

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 14 Galvin Street		Owner: Edward Leadbetter		Phone:	Permit 000912
Owner Address: SAA		Lessee/Buyer's Name:		Phone:	
Contractor Name: ** Tim Kane		Address: *** 51 Longfellow Dr Cape Elizabeth ME 04107		BusinessName:	
Past Use: single family		Proposed Use: same		COST OF WORK: \$ 25,000	PERMIT FEE: \$ 174.00
Proposed Project Description: xxxxxxxxxxx 12x16 Addition		<input type="checkbox"/> Approved <input type="checkbox"/> Denied FIRE DEPT.		INSPECTION: Use Group: <i>9-3</i> Type: <i>53</i> <i>BOC 997</i> Signature: <i>[Signature]</i>	
		Signature: _____ Date: _____ PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Zone: <i>B-5</i> CBL: 166-G-009 Zoning Approval: <i>[Signature]</i> 01/18/00 Special Zone or Reviews: <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>	
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature: _____ Date: _____	
Permit Taken By: K		Date Applied For: Aug 15 2000 K			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

Aug 15 2000

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

Zoning Appeal

Variance
 Miscellaneous
 Conditional Use
 Interpretation
 Approved
 Denied

Historic Preservation

Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:

Approved
 Approved with Conditions
 Denied

Date: *[Signature]*

PERMIT ISSUED WITH REQUIREMENTS
CEO DISTRICT 2

COMMENTS

9/21/00 Footings OK Setbacks OK (D)
11/21/00 Close In OK (D)

Inspection Record		Date
Type		
Foundation:	_____	_____
Framing:	_____	_____
Plumbing:	_____	_____
Final:	_____	_____
Other:	_____	_____

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

**Building or Use Permit Pre-Application
Additions/Alterations/Accessory Structures
To Detached Single Family Dwelling**

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: 14 Galvin St

Tax Assessor's Chart, Block & Lot Number Chart# <u>166</u> Block# <u>G</u> Lot# <u>009</u>	Owner: <u>EDWARD LEADBETTER</u>	Telephone#
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Owner's Address: <u>14 GALVIN ST.</u>	Lessee/Buyer's Name (If Applicable)	Cost Of Work: <u>\$25,000</u>	Fee <u>\$174.00</u>
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Proposed Project Description:(Please be as specific as possible)
12 X 16 Addition 1 story w/ 6' x 8' breezeway

Contractor's Name, Address & Telephone <u>Timothy KAAR 51 Lorcellow DR. CAPE ELIZABETH ME. 04107</u>	799-4918	Rec'd By: <u>(K)</u>
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Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1996 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1996 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

You must Include the following with you application:

- 1) A Copy of Your Deed or Purchase and Sale Agreement
- 2) A Copy of your Construction Contract, if available
- 3) A Plot Plan (Sample Attached)

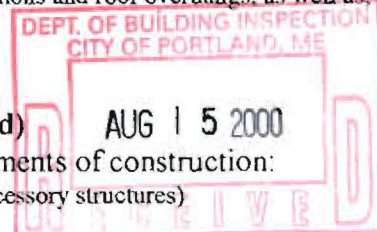
If there is expansion to the structure, a complete plot plan (Site Plan) must include:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and required zoning district setbacks

4) Building Plans (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and dampproofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.



Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>7/19/00</u>
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Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

BUILDING PERMIT REPORT

DATE: 16 August 2000 ADDRESS: 14 Galun ST. CBL: 166-G-009

REASON FOR PERMIT: 12' x 16' one story addition

BUILDING OWNER: Edward Leadbetter

PERMIT APPLICANT: CONTRACTOR Tim Kane

USE GROUP: R-3 CONSTRUCTION TYPE: 50 CONSTRUCTION COST: \$25,000 PERMIT FEES: \$124.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *4, *11, *13, *26, *22, *29, *33, *34

- 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained.
3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve.
4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts.
5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
6. Precaution must be taken to protect concrete from freezing. Section 1908.0
7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed.
8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating.
9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code.
10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level.
12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue.
16. Each apartment shall have access to two (2) separate, remote and approved means of egress.
17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's.
18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

8/15

19. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the provisions of the City's Building Code Chapter 9, Section 920.3.2 (BOCA National Building Code/1999), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

20. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type. (Section 921.0)

21. The Fire Alarm System shall be installed and maintained to NFPA #72 Standard.

22. The Sprinkler System shall be installed and maintained to NFPA #13 Standard.

23. All exit signs, lights and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023.0 & 1024.0 of the City's Building Code. (The BOCA National Building Code/1999)

24. Section 25 - 135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".

25. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification the Division of Inspection Services.

*26. Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 and 1211.0 of the City's Building Code. (Crawl spaces & attics).

*27. All electrical, plumbing and HVAC permits must be obtained by Master Licensed holders of their trade. No closing in of walls until all electrical (min. 72 hours notice) and plumbing inspections have been done.

28. All requirements must be met before a final Certificate of Occupancy is issued.

*29. All building elements shall meet the fastening schedule as per Table 2305.2 of the City's Building Code (The BOCA National Building Code/1996).

30. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical code (The BOCA National Mechanical Code/1993). (Chapter M-16) *to remain 1 family - This is not an appx*

31. Please read and implement the attached Land Use Zoning report requirements. *to increase the number of units,*

32. Boring, cutting and notching shall be done in accordance with Sections 2305.3, 2305.3.1, 2305.4.4 and 2305.5.1 of the City's Building Code.

33. Bridging shall comply with Section 2305.16.

*34. Glass and glazing shall meet the requirements of Chapter 24 of the building code. (Safety Glazing Section 2406.0)

35. All signage, shall be done in accordance with Section 3102.0 signs of the City's Building Code, (The BOCA National Building Code/1999).

[Signature]
 P. Sanchez-Holmes, Building Inspector
 cc: Lt. McLaughlin, PFD
 Marge Schmuckal, Zoning Administrator

PSH 1/26/00

****This permit is herewith issued, on the basis of plans submitted and conditions placed on these plans, any deviations shall require a separate approval.**

*****THIS PERMIT HAS BEEN ISSUED WITH THE UNDERSTANDING THAT ALL THE CONDITIONS OF THE APPROVAL SHALL BE COMPLETED. THEREFORE, BEFORE THE WORK IS COMPLETED A REVISED PLAN OR STATEMENT FROM THE PERMIT HOLDER SHALL BE SUBMITTED TO THIS OFFICE SHOWING OR EXPLAINING THAT THE CONDITIONS HAVE BEEN MET. IF THIS REQUIREMENT IS NOT RECEIVED YOUR CERTIFICATE OF OCCUPANCY SHALL BE WITHHELD.**

******ALL PLANS THAT REQUIRE A PROFESSIONAL DESIGNER'S SEAL, (AS PER SECTION 114.0 OF THE BUILDING CODE) SHALL ALSO BE PRESENTED TO THIS DIVISION ON AUTO CAD LT. 2000, OR EQUIVALENT.**

*******CERTIFICATE OF OCCUPANCY FEE \$50.00**

General Notes:

- * New addition held min. 8'-6" from property line side . Verify dimension prior to construction
- * All construction to follow BOCA/ NFPA/ State and local building codes.
- * Verify all dimensions and locations with owner prior to construction.

Foundations

- * #4 rebar doweled into existing foundation wall w/ 8" exposure from existing wall set w/ Embicore non-shrink grout or equal @ frost wall/ existing foundation wall connection
- * All footings on min. 2400psi undisturbed soil min. 48" below grade.
- * Provide either 2x4 continuous keyway or #4 rebar with min. 8" exposure @48"OC
- * All foundation walls to be 8" w/ 2-#4 rebar continuous reinforcing and 2x6 pt sill with sill sealer atop (typ.)
- * Hold grade down min. 4" below crawlspace vents.
- * Provide 4" perforated PVC perimeter drainage pipes on 4" crushed stone base at interior and exterior footing perimeter, outlook drainage min. 20' from main house away from street.

Framing

- * Truss Joist TJI/PRO 120TS @ 16" O.C. w/ bracing per manuf. requirements and 8" blanket insul. w/ 4 mil poly VB @ underside.
- * Solid bridging at all cantilever/ bearing wall intersections and approved timberstrand or equal perimeter board..
- * Tyvek weatherbreak or equal at exterior shell.
- * Provide 3/4" T&G plywood subfloor glued and nailed.
- * Locate and provide access panel to new addition crawlspace. verify local with owner prior to installation.
- * 2x6 Collar Ties @ tray ceiling not to exceed 1/3 height of rafter space. Verify ceiling height prior to construction w/ 12" R-38 blanket insul. atop.
- * 2x10 rafters @ 16" OC w/ 48" rafter vents at all spacing for air flow.

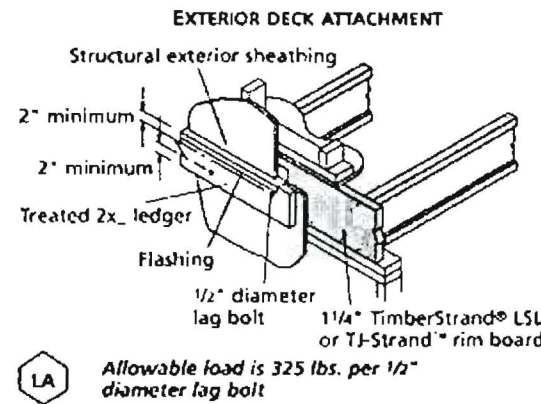
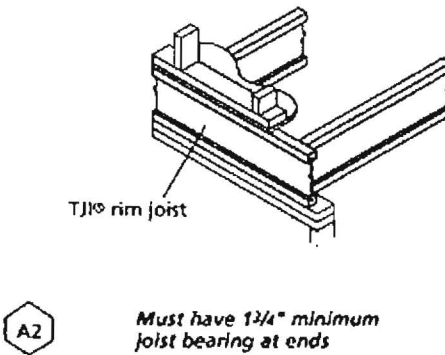
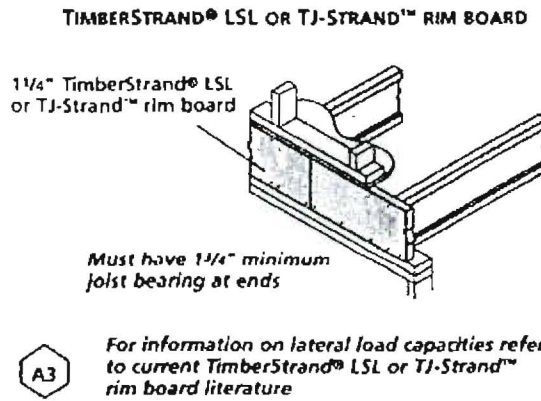
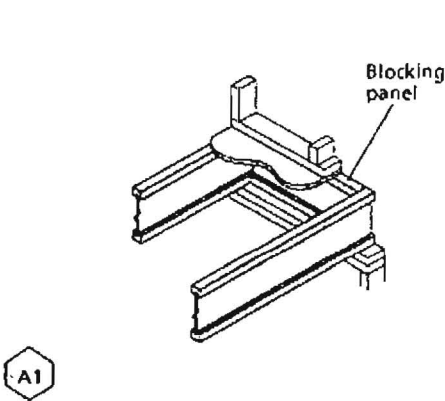
Roofing

- * Roof sheathing to have hurricane clips at 48"OC (typ.)
- * Min. 36" bituthene weathershield at all valleys and soffit areas w/ 15# felt and 30# starter strip atop.
- * Typical #235 asphalt shingles through-out, match existing roof color.
- * Continuous dripedge at all soffit and gable end areas.
- * Core-A-Vent roof vent or equal at all ridges.

Finishes

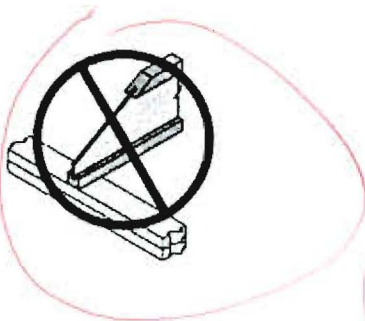
- * Exterior vinyl siding color and style deter. by owner.
- * Interior floor finishes and trim materials deter. by owner
- * 1/2" GWB through-out addition
- * Match all existing trim details on new addition with existing structure. Verify with owner prior to construction.

End Bearing Details



The Following Conditions are Not Permitted

DO NOT bevel cut joist beyond inside face of wall.

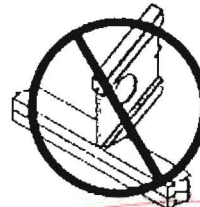


DO NOT use solid-sawn dimension lumber for rim board or blocking



Dimension lumber may shrink after installation.

DO NOT cut holes too close to support



Refer to hole charts for minimum distance from support

General Notes

Minimum Bearing Length

- At joist ends: 1 3/4".
- At intermediate supports: 3 1/2".

Blocking Panels, Rim Boards or Rim Joists

- Vertical load transfer at bearings must be checked for each application. Capacities of rim details shown are as follows:
 - TJI® blocking.....2000 plf
 - TJI® rim Joist.....2000 plf

- TimberStrand[®] LSL-1 1/4".....4250 plf
- TJ-Strand[™] rim board.....4250 plf
- Bracing complying with the code shall be carried to the foundation.

Nailing Requirements

- TJI[®] joists at bearings: 2-10d (3") box or 12d (3 1/4") box nails (1 each side), 1 1/2" minimum from end.
- Blocking panels, rim joist or rim board to bearing plate:
 - TJI[®] blocking panels or rim joist: 10d (3") box nails at 6" on-center.
 - TimberStrand[®] LSL or TJ-Strand[™] rim board: Toenail with 10d (3") box nails at 6" on-center or 16d (3 1/2") box nails at 12" on-center.
 - Shear transfer: Connections equivalent to decking nail schedule.
- Rim board, rim joist or closure to TJI[®] joist:
 - 1 1/4" width or less: 2-10d (3") box nails, one each at top and bottom flange.
 - TJI[®]/Pro[™] 120TS rim joist: 2-10d (3") box nails, one each at top and bottom flange.
 - TJI[®]/Pro[™] 350 rim joist: 2-16d (3 1/4") box nails, one each at top and bottom flange.
 - TJI[®]/Pro[™] 550 rim joist: Toenail joist to rim joist with 1-10d (3") box nail each side of joist top flange.
- 2x4 minimum squash blocks: 2-10d (3") box nails, one each at top and bottom flange.

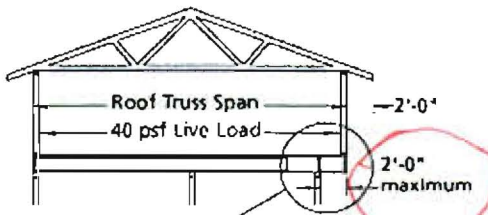
Web Stiffener Requirements

- Required if the sides of the hanger do not laterally support the TJI[®] joist top flange or per framing connector footnotes.
- TJI[®]/Pro[™] 250, 350 and 550 joists: Required per footnote 1 under Floor Span Tables.

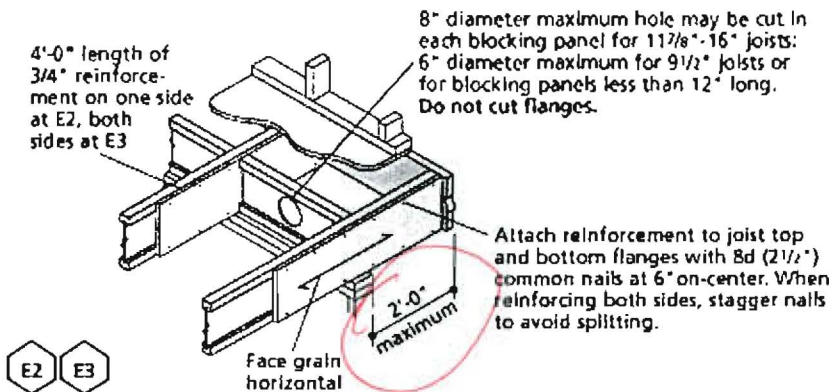
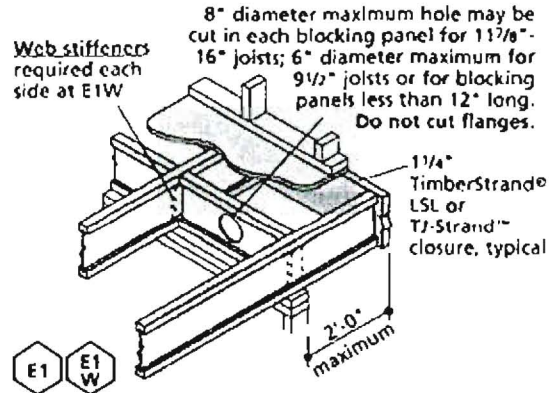


Non-Brick Ledge Cantilever Details

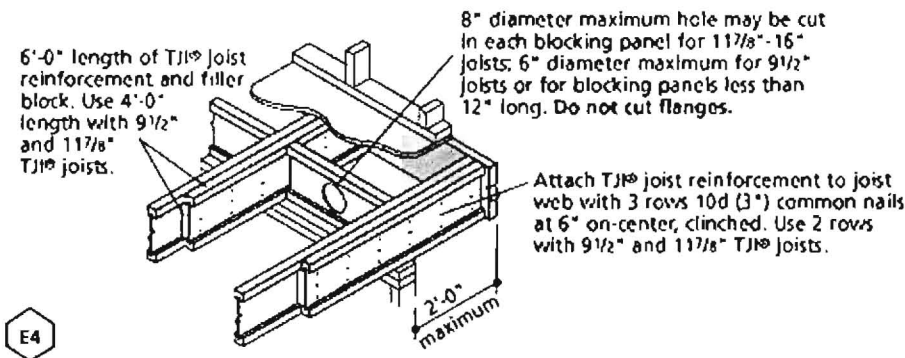
LOAD BEARING CANTILEVER



TJI® Joists may be cantilevered up to a maximum of 2'-0" when supporting roof load, but may require reinforcement. Consult load bearing cantilever tables to determine required reinforcement. See cantilever details for methods of reinforcement.

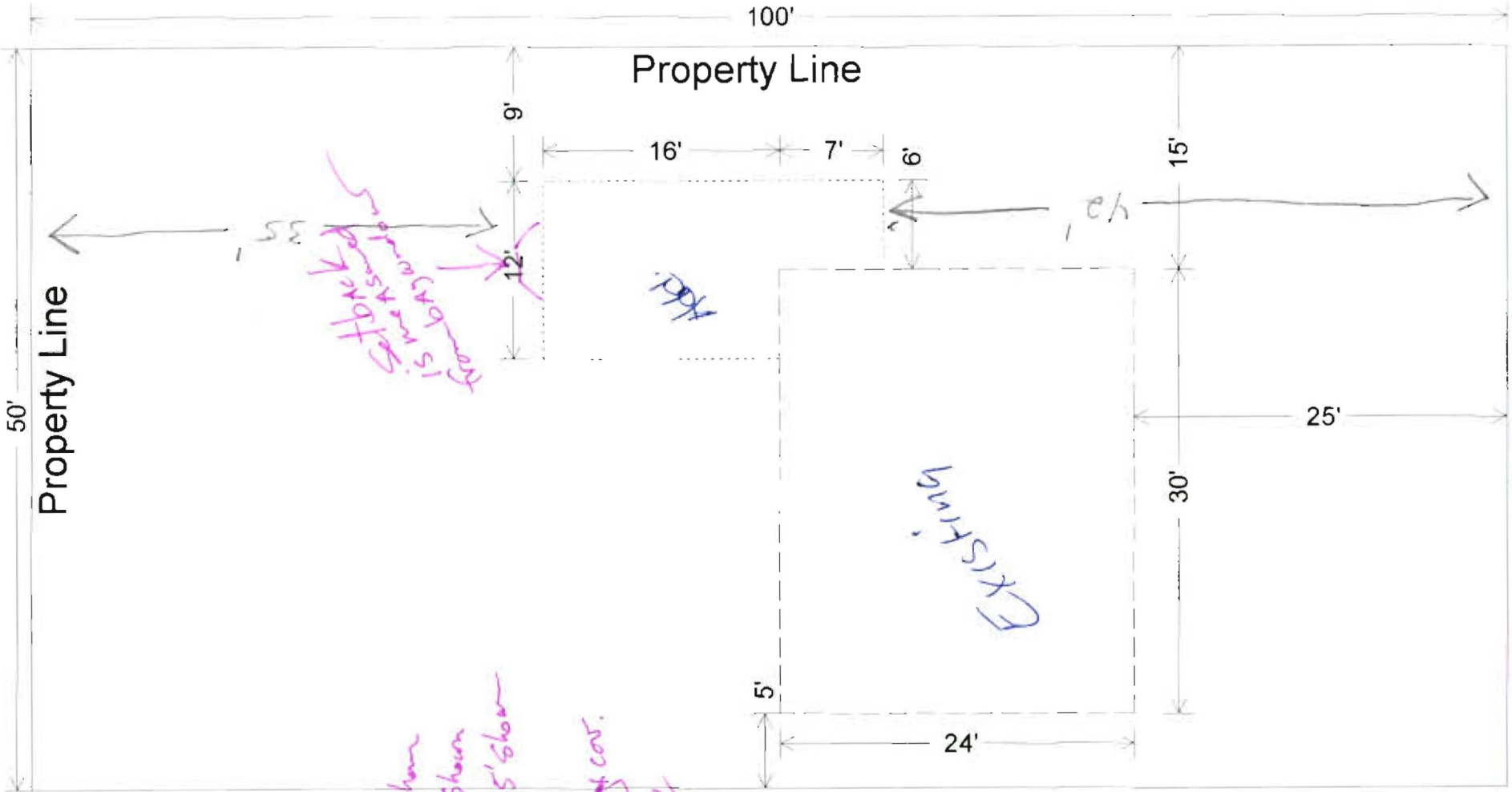


TJI®/PRO™ 120TS, 150, 250 AND 350 JOISTS ONLY



TJI® Joists are Intended for Dry-Use, Non-Treated Applications

Brick Ledge Cantilever Details



to be added
 Same as shown
 is to be added
 from

R5 Zone

REAR: 20' req - 35' shown
 FRONT: 20' req - 42' shown
 SIDES: 0' req - 9' & 35' shown

$5000 \text{ sq ft} \times 40\% = 2000 \text{ sq ft cov.}$

$24 \times 30 = 720 \text{ sq ft}$
 $12 \times 14 = 192 \text{ sq ft}$
 $6 \times 7 = 42 \text{ sq ft}$

954 sq ft

Ed Leadbetter
 # 14 Galvin St.
 Portland, Maine

Legend

Existing Home

Proposed Addition

Property Lines

N.T.S.