

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

# CITY OF PORTLAND

PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

## PERMIT

Permit Number: 050457  
MAY - 5 2005

This is to certify that Kiley Doris Wid Wwii Vet/Affiliated  
has permission to Remove sheds, replace w/ new shed connecting with porch building new 24'x24' detached garage  
AT 33 Presumpscot St City of Portland 167 E009001

provided that the person or persons, firm or organization accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit on procedure before this building or part thereof is occupied or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Carrie Banko 5/3/05*  
Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

*Black Fnd Truck Red Sto  
Wallaround truck  
2 Family  
across from Front St Community Center*

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0457	Issue Date: <b>PERMIT ISSUED</b> MAY - 5 2005 167 E009001
Owner Address: 33 Presumpscot St W	Contractor Address: Portland
Permit Type: Additions - Dwellings	Zone: R5

Location of Construction: 33 Presumpscot St	Owner Name: Kiley Doris Wid Wwii Vet
Business Name:	Contractor Name: Applicant
Lessee/Buyer's Name	Phone:

Past Use: Residential 2 unit	Proposed Use: Residential 2 unit/ Remove sheds, replace w/ new shed connecting with porch build new 24'x24' detached garage <i>No garage</i>
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Permit Fee: \$228.00	Cost of Work: \$23,000.00	CEO District: 4
FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC-2003 Signature: <i>JMB 5/3/05</i>	

Proposed Project Description:  
Remove sheds, replace w/ new shed connecting with porch build new 24'x24' detached garage *No garage*

Signature: \_\_\_\_\_  
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)  
Action:  Approved  Approved w/Conditions  Denied  
Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: Idobson	Date Applied For: 04/19/2005
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**Zoning Approval**

- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 5/3/05</i>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
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**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

5/25/05 - Checked Framing & electrical for  
job - no problems seen anywhere - OK to  
Close-in. (Plumbing Beirs moved - no new fixtures)

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0457	Date Applied For: 04/19/2005	CBL: 167 E009001
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Location of Construction: 33 Presumpscot St	Owner Name: Kiley Doris Wid Wwii Vet	Owner Address: 33 Presumpscot St W	Phone:
Business Name:	Contractor Name: Jim Meehan	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Residential 2 unit/ Remove sheds, replace w/ new shed connecting with porch	Proposed Project Description: Remove sheds, replace w/ new shed connecting with porch
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 05/04/2005

**Note:** 5/02/05 left vm w/Sharon K. @ work about more detail on plans      **Ok to Issue:**

5/4 Sharon called to verify the property has pins and will meet side setback. Discussed frost wall on garage, she may not build.

Spoke w/Jim M. For plan details as noted on plans. He says to remove garage from permit

- 1) The garage is not approved with this permit. Separate permits shall be required for future decks, sheds, pools, and/or garages.

**Dept:** Building      **Status:** Approved with Conditions      **Reviewer:** Jeanine Bourke      **Approval Date:** 05/04/2005

**Note:**      **Ok to Issue:**

- 1) This permit DOES NOT certify the use of the property or building. It only authorizes the construction activities.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, or heating

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

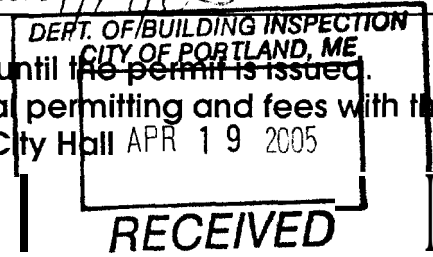
Location/Address of Construction: <u>33-39 W. Presumpscot St. Portland</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>100 x 150</u>	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>167          E          009</u>	Owner: <u>Doris E. Kiley</u>	Telephone: <u>761-2925</u> <u>(Sharon's #)</u>
Lessee/Buyer's Name (If Applicable) <u>Sharon G Kiley</u>	Applicant name, address & telephone: <u>35 W Presumpscot St Portland, Me 04103 761-2925</u>	Cost Of Work: <u>23,000</u> <sup>(k)</sup> <del>\$37,000</del> Fee: \$
Current use: <u>RESidential Unit</u>		
If the location is currently vacant, what was prior use: <u>N/A</u>		
Approximately how long has it been vacant: <u>N/A</u>		
Proposed use: <u>*Remove existing two story sheds, replace existing sheds, extend new shed to connect with existing porch build new 24x24</u>		
Project description: <u>detached garage. - Sheds are to have frost walls.</u>		
Contractor's name, address & telephone: <u>Jim Meehan</u>		
Who should we contact when the permit is ready: <u>Sharon G. Kiley</u>		
Mailing address: <u>35 W Presumpscot St, Portland, ME 04103</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>761-2925 - Home</u> <u>*595-4619 - work</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Sharon G. Kiley</u>	Date: <u>4/14/05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



**BUILDING PERMIT INSPECTION PROCEDURES**

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED~~

Sharon Stuebel  
Signature of Applicant/Designee

5/6/05  
Date

[Signature]  
Signature of Inspections Official

5/6/05  
Date

CBL: 167E 009 Building Permit #: 050457



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

Card Number	1 of 2
Parcel ID	1b7 E009002
Location	33 PRESUVPSCOT ST
Land Use	TWO FAMILY
Owner Address	KILEY DORIS WID WWII VET 33 PRESUVPSCOT ST W PORTLAND ME 04103
Book/Page	
Legal	1b7-E-9-10 W PRESUMPSCOT ST 33-39 15000 SF

### Current Valuation Information

Land	Building	Total
\$28,560	\$87,670	\$118,230

### New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$72,800	\$137,500	\$210,300	\$164,265

### Property Information

Year Built	Style	Story Height	sq. Ft.	Total Acres	
1922	Old Style	2	2176	0.344	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
4	2		10	None	Full

### Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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### Sales Information

Date	Type	Price	Book/Page
01/11/2000	LAND + BLDING		15273-007

### Picture and Sketch

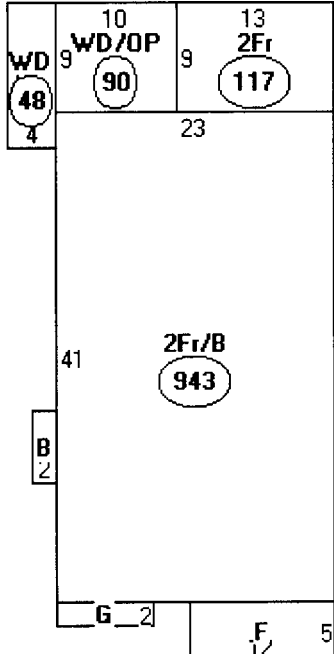
Picture	Sketch	Tax Map
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here to view comparable sales or below to view by:](#)





Descriptor/Area

- A: 2Fr/B  
943 sqft
- B: 2FBAY/B  
12 sqft
- C: WD  
48 sqft
- D: WD/OP  
90 sqft
- E: 2Fr  
117 sqft
- F: OP/OP  
60 sqft
- G: 2FBAY/B  
16 sqft

1,286  
~~576 garage~~

~~1,862~~  
 1,286

*OK*

Lot 15,000  
 x 40%  
6,000

# Know all Men by these Presents, That

we, Arthur F. Kelsen, of ... in the State of California, Lawrence F. Kelsen of Denver, in the county of Denver and State of Colorado, and Doris E. Kiley (formerly Doris E. Kelsen) of Portland, in the County of Cumberland and State of Maine in consideration of one dollar and other good and valuable considerations to us paid by Inger Kelsen, of Compton, in the county of Los Angeles and the State of California,

the receipt whereof we do hereby acknowledge, do hereby give, grant, bargain, sell and convey unto the said Inger Kelsen, her heirs and assigns forever, the following described property: All of our right, title and interest in and to two certain lots or parcels of land with the buildings thereon situated on Presumpscot Street in said Portland and being lots numbered 133 and 134 on Plan of L. W. Dyer, recorded in the Cumberland County Registry of Deeds, Plan Book 7, Page 2, and being more particularly bounded and described as follows: Commencing at a point on the northwesterly side of Presumpscot Street one hundred and fifty (150) feet southwesterly from Dingley street; thence Northwesterly on the Southwesterly line of lots 83, 84 and 85 as shown on above referred to plan one hundred and fifty (150) feet to lot number 86; thence southwesterly by lots 88 and 130, one hundred feet (100); thence southeasterly by lot numbered 132, one hundred fifty (150) feet to Presumpscot Street; thence northeasterly by Presumpscot Street one hundred (100) feet to the point of beginning.

Meaning and intending to convey all of our interest in the premises deeded to us by Arthur P. Kelsen by deed dated May 9, 1941, recorded in Cumberland County Registry of Deeds in Book 1637, Page 132.

On Here and to Hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said Inger Kelsen, her heirs and assigns, to her and

their use and behoof form. And we do covenant with the said Grantee, her

heirs and assigns, that we are lawfully seized in fee of the premises; that they are free of all incumbrances; except as aforesaid;

that we have good right to sell and convey the same to the said Grantee to hold as aforesaid; and that we and our heirs, shall and will warrant and defend the same to the said Grantee, her

heirs and assigns forever, against the lawful claims and demands of I persons.

In Witness Whereof, we the said Arthur F. Kelsen, and Myra Jean Kelsen, wife of the said Arthur F. Kelsen, and Lawrence F. Kelsen (unmarried), and Doris E. Kiley, and Thomas Kiley, husband of the said Doris E. Kiley, all joining in this deed as Grantors, and relinquishing and conveying all rights by descent and all other rights in the above described premises our hands and seals this twentieth day of August in the year of our Lord one thousand nine hundred and fifty-four.

Signed, Sealed and Delivered in presence of  
Jean S. Mazurk  
Jean S. Mazurk  
John T. Millford  
John T. Millford, 1st LT. USAF  
Norma E. Sawyer  
Fred A. Horvile Sr.  
State of Maine, CUMBERLAND, ss.

Arthur F. Kelsen Seal  
Myra Jean Kelsen Seal  
Lawrence F. Kelsen Seal  
Doris E. Kiley Seal  
Thomas J. Kiley Seal  
Personally appeared

August 20, 1954

the above named Doris E. Kiley and acknowledged the above instrument to be her free act and deed.

Before me, Festus B. McDonough Notary Public Notarial Seal

Received October 13 1954, at 9 o'clock - m. A. M., and recorded according to the original.

0002240

QUITCLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS, that the City of Portland, a body politic and corporate in the County of Cunkrland, State of Maine, in consideration of one dollar (1 00) and other valuable consideration paid by Kiley, Thomas J of Portland, County of Cunkrland, State of Maine, the receipt whereof is hereby acknowledged, does hereby remise, release, bargain, sell and convey and forever quitclaim to the wid Kiley, Thomas J, as his/her/their successor(s) and assign(s) forever, all its right, title and interest in and to the following described real estate situated in Portland in the County of Cumberland and State of Maine and more particularly described as, v u Real Estate in Portland, Maine Assessor's plan on file in assessor's office city hall plan 167-E-9 W Presumpscot St 33-39 15000sf

Meaning and intending to convey the same land and building which the said grantor acquired by T U Lien Certificate dated June 15, 1997 and June 16, 1998

The instrument above referred to recorded in the Cunkrland County Registry of Deeds in Book 13142 Page 2 Book 13902 Page 272

IN WITNESS WHEREOF, the said City of Portland has hereunto caused this instrument to be signed by DUANE G. KLINE its duly authorized Director of Finance this 9th day of Dec., 1999

*Linda J McLeod*  
Witness

CITY OF PORTLAND  
BY: *Duane G. Kline*  
Director of Finance  
DUANE G. KLINE

STATE OF MAINE  
CUMBERLAND, ss

Dec. 9., 1999

Personally appeared the above-named Duane G. Kline, in his capacity as the Director of Finance of the City of Portland, and acknowledged the foregoing instrument to be his free act and deed and the free act and deed of the City of Portland.

Before me,  
*Linda J McLeod*  
Notary Public

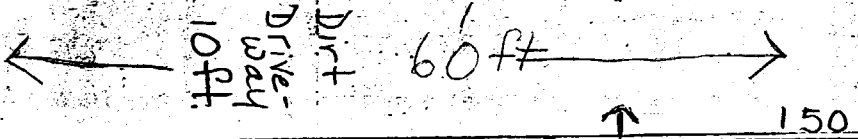
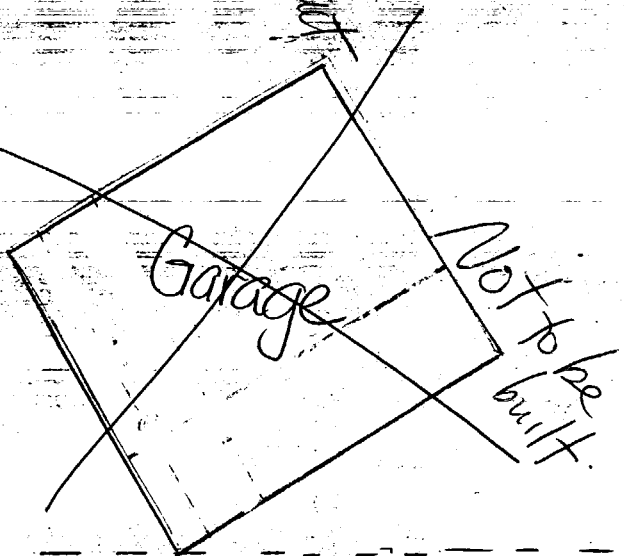
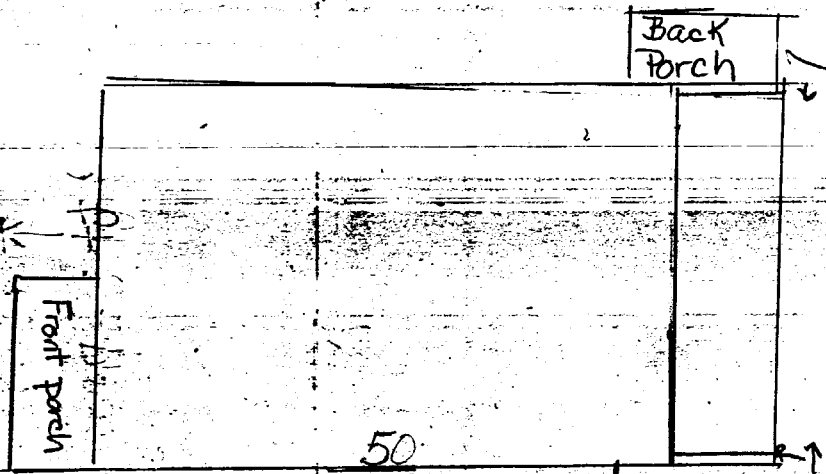
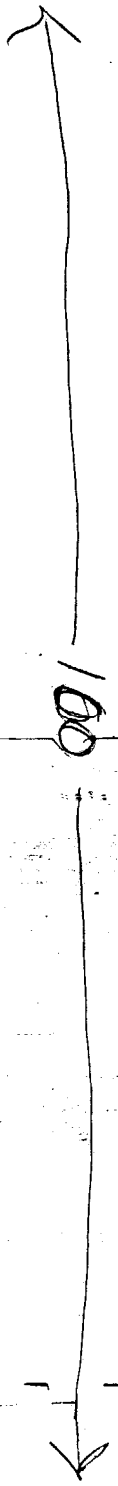
Printed Name

LINDA J. McLEOD  
NOTARY PUBLIC, MAINE  
MY COMMISSION EXPIRES OCT. 26, 2001

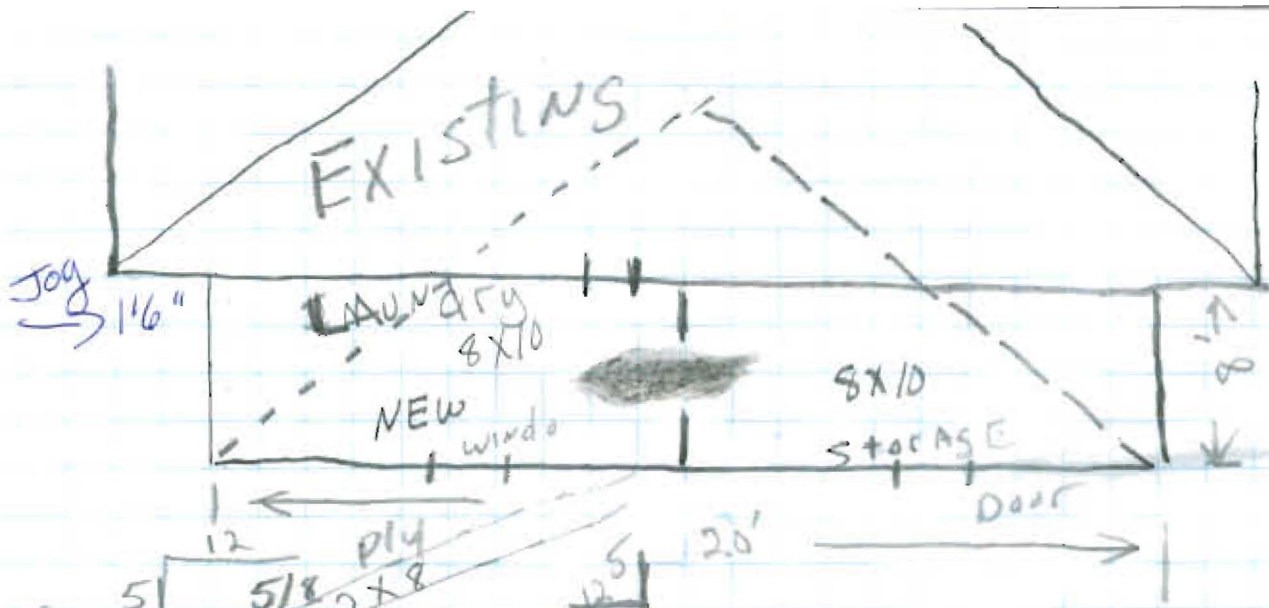
RECEIVED  
RECORDED REGISTRY OF DEEDS  
2000 JAN 11 AM 11:38  
CUMBERLAND COUNTY  
*John B. O'Brien*

\*Proposed Construction

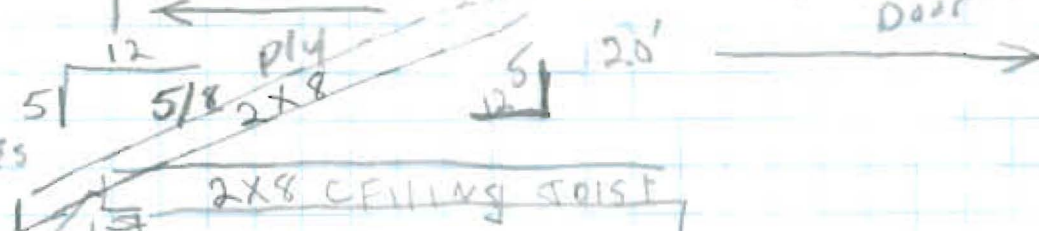
R.S-2 zone  
Rear 20' Req 20' shown  
Side 8' Req 8' shown



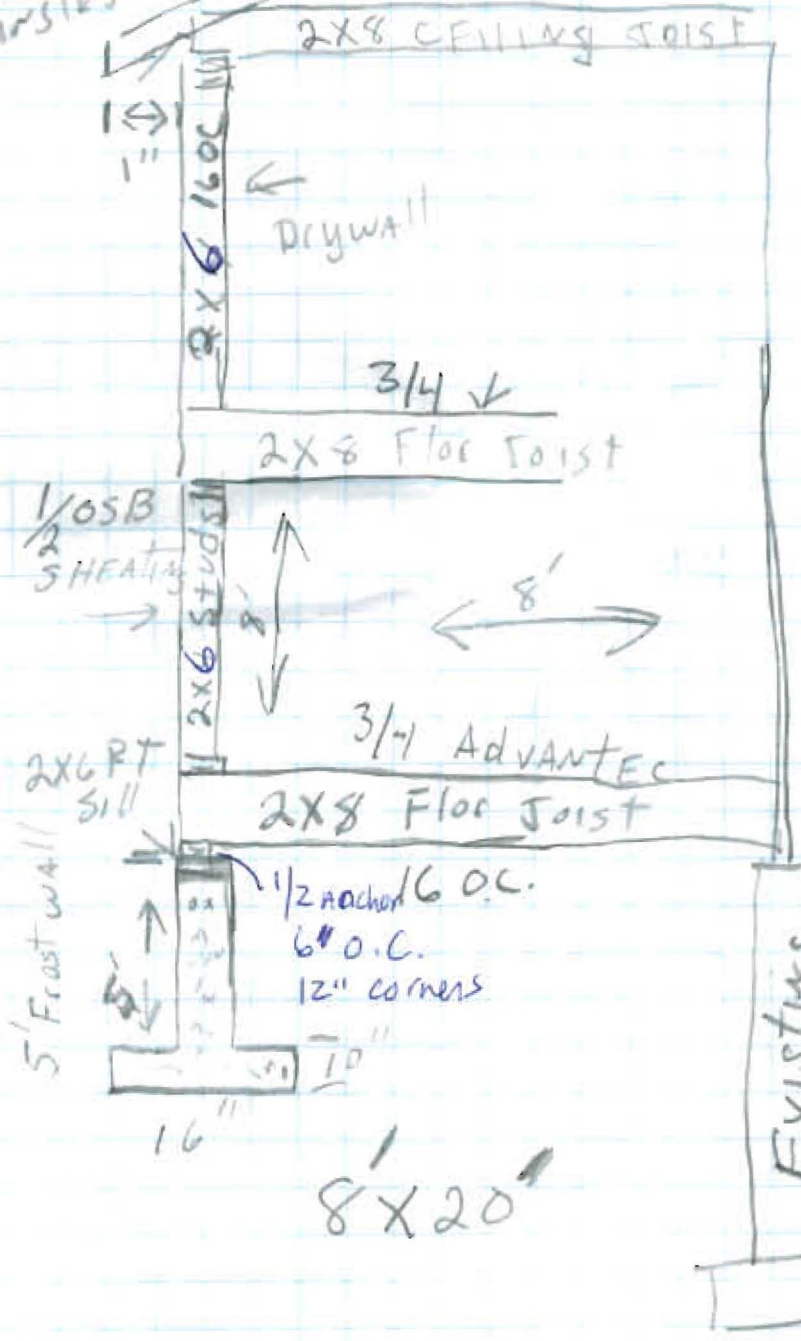
100



30 YEAR SHINGLES



Top of Existing Foundation



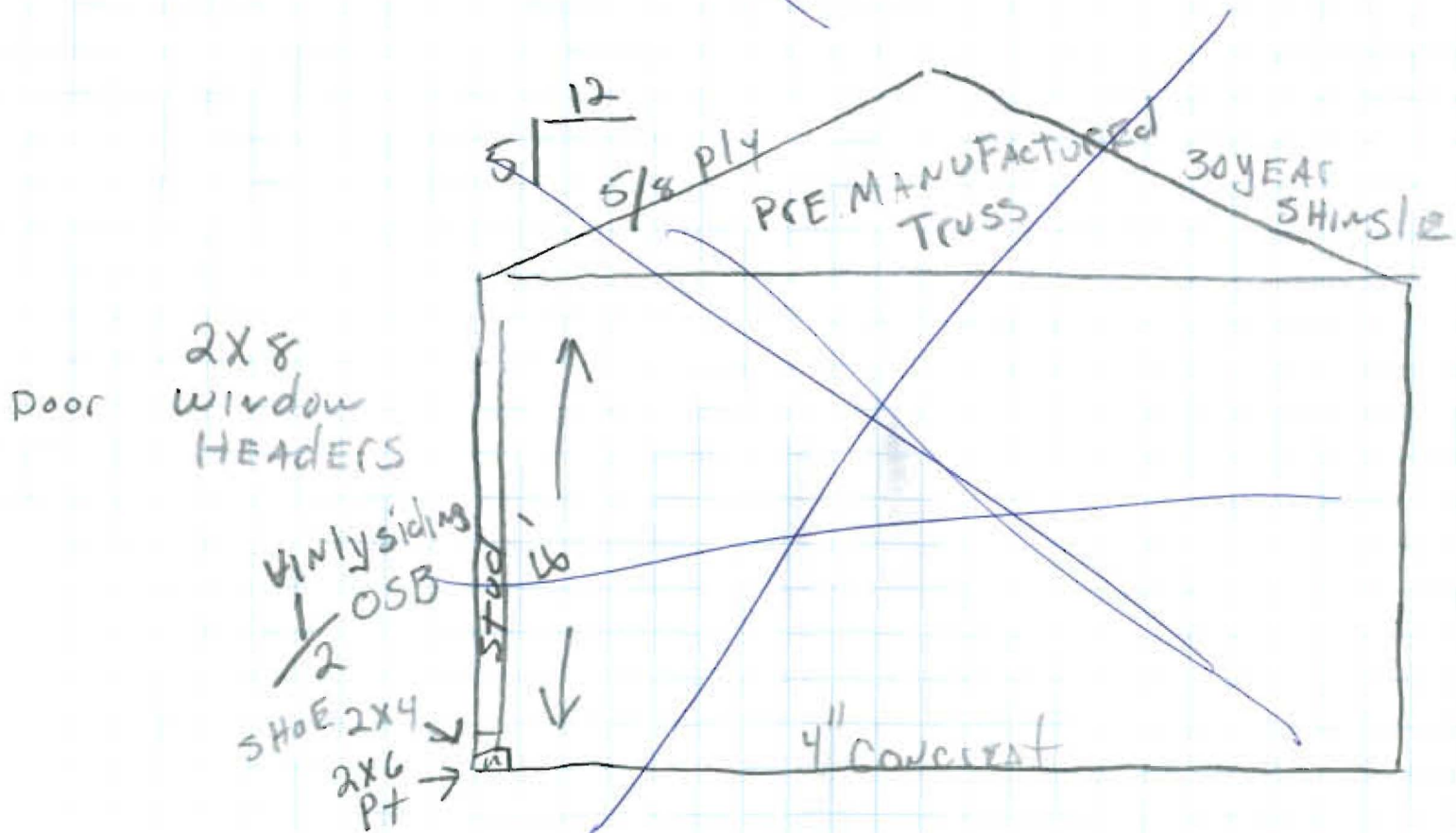
EXISTING

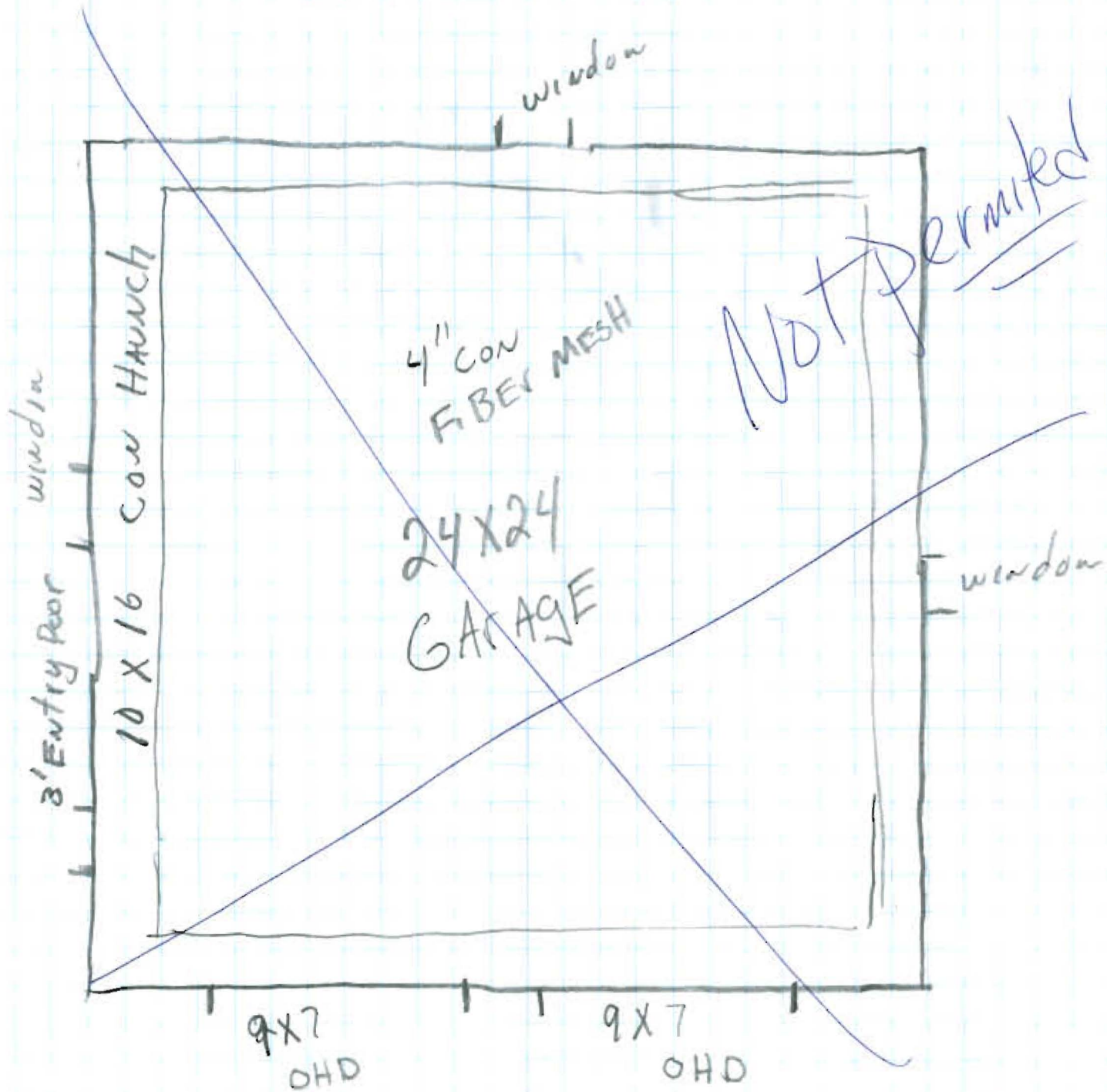
access through into crawl space

EXISTING

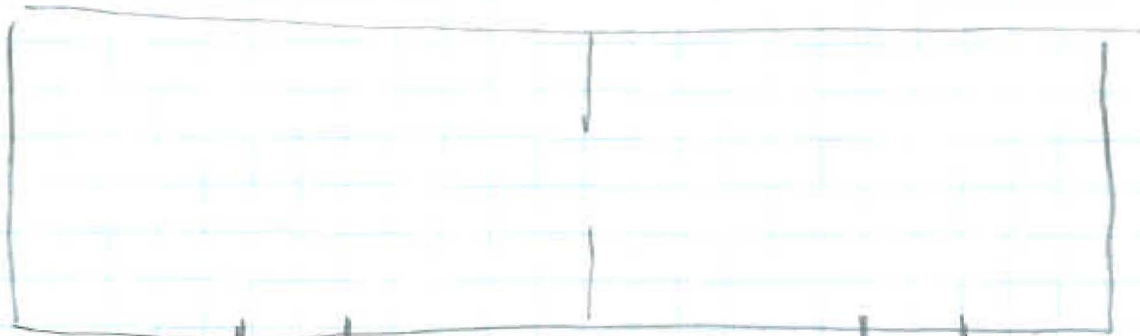
8'x20'

No Garage Permitted



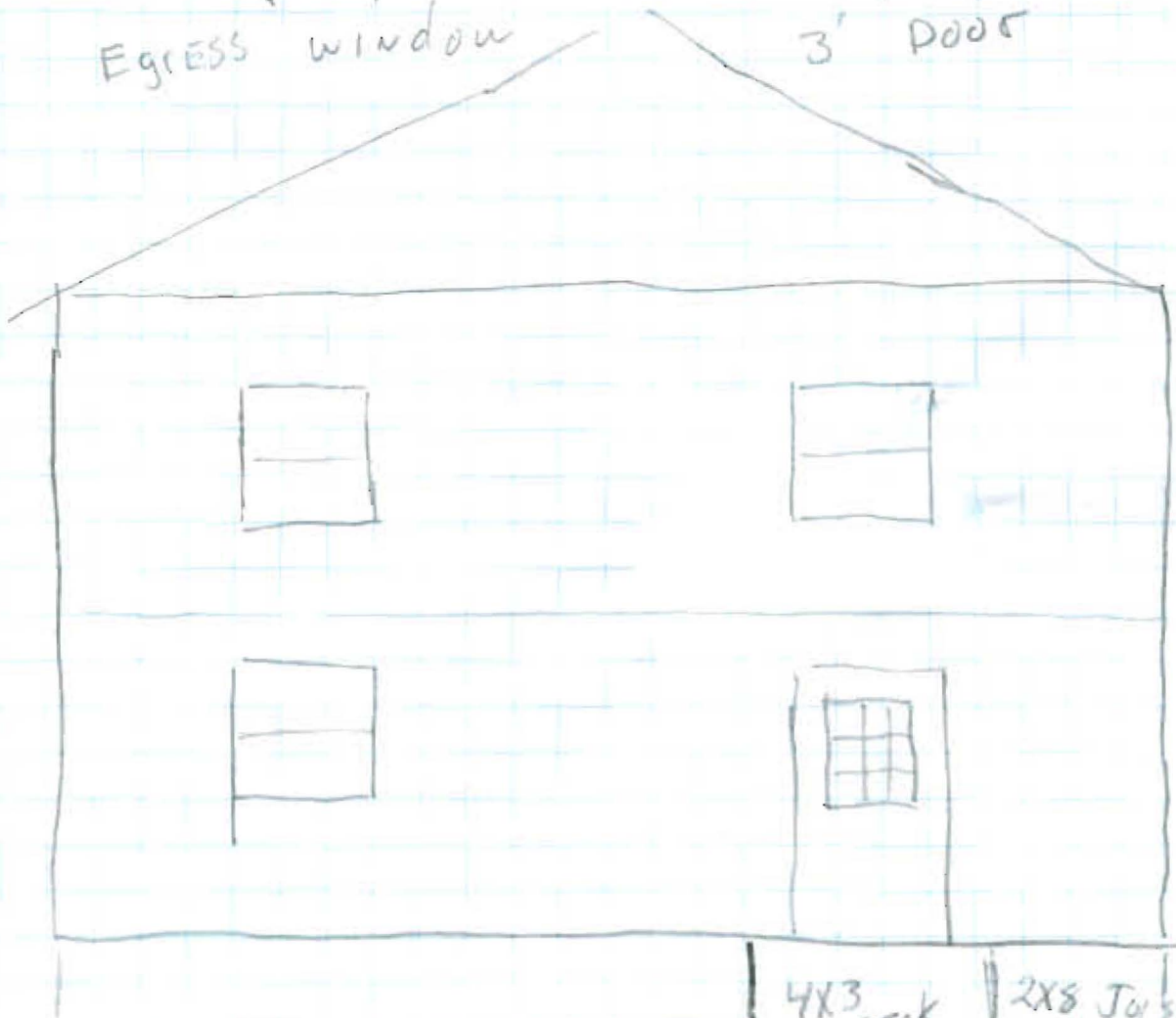


EX



Egress window

3' Door



< 4" space  
36" HT

7<sup>3</sup>/<sub>4</sub> max 10" net tread  
w/riser  
attached handrail w/returns

4x3 DECK  
7x11 STAIRS  
2x8 Joist  
5/4 DECKING  
4x4 POSTS  
2x4 RAILS  
2x2 BALUSTERS





**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

April 19 2005

Received from Sharon Kiley

Location of Work 33-39 10 Presumpscot St

Cost of Construction \$ 23,000.00

Permit Fee \$ 228.00

Building (IL)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 167 E 009

Check #: 5569

Total Collected \$ 228.00

# THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

*Donna*  
WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy