

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 030400

Please Read Application And Notes, If Any, Attached

This is to certify that Dibiase Louis Jr /no contract /self
has permission to add frost wall under garage extend garage 10'x14' sun room, add 10'x35' deck & build 10'x10' shed.
AT 83 Illsley St 167 F003001

provided that the person or persons who perform or supervise the construction accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or otherwise closed-in. YOUR NOTIFICATION IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

PERMIT ISSUED
APR 29 2003

[Signature]
Director Building & Inspection Services

CITY OF PORTLAND

PENALTY FOR REMOVING THIS CARD

PERMIT ISSUED

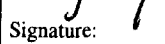

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

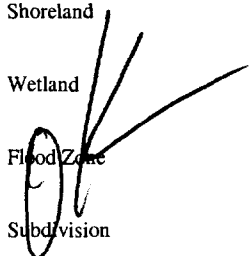
Permit No: 03-0400	Issue Date: APR 29 2003	CBL: 167 F003001
-----------------------	-----------------------------------	---------------------

Location of Construction: 83 Illsley St	Owner Name: Dibiase Louis Jr	Owner Address: 83 Illsley St CITY OF PORTLAND	Phone: 207-828-3733
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: R-5

Past Use: single family	Proposed Use: single family - add frost wall under garage & extend garage, build 10'x14' sunroom, add 10'x35' deck & build 10'x10' shed.	Permit Fee: \$93.00	Cost of Work: \$10,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB BOCA 99	

Proposed Project Description: add frost wall under garage & extend garage, build 10'x14' sunroom, add 10'x35' deck & build 10'x10' shed.	Signature: 	Signature: 
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:		Date:

Permit Taken By: gg	Date Applied For: 04/29/2003	Zoning Approval
------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 4/29/03	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 4/29/03
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>83 ILLSLEY ST. PORTLAND, ME</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>10,000</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>167</u> Block# <u>F</u> Lot# <u>3</u>	Owner: <u>Louis D. BRASE JR.</u>	Telephone: <u>207-828-3733</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>SAME</u>	Cost Of Work: \$ <u>10,000.00</u> Fee: \$
Current use: <u>SINGLE FAMILY HOME</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>SAME</u>		
Project description: <u>10'x14' SUNROOM ADDITION, 10'x35' WOOD DECK, 16'x20 GARAGE ADDITION</u>		
Contractor's name, address & telephone: <u>HOME OWNER</u>		
Who should we contact when the permit is ready: <u>LOUIS D. BRASE JR e 828-3733</u>		
Mailing address: <u>SAME AS ABOVE</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE:		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>4-28-03</u>
--	----------------------

**This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the
Planning Department on the 4th floor of City Hall**

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

 Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

- Footing/Building Location Inspection:** Prior to pouring concrete
- N/A **Re-Bar Schedule Inspection:** Prior to pouring concrete
- N/A **Foundation Inspection:** Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling
- Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

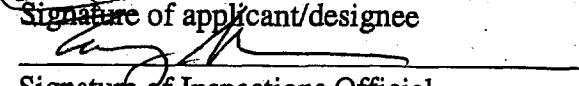
Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED


Signature of applicant/designee

4/29/03
Date


Signature of Inspections Official

4/29/03
Date

CBL: 167-5-3 Building Permit #: 03-0400



AT-HOME SERVICES
SM

THE BOSTONIAN

8 x 12 panel shed features 40% extended galvalume roof and black shingles.

\$38/mo*

PRICE INCLUDES:

- ✓ DELIVERY TO YOUR HOME
- ✓ CONSTRUCTION OF SHED
- ✓ WIND-RESISTANT ROOFING
- ✓ GALVALUME ROOFING
- ✓ 40% EXTENDED GALVALUME ROOFING
- ✓ BLACK SHINGLES
- ✓ VINYL SIDING

Vinyl Colors

white

cream

Available in your choice of siding:

SMART PANEL II

PINE

CEDAR*

VINYL*

ROOF STYLES

SHINGLE COLORS

SIZES

ROOF STYLES	SHINGLE COLORS	SIZES	SMART PANEL II	PINE	CEDAR*	VINYL*	
		8x12					
		8x14		\$1,879 OR ONLY \$48/mo*		\$2,299 OR ONLY \$63/mo*	
		8x16					
		10x12		\$1,999 OR ONLY \$50/mo*		\$2,399 OR ONLY \$63/mo*	
		BEST BUY 10x14	\$2,199 OR ONLY \$57/mo*	\$2,299 OR ONLY \$63/mo*	\$2,499 OR ONLY \$63/mo*	\$2,789 OR ONLY \$75/mo*	
		BEST BUY 10x16	\$2,399 OR ONLY \$63/mo*	\$2,499 OR ONLY \$63/mo*	\$2,849 OR ONLY \$75/mo*	\$2,999 OR ONLY \$75/mo*	
		12x12					
		12x14		\$2,599 OR ONLY \$69/mo*		\$3,099 OR ONLY \$82/mo*	
		BEST BUY 12x16	\$2,679 OR ONLY \$69/mo*	\$2,779 OR ONLY \$75/mo*	\$3,299 OR ONLY \$88/mo*	\$3,399 OR ONLY \$88/mo*	
		BEST BUY 12x20	\$3,399 OR ONLY \$88/mo*	\$3,499 OR ONLY \$88/mo*	\$3,899 OR ONLY \$100/mo*	\$4,099 OR ONLY \$100/mo*	

DELIVERED BUILT ON SITE,

**NO PAYMENTS
NO INTEREST
for 6 months***



For more detailed information visit
ShedsUSA.com/homedepot
or call us toll free at
866.616.2685

*most areas

© The Home Depot, 2009 (1556-1/218)

***Key Credit Terms: 6-Month Credit Offer:** Payments are not required for 6 months on any approved purchase of \$299 or more charged to your Home Depot® Consumer Credit Card account. Offer subject to credit approval. Valid at all U.S. Home Depot® stores. Ask an Associate for details. **Minimum Monthly Payments:** The payments shown are an estimate of your required minimum monthly payments, and assume that you have no existing balance, make no additional purchases, that you pay the minimum payment by the payment due date each month, and that you do not incur any additional fees. Actual minimum monthly payments may vary. These payments apply only to the Home Depot Consumer Card.

Options & Upgrades for All Sheds

Note: Options and upgrades are an additional cost to the standard pricing.

Item	Price INCLUDED
PT floor joist	\$35.00
4 x 4 PT Runners" (8x12, 10x12, 12x12)	\$59.00
2" x 6" PT floor joists upgrade for 6' or 8' wide sheds (10' & 12' sheds come standard with this option)	\$.92 sq ft
PT 5/8" plywood floor	\$1.20 sq ft
4' storage loft for 8' wide sheds	\$65.00
4' storage loft for 10' wide sheds	\$80.00
4' storage loft for 12' wide sheds	\$95.00
<i>(loft storage space will vary with roof style, loft for 6' wide sheds is not available)</i>	
Shelf	\$45.00
Enlarge Standard 40" Door to 54" Door	\$60.00
Enlarge Standard 40" Door to 66" Door	\$90.00
Enlarge Standard 40" Door to 78" Door	\$120.00
Ramp (pressure-treated)	\$50.00
VINYL SHED ONLY - functional window upgrade (each)	\$49.00
<i>(standard vinyl shed window does not open—optional "functional window upgrade" window does open)</i>	
Window screen (each)	\$15.00
Anchor Kit" (hurricane clips & anchors)	\$120.00

Note: 54" double doors not available on any 6' wide or 8x8 New Yorker. 66" & 78" double door not available on any New Yorker or any of the following Bostonian sizes - 8x12, 10x12 or 12x12 due to space restrictions.

Product Warranty

Sheds USA warrants the structural soundness of all its sheds for a period of 10 years from the date of delivery with proper maintenance. A detailed warranty and registration will be sent by mail to all new customers.

"Please note: Some town/country building codes may require customers to purchase an "Anchor Kit and/or 4x4 PT Runners" in order to meet town/country specific requirements/codes. Although Sheds USA builds one of the highest quality shed products available, some towns have very stringent building codes and Sheds USA cannot guarantee that all of our sheds will meet these codes. Any additional cost necessary to meet code requirements will be the customer's responsibility."

"Cedar sheds may be built with Cedar or Cypress depending on availability. Cypress and Cedar have very similar appearances & characteristics, all bulleted items under the Cedar header apply to both wood types. Sheds USA reserves the right to substitute materials with the understanding that any substitutions will be of comparable quality and appearance to that being specified."

VINYL	CEDAR	PINE	SMART PANEL II
<ul style="list-style-type: none"> 100% maintenance free Variety of colors available Beautiful Long-term durability Preferred choice 	<ul style="list-style-type: none"> Placed on a concrete or gravel base Resistant to rot, decay & insect damage Resistant to mold & mildew Resistant to staining & discoloration 	<ul style="list-style-type: none"> Most popular material Withstands all types of weather Classic tongue-and-groove construction Affordably priced 	<ul style="list-style-type: none"> Warranty Resistant to rot, decay & insect damage Resistant to mold & mildew Resistant to staining & discoloration

SKU #471-897 (SKU represents Sheds USA's Bostonian, Portsmouth and New Yorker sheds only)

THE BOSTONIAN

Shed Siding Material

Shed Size

Roof Style

Roof Shingle Color

Options & Upgrades

VINYL SHED ONLY - functional window upgrade

PT 5/8" plywood floor

Window screen

Anchor Kit

Site Requirements

- Clearance** around the shed site must be at least 3' from any fences, trees, etc. Please remove tree branches, brush or other obstacles 3' around perimeter of shed and 12' above ground.
- Land grade** must be less than a 6" slope from the highest to lowest point, with no protruding rocks or stumps in the area.
- Access** to the site must be clear; sheds are delivered in prefab panels—stairs, narrow walkways, fences, gates, shrubs, carports, awnings, arbors, etc. may present difficulties and should be brought to Sheds USA's attention prior to delivery.
- Land quality** is important. When choosing your site, consider all factors including: proper drainage, firmness of earth, etc.
- Permits** are the responsibility of the homeowner. Please contact your local town office prior to purchasing/ordering your shed to determine town/country restrictions, if any.
- Shed site** must be 150' or less from where large tractor trailer can park. Sheds sites located further than 150' from truck parking area will incur a minimum \$50.00 fee payable to Sheds USA at time of scheduling. Please inform/contact our office if this applies to your site (toll free 866.616.2685).

If any of the SITE REQUIREMENTS are not fulfilled, your shed may not be built and a fee of \$150.00 will be charged for our crews to return and construct your shed once conditions are met. If this occurs, delivery of your shed materials must be accepted and placed on your property in a location accessible to the final shed site to avoid a \$300 re-delivery fee. It is the customer's responsibility to cover the materials with a non-transparent, waterproof material to prevent any unnecessary weathering and/or discoloration. All fees are assessed by Sheds USA at time of notification.

Delivery

- Sheds USA** will acknowledge the receipt of your order by phone or by mail. Please provide a daytime phone number at time of purchase.
- Delivery schedule** will be established by Sheds USA. You will be contacted by phone 1 to 2 weeks in advance.
- Delivery time** will fluctuate based on seasonal volume, weather conditions and other uncontrollable events. Please note our crews deliver/install multiple sheds per day; therefore the status of one order may affect many others. We ask our customers to be understanding if an unforeseen event affects their delivery/installation date.
- Delivery date** and installation date may differ.
- Site requirements** must be fulfilled prior to scheduling (please refer to the "Site Requirements" section to ensure understanding).
- Cancellation** of any product already in production or manufactured will incur a 20% cancellation fee. Please contact us immediately if your order needs to be cancelled.

For more detailed information, visit www.ShedsUSA.com/homedepot

Standard Features & Materials

Roof (peak, extended peak or gambrel—4" or 6" shed available in peak roof only)

- 7/16" OSB
- 2" x 4" construction, 24" on center
- Self-sealing shingles with 25 year warranty - available in black, brown or white/gray

Roof Heights

	Peak	Ext. Peak	Gambrel
6' wide	8'0"	8'6"	9'0"
8' wide	8'3"	8'6"	9'0"
10' wide	8'4"	9'0"	9'5"
12' wide	9'6"	9'9"	9'10"

10'x10'

Walls

- 2"x4" construction, 24" on center
- Smart Panel II: pre-primed surface (vertical)
(all trim boards come unfinished and will require painting or staining)
- Pine: 6" tongue & groove (horizontal)
- Cedar: 6" or 8" tongue & groove (horizontal)
- Wall height = 71"; Extended front gable, front wall = 75"
- Maintenance free vinyl siding applied over 1/2" plywood

5/8" OSB tongue and groove

- Pressure treated floor joists standard
- Optional pressure treated 5/8" plywood available
- 2" x 4" construction, 16" on center for 6' & 8' wide units
- Optional 2" x 6" floor joists available for 6' & 8' wide units
- 2" x 6" construction, 16" on center for 10' & 12' wide units
- Concrete block supports—4 corners, front & back center of outside frame
- Optional 4" x 4" PT Runners
- Pressure treated 4x4 center beam on all 12' wide sheds

If preparing your own foundation/footing, please call Sheds USA for the exact outside floor dimensions — 866.616.2685

Windows

- All windows come with flower boxes and shutters
- Wooden sheds come standard with functional windows
- Vinyl sheds come standard with non-functional windows
(functional windows available as an option)

Doors

- 40" double door standard
(6x6 sheds come with 26" single door standard)
- Optional 54", 66" & 78" doors size available

Note: All shed dimensions are approximate - door & window locations cannot be changed.

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 15662 PAGE 332 COUNTY Cumberland
 PLAN BOOK 7 PAGE 2 LOT 37 & 38

ADDRESS: 83 Ilsey Street, Portland, Maine

Buyers: Louis DiBiase

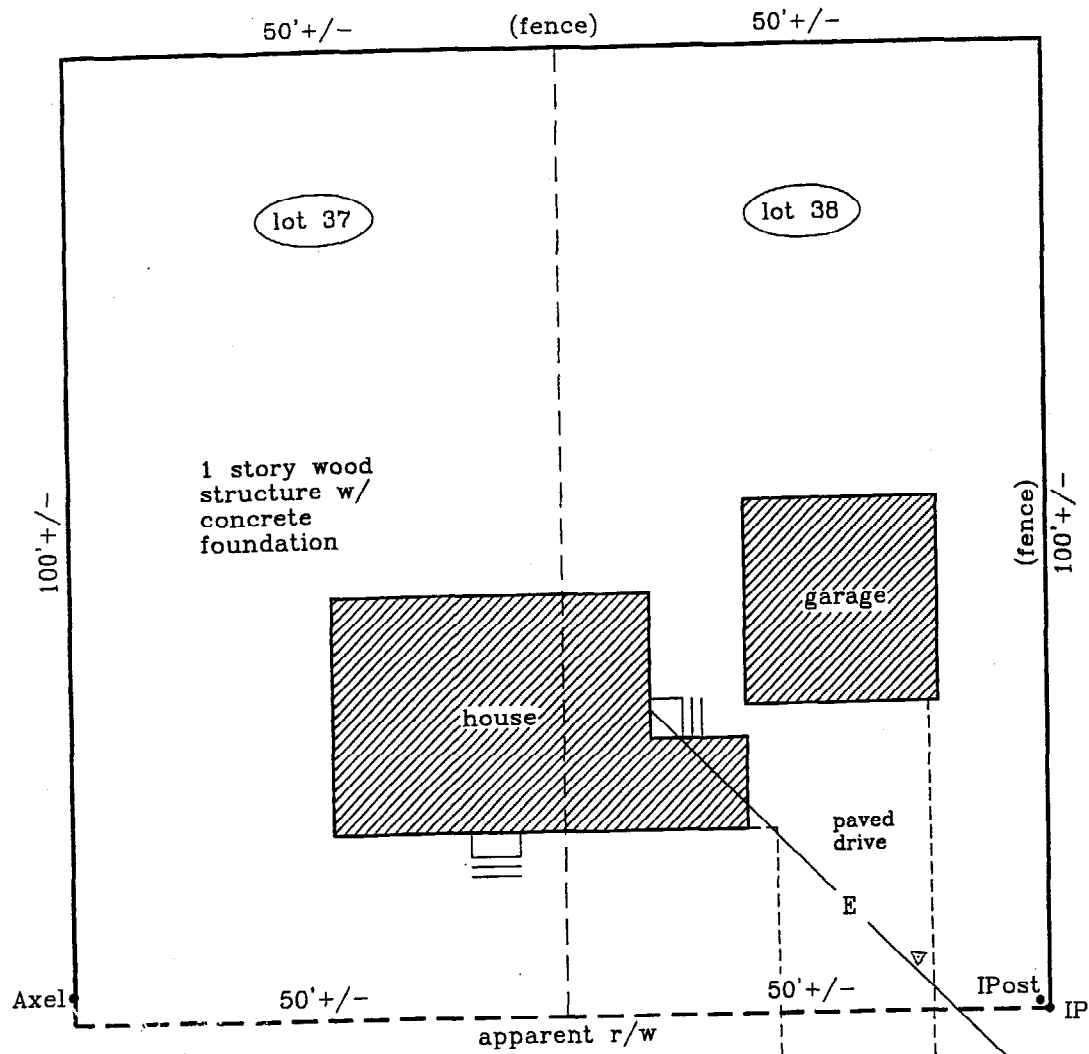
Sellers: Elaine Esposito

Job Number: 357-01

Inspection Date: 2-14-02

Scale: 1" = 20'

Client File#: 22-0214 fc



111 Ilsey Street to Presumpscot St.

EXISTING CONDITIONS

THIS IS NOT A BOUNDARY SURVEY

MORTGAGE INSPECTION OF: DEED BOOK 15662 PAGE 332 COUNTY Cumberland
 PLAN BOOK 7 PAGE 2 LOT 37 & 38

ADDRESS: 83 Ilsey Street, Portland, Maine

Buyers: Louis DiBiase

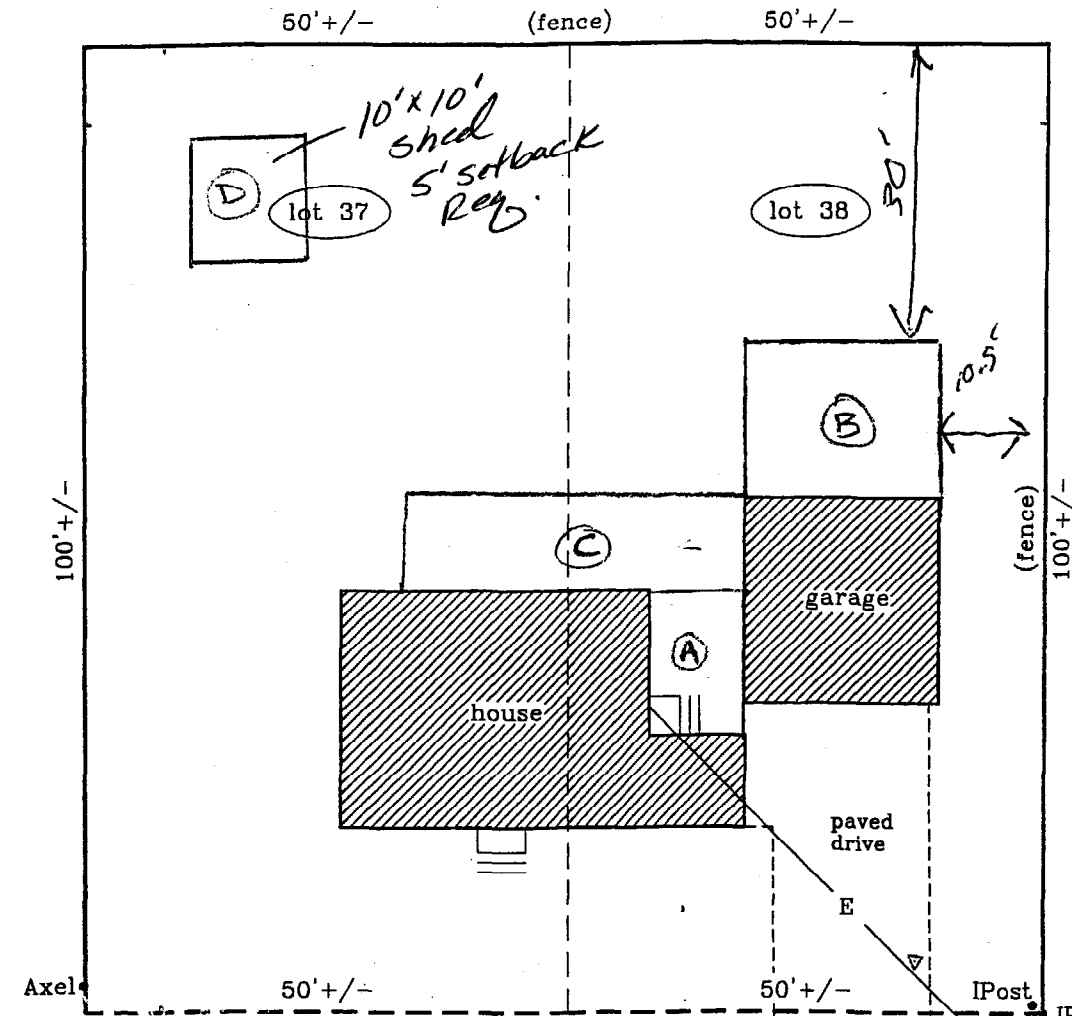
Sellers: Elaine Esposito

Job Number: 357-01

Inspection Date: 2-14-02

Scale: 1" = 20'

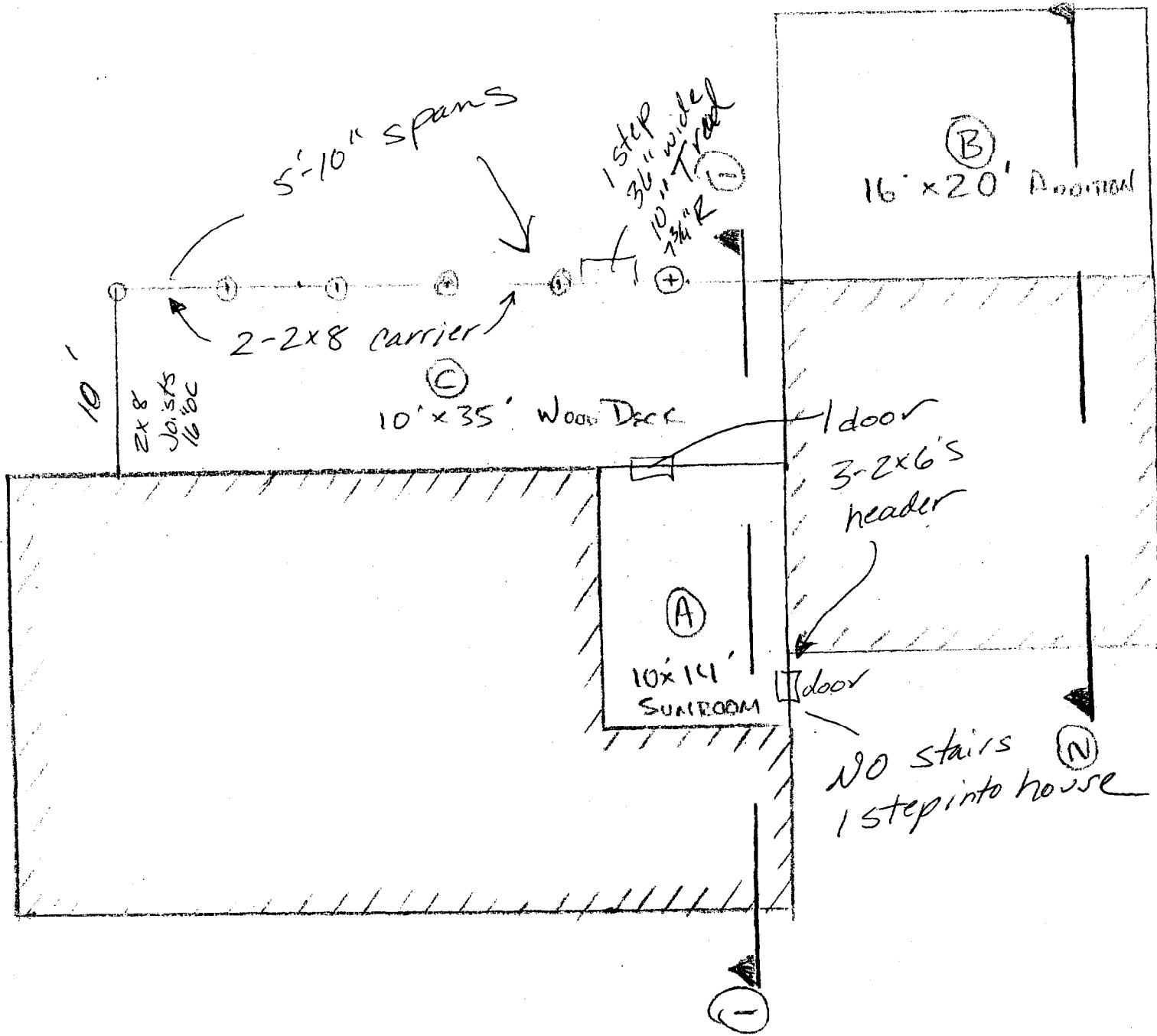
Client File#: 22-0214 fc



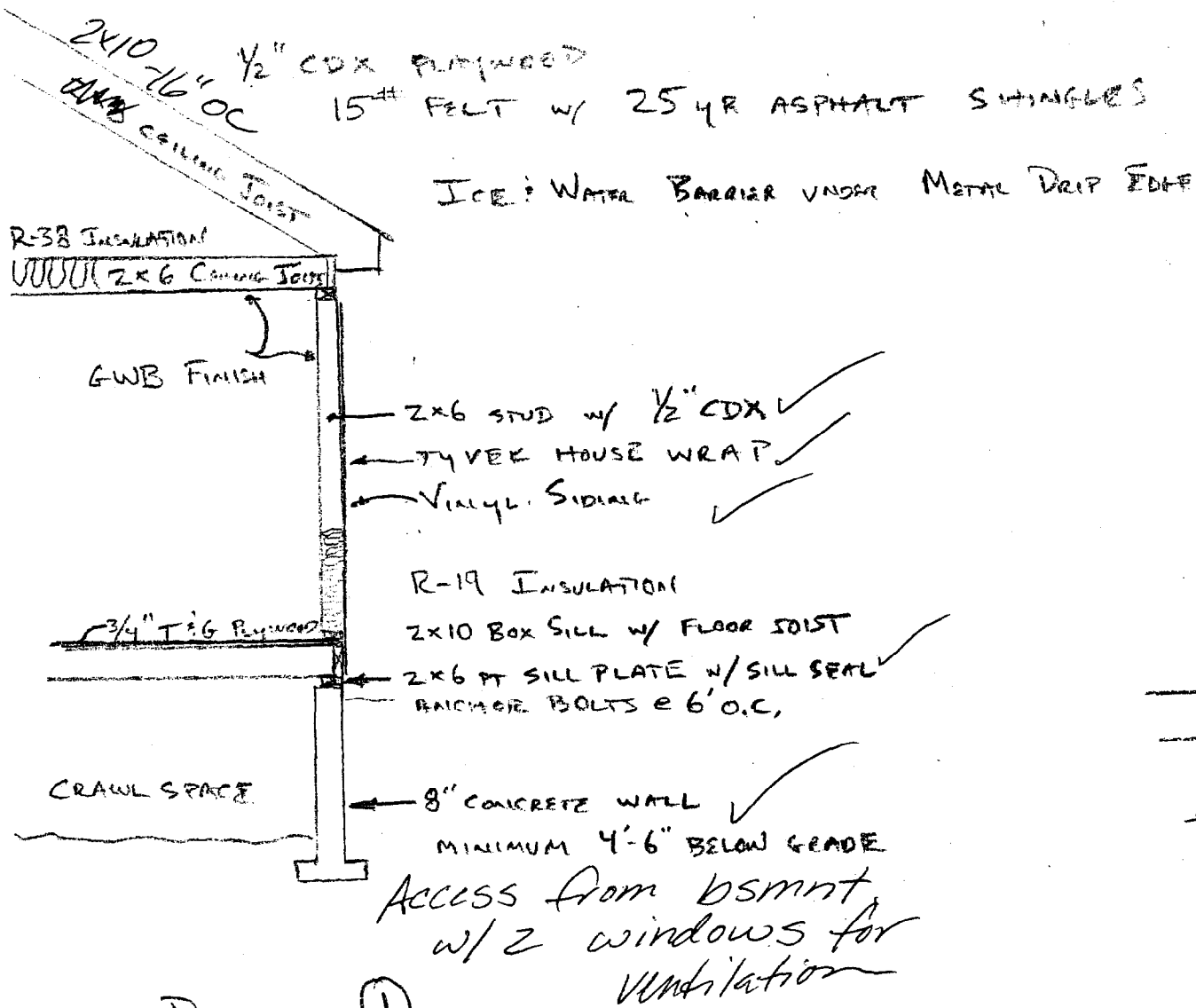
R-5
 Front 20'
 Rear 20'
 Sides 8'
 Lot 40%
 OK

PROPOSED PLAN

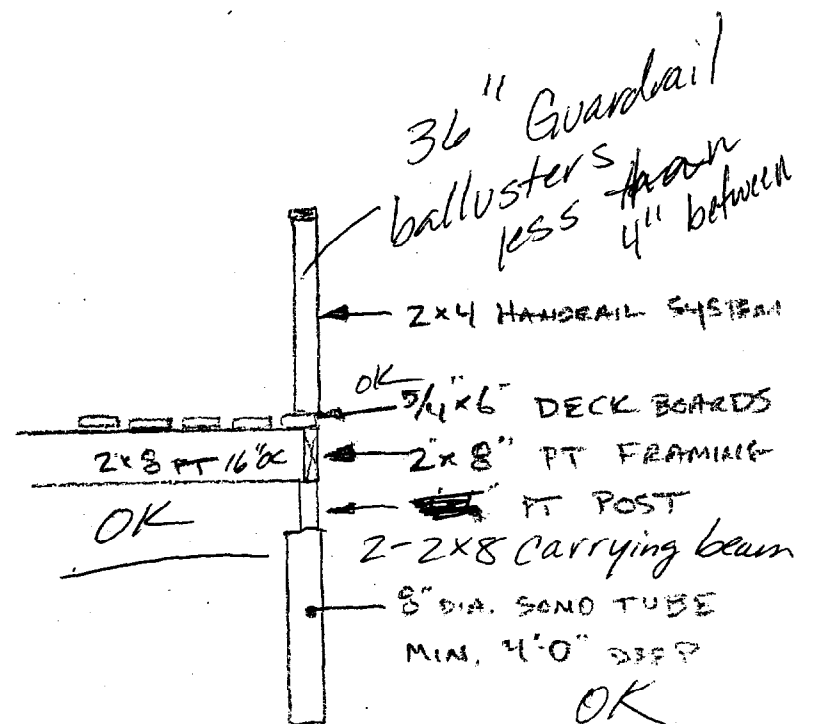
- Ⓐ 10'x14' SUNROOM ADDITION W/ FROST WALLS & CRAWL SPACE
- Ⓑ 16'x20' GARAGE ADDITION - EXISTING GARAGE TO HAVE NEW FROST WALLS AND SLAB ON GRADE
- Ⓒ 10'x35' WOOD DECK ON POST ON SONO-TUBES
- Ⓓ 12'x12 TOOL SHED



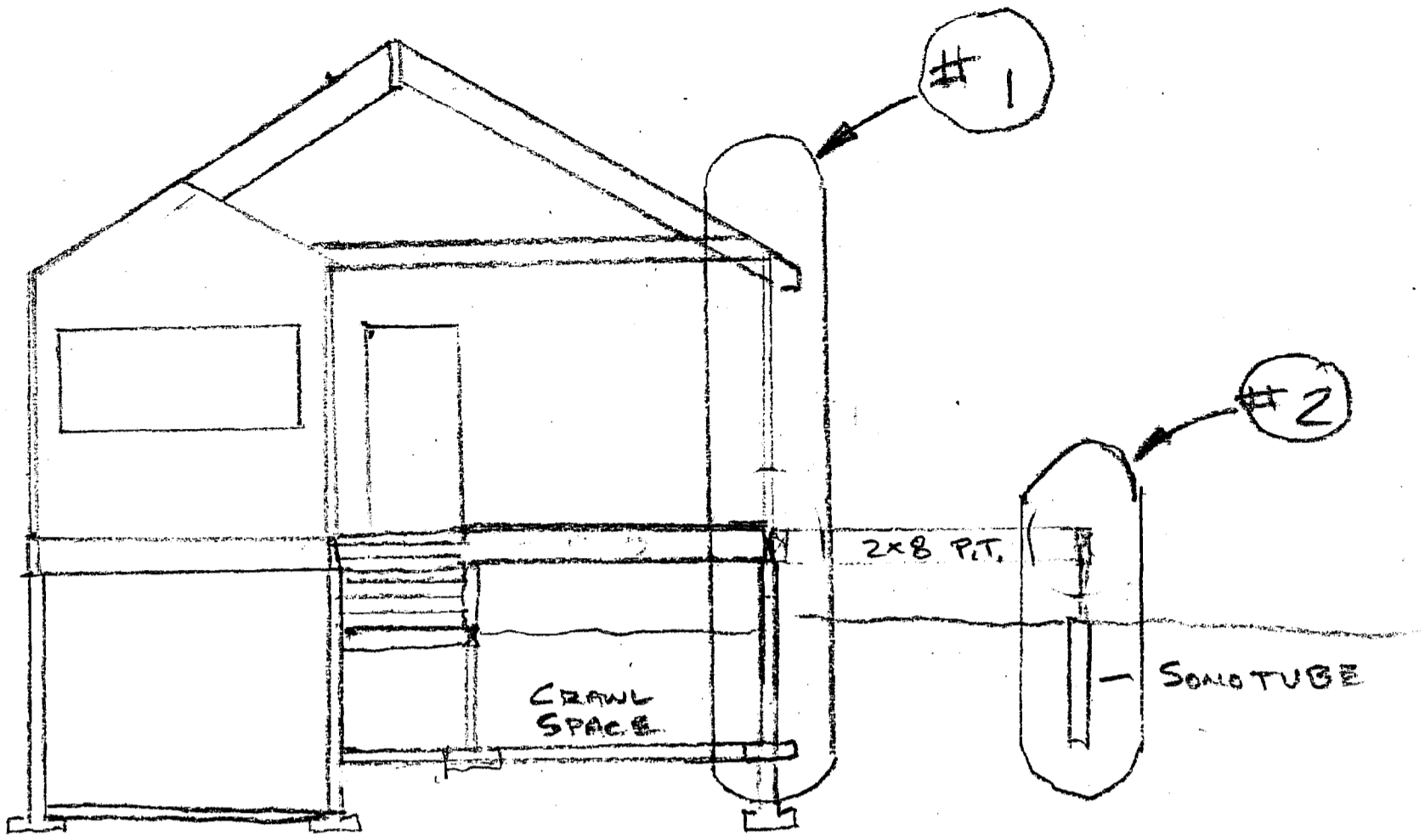
SCALE 1/8" = 1'-0"



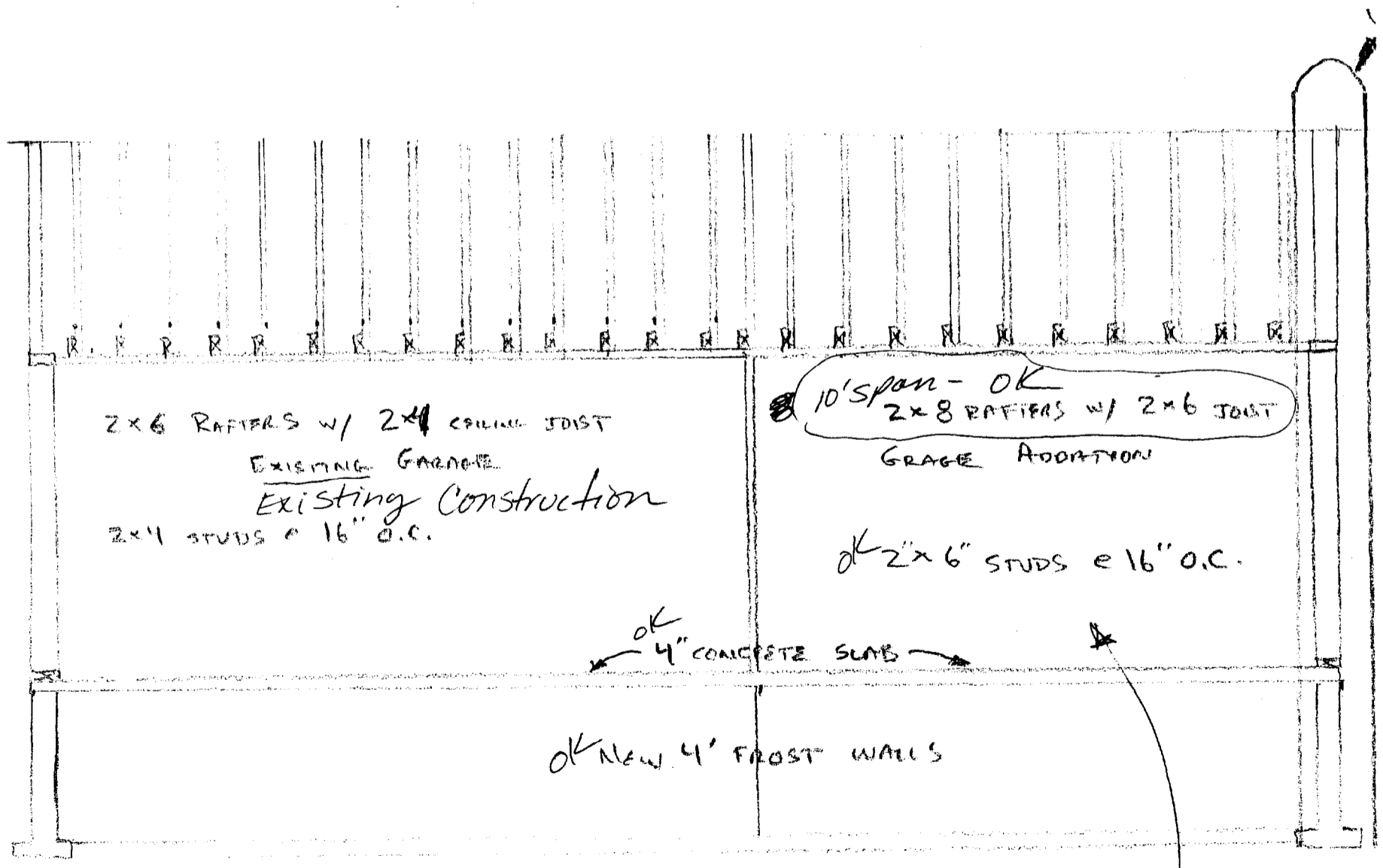
DETAIL ①
SCALE 1/4" = 1'-0"



DETAIL ②
SCALE 1/4" = 1'-0"



SECTION 1-1
SCALE N.T.S.



SECTION 2-2
SCALE $\frac{1}{4}'' = 1'-0''$

NO NEW
WINDOWS OR
DOORS -



CITY OF PORTLAND, MAINE

Department of Building Inspections

4/29/2003

Received from Louis DiBiase Jr.

Location of Work 83 Halsey St.

Cost of Construction \$ 10,000

Permit Fee \$ 93

Building (I1) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 167-F-3

Check #: 637

Total Collected \$ 93.00

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy