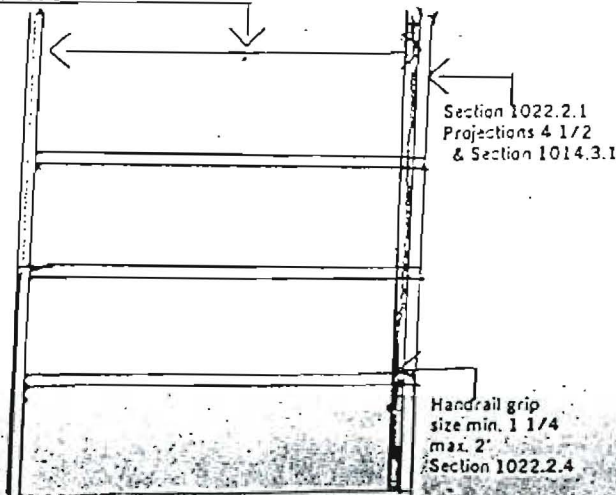
Stairs



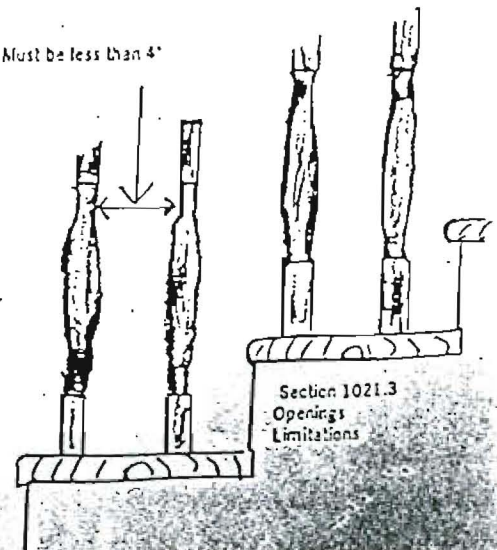
	Section 1014.6 Exception #3	Section 1014.6 Exception #3	Section 1022.2.2	Section 1014.6.1	Section 1021
	A Maximum Riser Height	B Minimum Tread Depth	C Handrail Height Not part of Guardrail	D Solid Riser	E Guardrail Height
1 & 2 Family Dwelling	7 3/4"	10"	34" to 38"	4" Maximum Opening	*42"
All Other Use Groups	7"	11"	34" to 38"	Different	42"

- *Guards along open-sided floor areas and along stairs located less than 36 inches (914mm) above the floor or grade below shall not be less than 36 inches (914mm) in height.
- *Guards shall be located along open-sided walking surfaces, mezzanines, stairways, ramps and landings which are located more than 15 1/2 inches (394mm) above the floor or grade below. The guards shall be constructed in accordance with Section 1021.0.
- *Handrail extensions & returns are not required for stairways within a dwelling unit Section 1022.2.3.
- *There must not be a variation exceeding 3/16 of an inch in the depth of adjacent treads or in the height of adjacent riser. Section 1014.6.2.
- *The difference between the largest and the smallest tread or between the largest and the smallest riser cannot exceed 3/32 of an inch. Section 1014.6.2.

W=36" for 1 & 2 family homes and occupancies with less than 50 people
Section 1014.3
Exception #3



Must be less than 4"

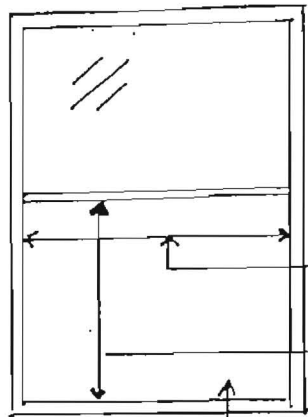


Egress Windows

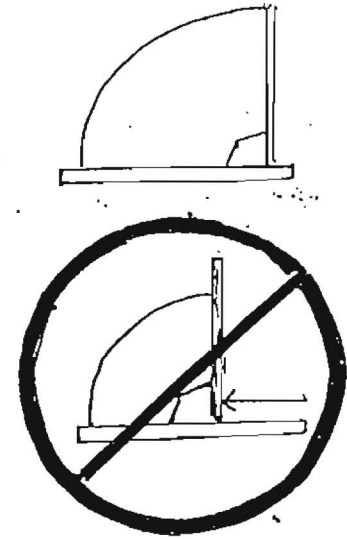
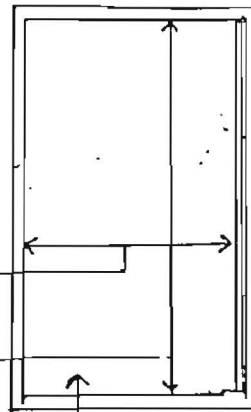
At least 1 egress window (or exterior door) is required to be provided in sleeping rooms, below the fourth story to be considered an egress window, all of the following 4 conditions must be met.

Double hung windows

Casement Windows



20"
1 minimum width
24"
2 minimum height

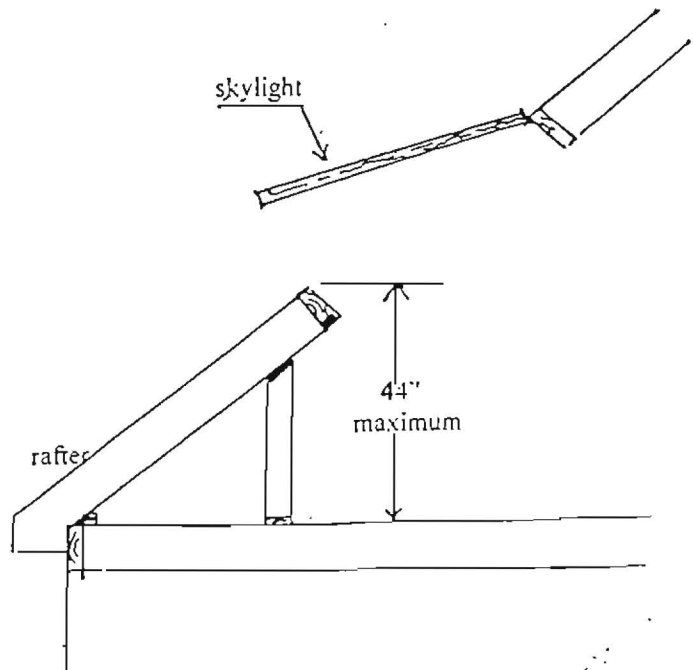
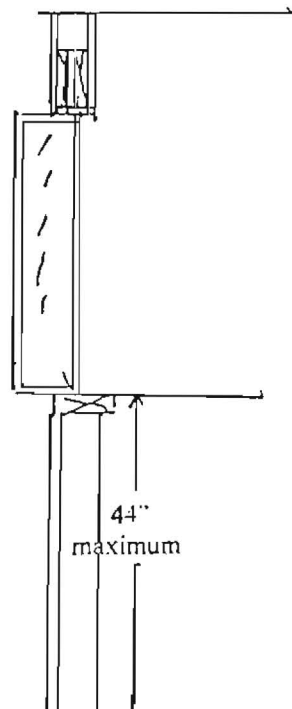
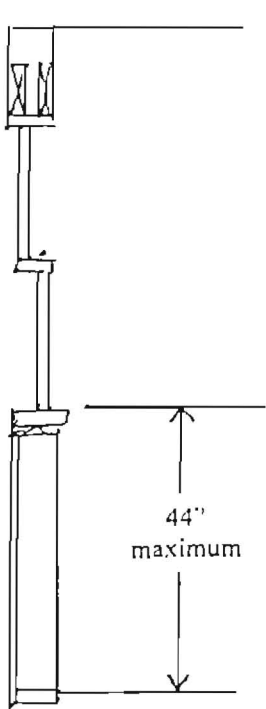


3 Total net clear opening must be a minimum of:

- Egress windows not at grade 5.7 square feet or 821 square inches
- Grade level egress windows 5.0 square feet or 720 square inches

Caution... A window which may meet the minimum opening width & height requirements (of condition 1 & 2) does not qualify as an egress window unless it also meets the total square foot opening requirement. (condition #3)

4 Lowest point of the opening must not be more than 44 inches above the floor



STREET

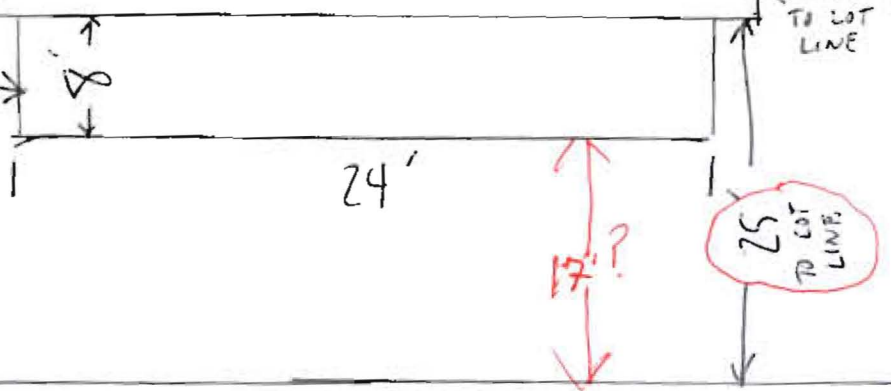
← 50' TO LOT LINE →

R-5 Zone

STORE
(TOP VIEW)

PROPOSED DECK

10' TO LOT LINE →



AMANIA'S
606 WASHINGTON AVE.
PORTLAND ME, 04103

(BACK VIEW)

Red = Sam

Guard rails sec. 1922.φ
Hand rails sec. 1921.φ

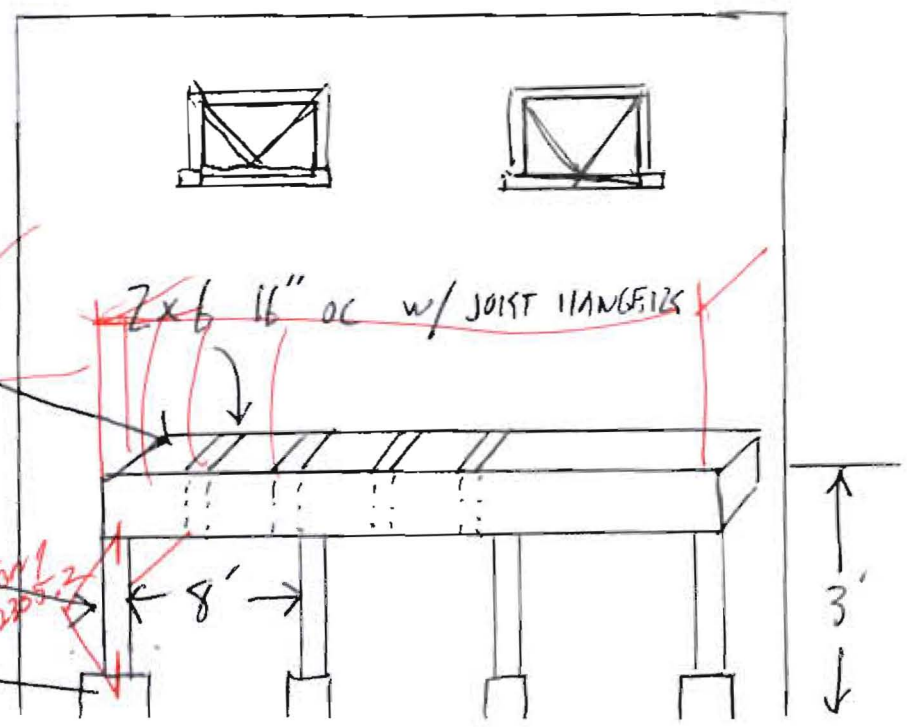
3/4 PLYWOOD DECKING

2x6 16" OC w/ JOIST HANGERS

4x4 POST

10" SONA TUBE
4' BELOW GRADE

Fas Trak Table 2205.2



12/21/00

CHECK REQUISITION/ADVANCE

Ed ANAWIA, Jr
1227 Congress
Ave., S.E.
04102

VOUCHER NO. _____ AMOUNT \$ 97.20

PAY TO: Anawia's

VENDOR NUMBER: 3590 (Required)

DATE PAID: _____ CHECK NUMBER: _____

DEPT. APPROVAL: D. Marguis

BUDGET APPROVAL: _____

Bldg. Permit
Refused

HTE CHARGE TO CODES:

FUND	DEPT/DIV	ACT	ELMENT	OBJECT	PROJECT	AMOUNT
<u>100</u>	<u>2402</u>	<u>326</u>	<u>03</u>	<u>80</u>		



CITY OF PORTLAND, MAINE
Department of Building Inspection

Mail Address: 1227 Congress
Portland, 04102

774-8104 - Ed Anawia, Jr

Nov. 3 2000

Received from Anawia's a fee

of one hundred and eighty Dollars \$ 108.00

for permit to install

at 606 Washburn Ave Est. Cost \$ 14,000.00

Check # 4982

CB2 167 F 011

Per J. Gray
Inspector of buildings

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$5.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Auditors Copy

DEC 20 2000



CITY OF PORTLAND, MAINE
Department of Building Inspection

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of one hundred and eighty Dollars \$ 108.00

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