

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

PERMIT ISSUED
Permit Number: 050350
APR 12 2005
CITY OF PORTLAND

This is to certify that ROSMUS MICHAEL L & TERESA M
has permission to add dormer to 2nd flr, add bath & bedroom
AT 77 ILLSLEY ST 621 167 F005004

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is laid or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Jamie Bourke 4/11/05
Director • Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0350	Issue Date: PERMIT ISSUED APR 12 2005	167 F005001
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Location of Construction: 77 ILLSLEY ST	Owner Name: ROSMUS MICHAEL L & THERES	Owner Address: 77 ILLSLEY ST	Phone:
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Business Name:	Contractor Name:	Contractor Address:	Phon:
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Lessee/Buyer's Name	Phone:	Additions - Dwellings	KS
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Past Use: Single Family Home /	Proposed Use: Single Family Home/ add dormer to 2nd flr, add bath& bedroom	Permit Fee: \$210.00	Cost of Work: \$21,000.00	CEO District: 4
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Proposed Project Description: add dormer to 2nd flr, add bath& bedroom	FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRL-2003
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Signature	Signature: JMB 4/11/05
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)			
Action	<input type="checkbox"/> Approved	<input type="checkbox"/> Approved w/Conditions	<input type="checkbox"/> Denied
Signature:	Date:		

Permit Taken By: Idobson	Date Applied For: 04/04/2005	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <i>AK</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 4/11/05</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

Slight else in. Met w contractor. Checked plumbing, FRAMING
AND electrical ok. to close in gn

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0350	Date Applied For: 04/04/2005	CBL: 167 F005001
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Location of Construction: 77 ILLSLEY ST	Owner Name: ROSMUS MICHAEL L & THERES	Owner Address: 77 ILLSLEY ST	Phone:
Business Name:	Contractor Name:	Contractor Address:	Phone
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ add dormer to 2nd flr, add bath& bedroom	Proposed Project Description: add dormer to 2nd flr, add bath& bedroom
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Dept: Zoning Status: Approved Reviewer: Jeanine Bourke Approval Date: 04/11/2005

Note: Ok to Issue:

- 1) The structure is already a 2 story by zoning definition, so there is no restriction on expansion due to not meeting the minimum lot size requirement

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 04/11/2005

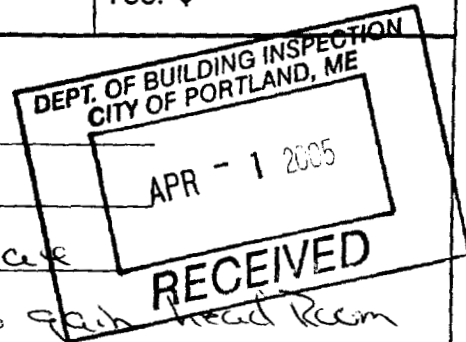
Note: 4/11/05 lcft vm w/Richard L. To verify smoke detectors and the min. Ceiling ht. Ok to Issue:

- 1) Permut approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>17 ILLSLEY ST.</u>			
Total Square Footage of Proposed Structure		Square Footage of Lot <u>5000 +/-</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>167</u> Block# <u>F</u> Lot# <u>5</u>	Owner: <u>MIKE & TERESA RUSMUS</u>		Telephone: <u>761-2490</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>797-4375</u> <u>Richard Ledue</u>	Cost Of Work: <u>\$21,000</u> Fee: \$	
Current use: <u>2nd Floor Living Space</u>			
If the location is currently vacant, what was prior use: _____			
Approximately how long has it been vacant: _____			
Proposed use: <u>Doimer 2nd Floor Living Space</u>			
Project description: <u>Doimer Rear of house To gain head Room To add a 2nd Floor Bath & a 3rd Bedroom</u>			
Contractor's name, address & telephone: <u>Richard Ledue Remodeler/Builder Inc. 301 Brook St Westbrook Me. (797-4375)</u>			
Who should we contact when the permit is ready: <u>Richard Ledue</u>			
Mailing address: <u>301 Brook St. Westbrook Me. 04092</u>			
Phone: <u>797-4375</u>			



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, have been authorized by the owner to make this application as his/h jurisdiction. In addition, if a permit for work described in this applicatic shall have the authority to enter all areas covered by this permit at a to this permit.

that the owner of record authorizes the proposed work and that I authorized agent. I agree to conform to all applicable laws of this is issued I certify that the Code Official authorized representative reasonable hour to enforce the provisions of the codes applicable

Signature of applicant: [Signature] Date: 3/31/05

This is not a permit, you may not commence ANY work until the permit is issued

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- N/A Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- N/A Foundation Inspection: Prior to placing ANY backfill
- Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

_____ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

[Signature] Signature of Applicant/Designee Date 4/13/05
[Signature] Signature of Inspections Official Date 4/13/05
 CBL: 167 F005 Building Permit #: 050350



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	1b7 F005001
Location	77 ILLSLEY ST
Land Use	SINGLE FAMILY
Owner Address	ROSMUS MICHAEL L & THERESA M JTS 77 ILLSLEY ST PORTLAND ME 04103
Book/Page	14640/37
Legal	167-F-5 ILLSLEY ST 77-77 5000 SF

RS

Current Valuation Information

Land	Building	Total
\$24,360	\$67,200	\$91,560

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$65,500	\$117,900	\$183,400	\$137,480

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1981	Cape	2.5	1176	0.115	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
3	1	1	5	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
03/29/1999	LAND + BLDING	\$84,999	14640-037

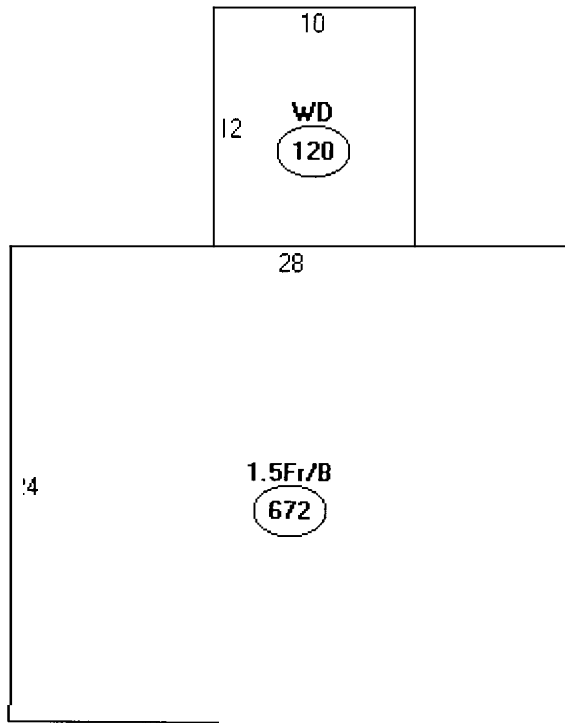
Picture and Sketch

Picture	Sketch	Tax Map
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Click [here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

Click-here to view comparable sales or below to view by:



Descriptor/Area

A: 1.5Fr/B
672 sqft

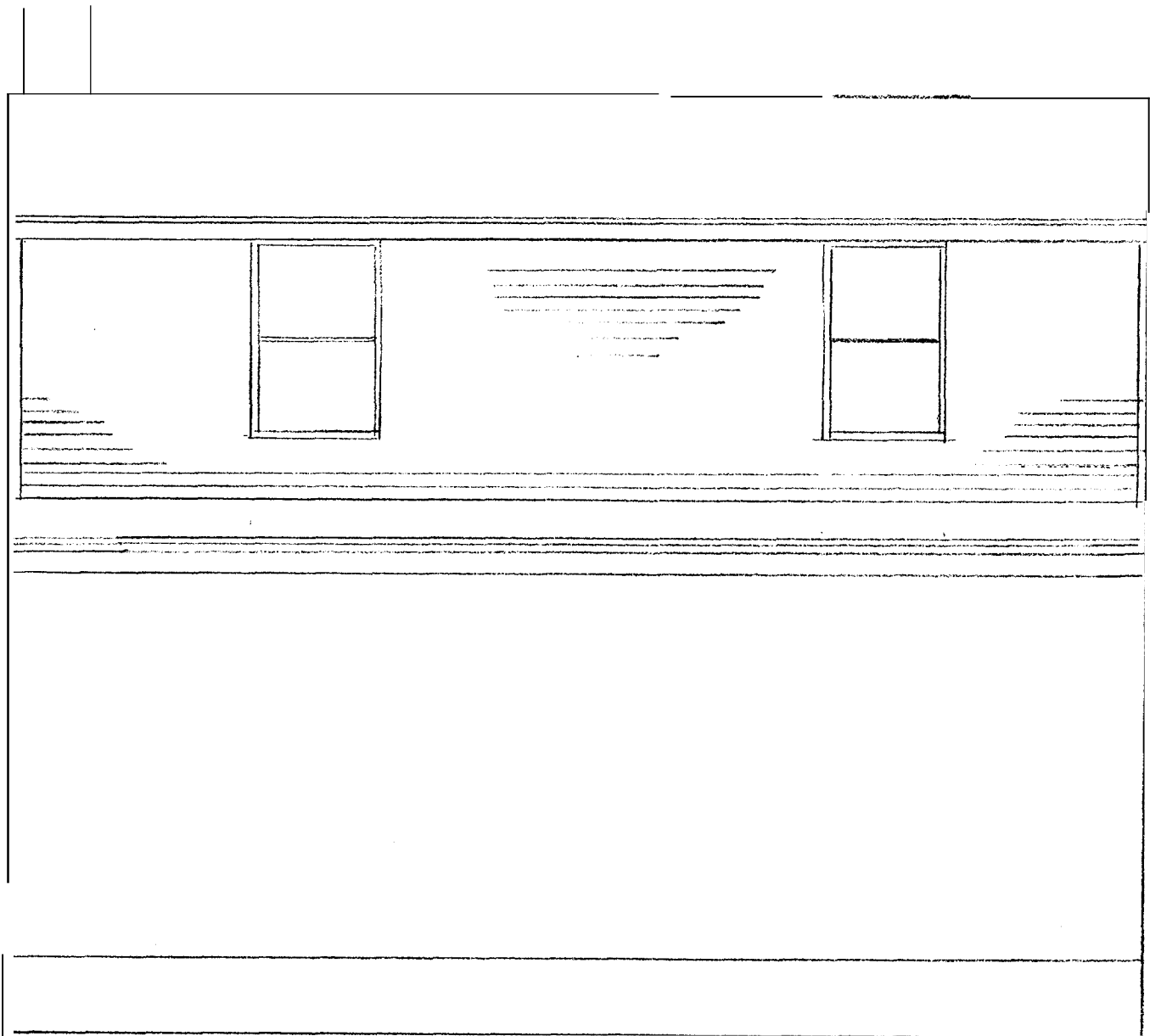
B: WD
120 sqft

RS

Lot 5000 sq ft
Non-conforming

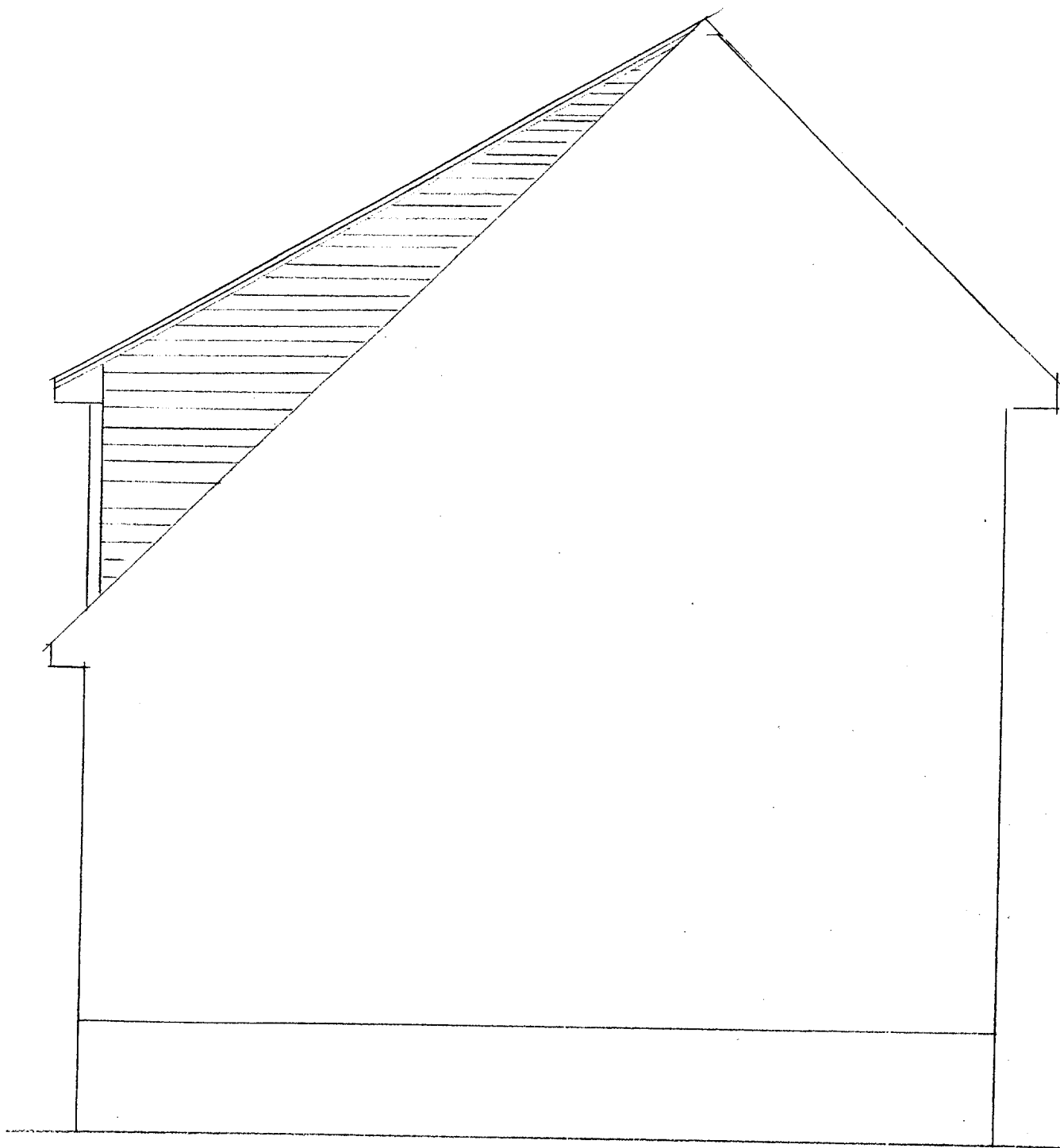
$$\begin{array}{r} 672 \text{ sq ft} \\ \times .66 \\ \hline 443.52 \end{array}$$

existing is 2/3 of first floor ok



REAR ELEV.

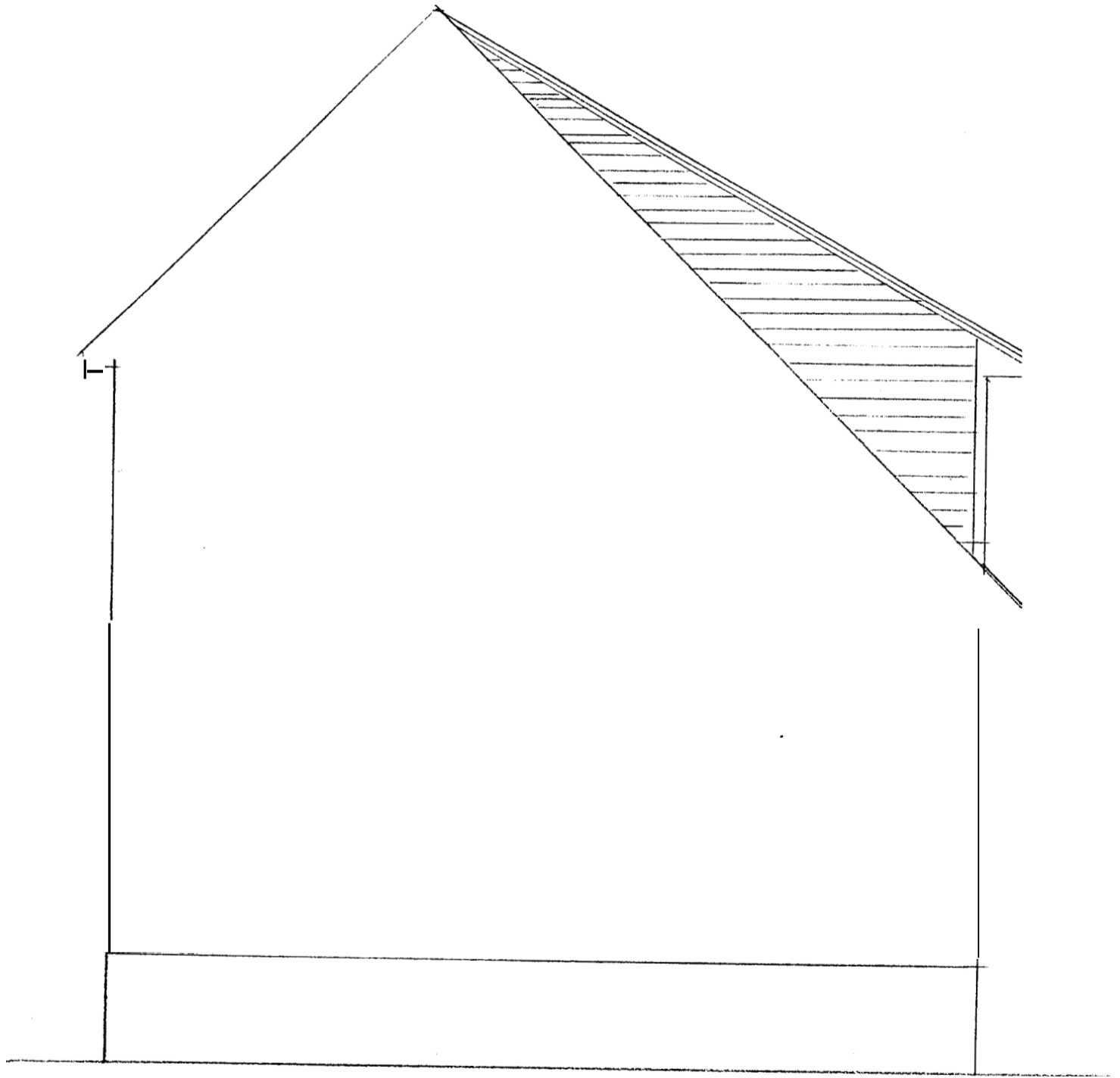
1/4" - 1'-0"



Left Side

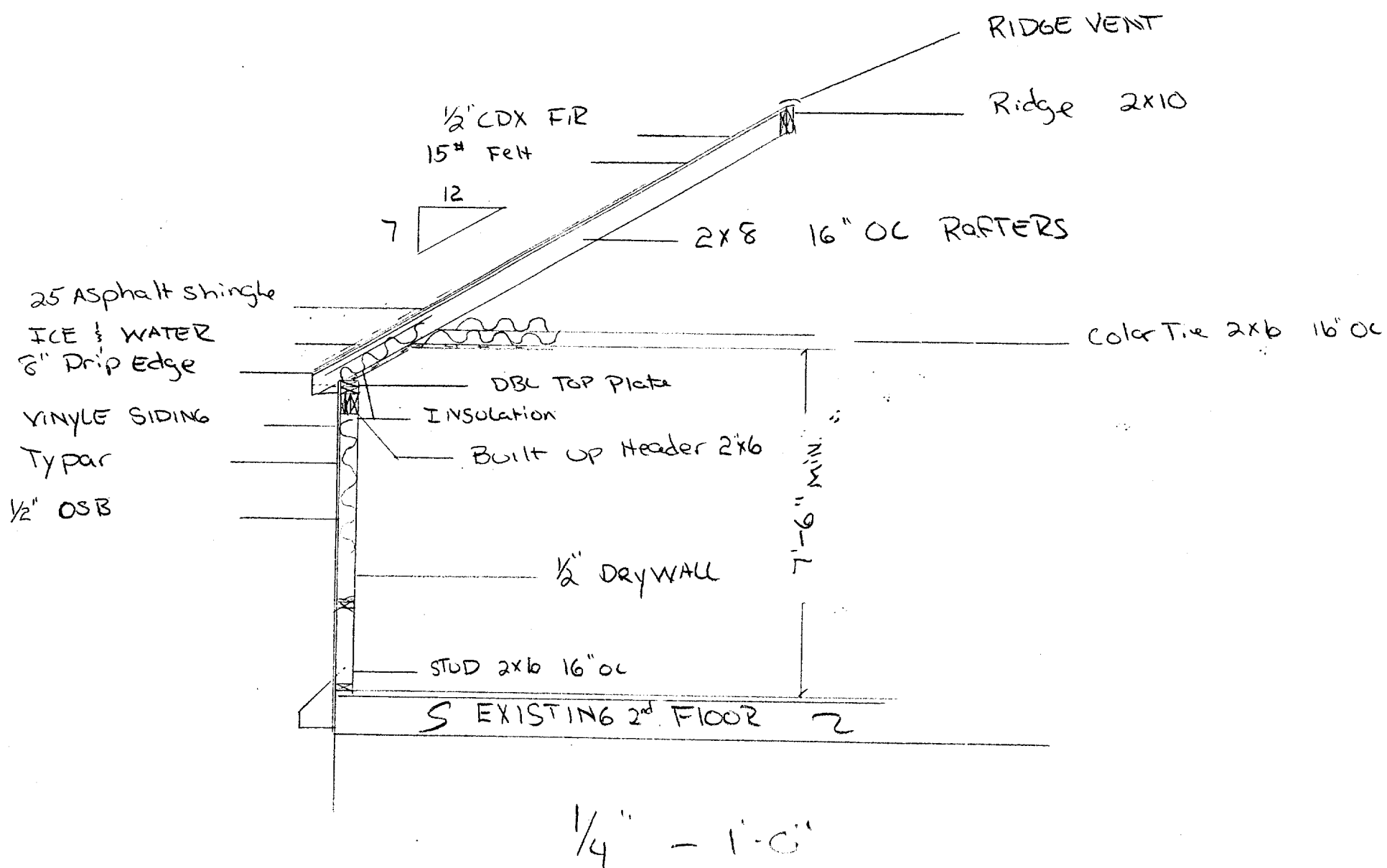
1/4" = 1'-0"

1'-0"



Right Side

$\frac{1}{4}'' - 1\frac{1}{2}''$

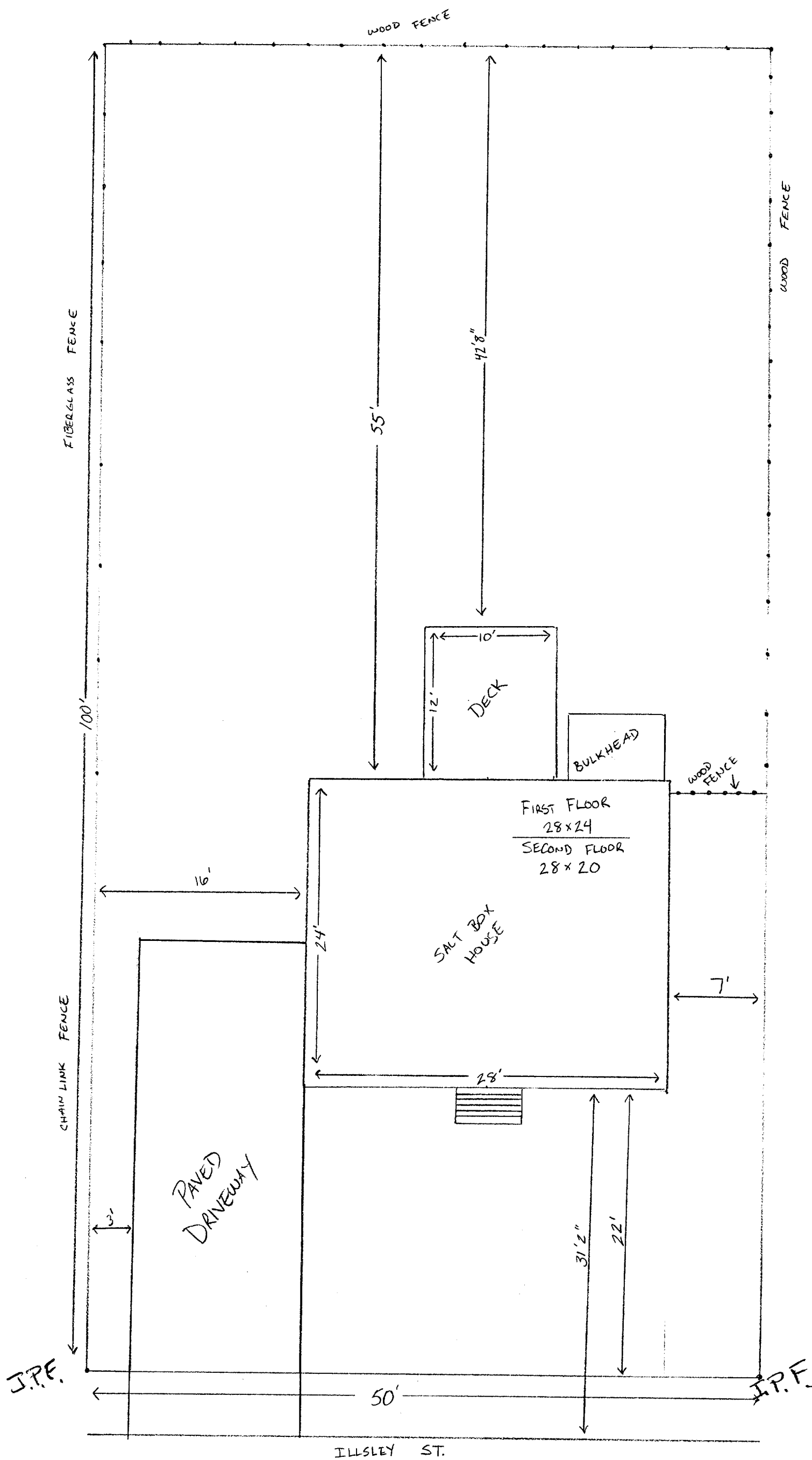


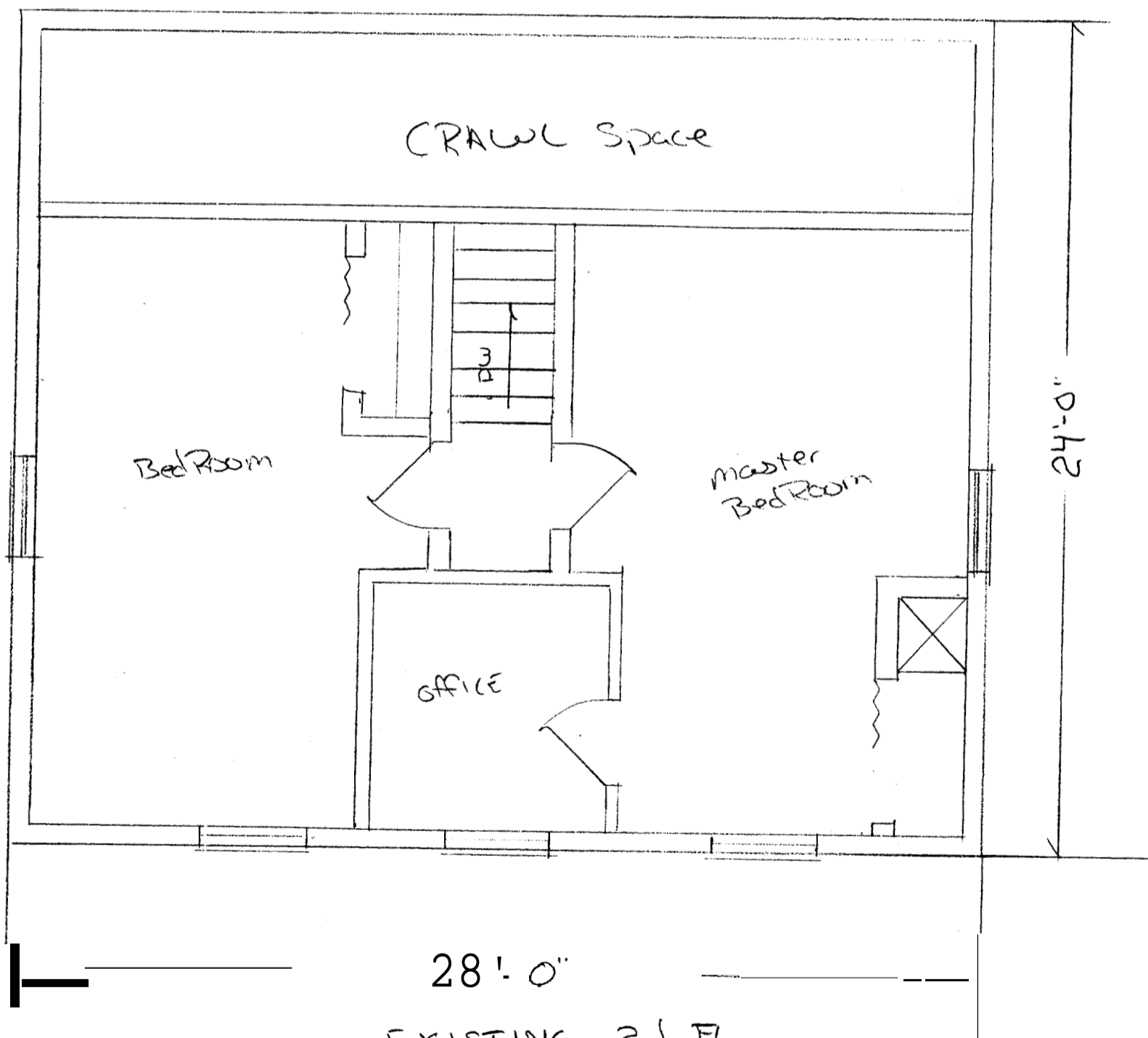
CROSS SECTION

MIKE & TERESA RUSMUS
 "DORMER"
 TILLSLEY ST.
 PORTLAND, MAINE

PLOT PLAN

ROSMUS
77 ILLSLEY ST
PORTLAND



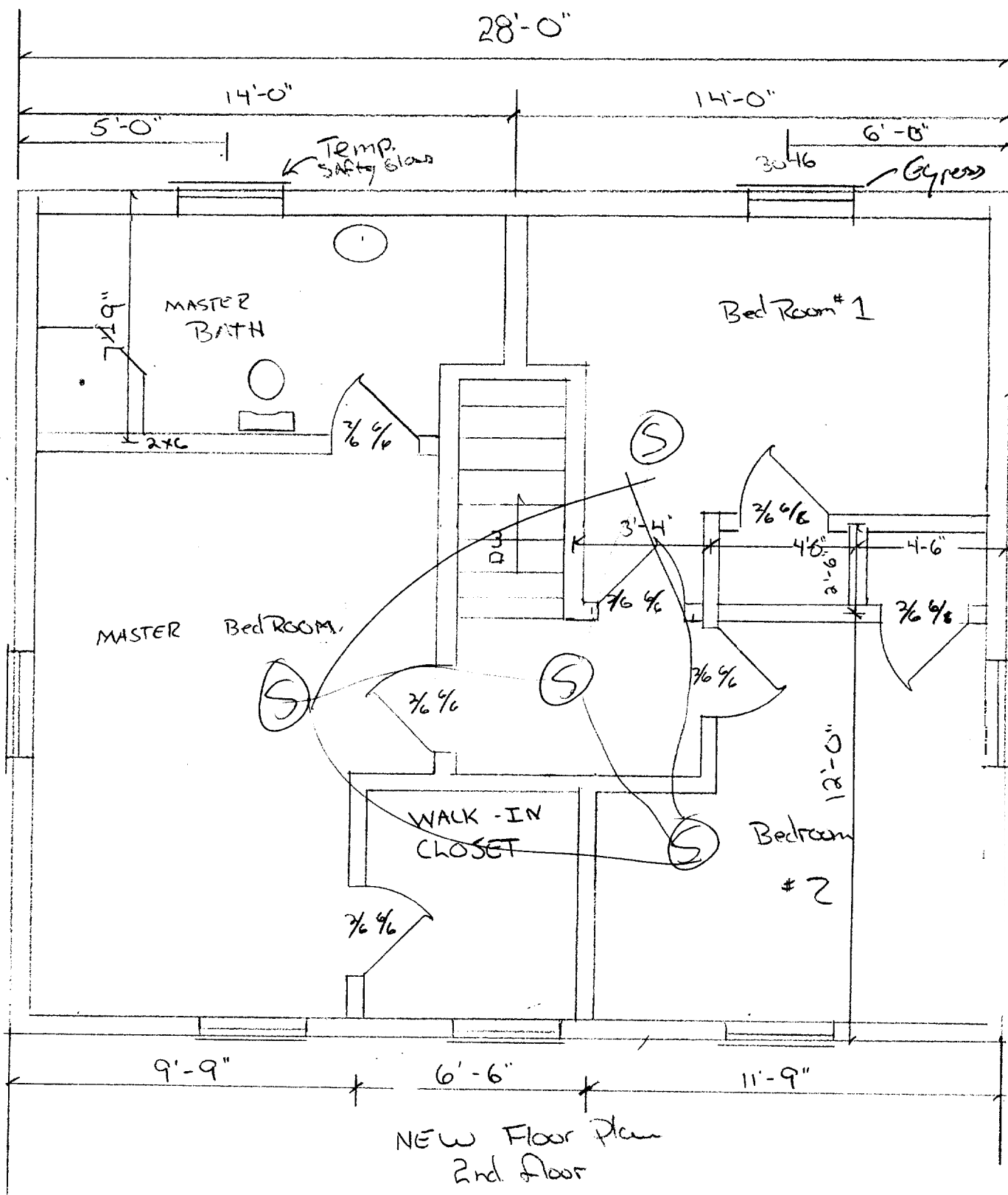


28'-0"

EXISTING 2nd FL.

4" - 1'-0"

4



3046 Andersen

per Rich L
4/11/05
Smokes per code

Change
to
Egress

Change
to
Egress

1/4" = 1'-0"



CITY OF PORTLAND, MAINE

Department of Building Inspections

4.1 20 05

Received from Richard LeDuc

Location of Work 77 E. Hillery

Cost of Construction \$ _____

Permit Fee \$ 210⁰⁰ / 10

Building (I1) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 110775

Check #: 4344

Total Collected \$ 210⁰⁰ / 10

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy