

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

## BUILDING INSPECTION

Permit Number: 041516

This is to certify that Harvey G Scott & /Owner  
has permission to single family home w/dormer and new kitchen renovate set & bath  
AT 18 Galvin St 166 G008001

provided that the person or persons who apply for and accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Inspection must be given and when permission procured before this building or part thereof is occupied or otherwise closed-in. **OUR NO. REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*[Signature]*  
11/2/04  
Director, Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

# City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1516	Issue Date: NOV 17 2004	CBL: 166 G008001
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Location of Construction: 18 Galvin St	Owner Name: Harvey G Scott &	Owner Address: 18 Galvin St	Phone: 807-1666
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: R-5

Past Use: single family home	Proposed Use: single family home w/dormer and new 16'x <sup>32'</sup> deck- renovate closet & bath	Permit Fee: \$66.00	Cost of Work: \$4,700.00	CEO District: 4
Proposed Project Description: single family home w/dormer and new 16'x <sup>32'</sup> deck- renovate closet & bath		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R-3 Type: SB IRC 2003	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: dmm	Date Applied For: 10/07/2004	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 11/2/04	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 11/2/04
	14-436 B 80% Expansion Only used		

## CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

12-17-04

Checked

framing No

Electric or

Plumbing being  
done yet mm

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1516	Date Applied For: 10/07/2004	CBL: 166 G008001
-----------------------	---------------------------------	---------------------

Location of Construction: 18 Galvin St	Owner Name: Harvey G Scott &	Owner Address: 18 Galvin St	Phone: ( ) 807-1666
Business Name:	Contractor Name: Owner	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: single family home w/dormer and new 16'x40" deck-renovate closet & bath	Proposed Project Description: single family home w/dormer and new 16'x40" deck-renovate closet & bath
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<b>Dept:</b> Zoning	<b>Status:</b> Approved	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 11/02/2004
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Building	<b>Status:</b> Approved with Conditions	<b>Reviewer:</b> Tammy Munson	<b>Approval Date:</b> 11/02/2004
<b>Note:</b>			<b>Ok to Issue:</b> <input checked="" type="checkbox"/>
1) As discussed, collar ties must be 2"x6"-s 16"oc spacing.			
2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			

<b>Comments:</b>
10/26/04-tmm: spoke w/owner - need 7'-0" headroom in 50% of room. need more collar ties, 2"x8"-s can only cantilever 34" max.
11/2/04-tmm: rec'd new plans - ok to issue





# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 18 Galun St, Portland, ME 04103

Total Square Footage of Proposed Structure 208 Square Footage of Lot 5500

Tax Assessor's Chart, Block & Lot  
Chart# 166 Block# G1008001 Lot#

Owner: G Scott Harvey & Mariann Caine Telephone: 207 807-1666

Lessee/Buyer's Name (If Applicable)

Applicant name, address & telephone:

Cost Of Work: \$ 4700

N/A

Same

Fee: \$

Current Specific use: Closet & bathroom

Proposed Specific use: Closet & bathroom

Project description: Add steel dormer to back roof. The new structure will be 13' x 16'. In addition to the dormer, we'd like to install a 16' x 32" cantilever deck off the new dormer. The closet & bathroom are existing rooms & no new electrical or plumbing is planned.

Contractor's name, address & telephone: Self

Who should we contact when the permit is ready: myself

Mailing address: 18 Galun St  
Portland, me 04103

Phone: 867-1666

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

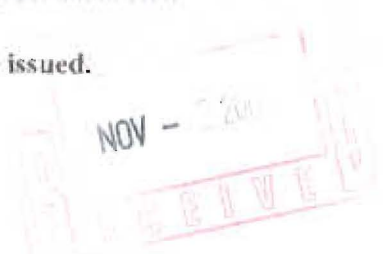
I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: [Signature]

Date: 10/28/14

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.





# Residential Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>18 Galvin St, Portland, ME 04103</u>		
Total Square Footage of Proposed Structure <u>208</u>	Square Footage of Lot <u>5500</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>166</u> Block# <u>G008001</u> Lot#	Owner: <u>G Scott Harvey &amp; Mariam Caine</u>	Telephone: <u>207 807-1666</u>
Lessee/Buyer's Name (If Applicable) <u>N/A</u>	Applicant name, address & telephone: <u>Same</u>	Cost Of Work: \$ <u>4700</u> Fee: \$ <u>606.00</u>
Current Specific use: <u>Closet &amp; bathroom -</u>		<u>Single Family</u>
Proposed Specific use: <u>Closet &amp; bathroom</u>		
Project description: <u>Add doghouse dormer to the back roof. The new structure will be 13x16'. In addition to the dormer, we'd like to install a 16' x 40" cantilever deck off the new dormer. The closet &amp; bathroom are existing rooms &amp; no new electrical or plumbing is planned.</u>		
Contractor's name, address & telephone: <u>Self</u>		
Who should we contact when the permit is ready: <u>G Scott Harvey</u>		
Mailing address: <u>18 Galvin St</u> <u>Portland, ME 04103</u>		Phone: <u>807-1666</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>10/4/11</u>
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Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

**This is not a Permit; you may not commence any work until the Permit is issued.**

4007 9 100



Delete Schedule Add End Print Permit Print C of O Print Insp Invoicing Taxes Due Close

Prmt Text93 23280 Constr Type New Num1 41516

Permit Nbr 04-1516 Location of Construction 18 Galvin St Appl. Date 10/07/2004  
Status Hold Permit Type Alterations - Dwellings Issue Date  
CBL 166 G008001 District Nbr 4 Estimated Cost \$4,700.00 Date Closed

Comment Date	Comment	Add	Delete	Save	Print
10/26/2004	spoke w/owner - need 7'-0" headroom in 50% of room, need more collar ties. 2"x8"-s can only cantilever 34" max.				
Name	tmm	Follow Up Date		Completed	<input type="checkbox"/>

CreatedBy dmm CreateDate 10/07/2004 ModBy tmm ModDate 10/26/2004





This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	166 G008001
<b>Location</b>	18 GALVIN ST
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	HARVEY G SCOTT & MARIANN CAINE JTS 18 GALVIN ST PORTLAND ME 04103
<b>Book/Page</b>	17380/024
<b>Legal</b>	166-G-8-12 GALVIN ST 18-20
	5500 SF

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$27,300	\$50,090	\$77,390

**Property Information**

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1940	Cape	1	1362	0.126	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
4	1	1	7	Full Finsh	Full

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
GARAGE-WD/CB	1	1944	12X20	C	F

**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
03/04/2002	LAND + BLDING	\$125,900	17380-024
09/30/1999	LAND + BLDING	\$86,000	15080-319
09/29/1999	LAND + BLDING		15080-318
08/05/1992	LAND + BLDING		10214-166

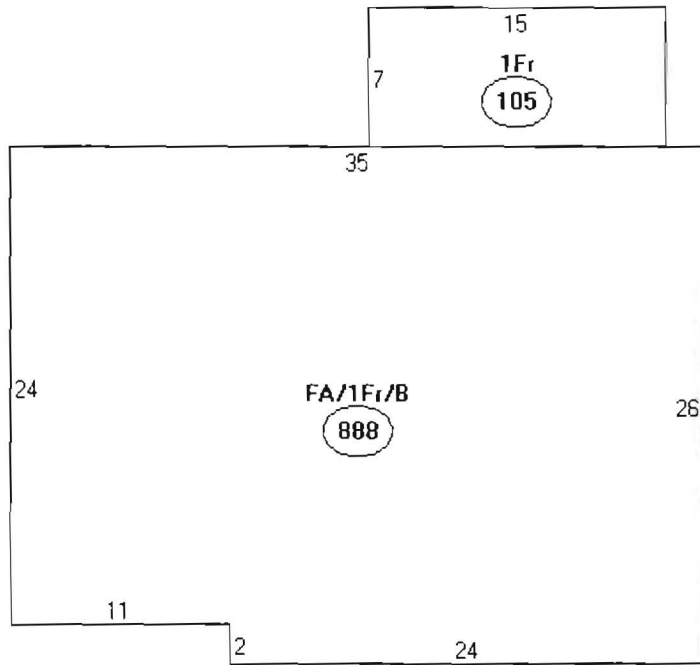
**Picture and Sketch**

[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

**New Search**

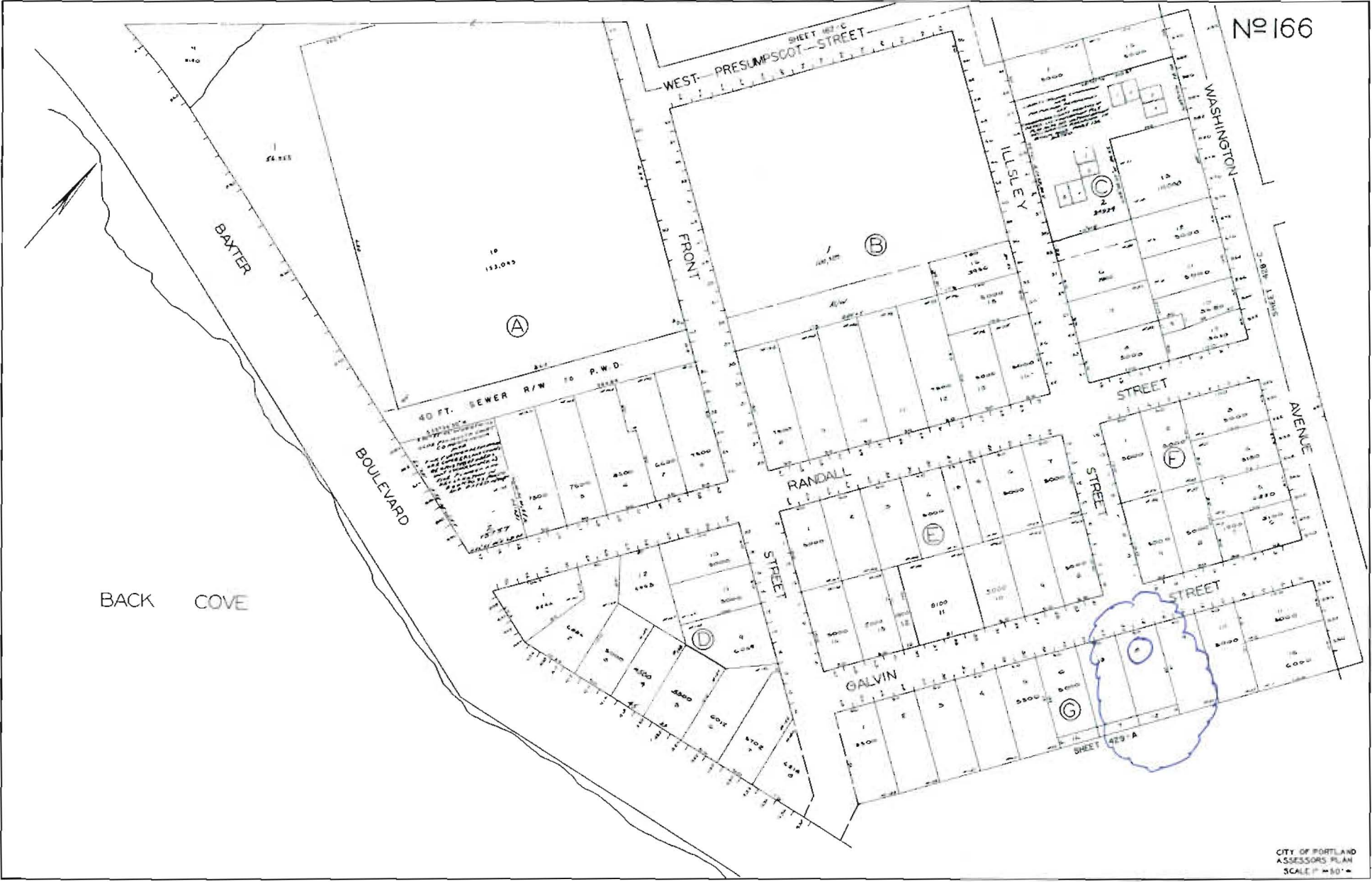


Descriptor/Area

A: FA/1Fr/B  
888 sqft

B: 1Fr  
105 sqft

*R-5*





# MORTGAGE LOAN INSPECTION

Cumberland Title Company

P.O. Box 4843

Portland, ME 04112

1-207-774-1773

1-207-774-2278 (fax)

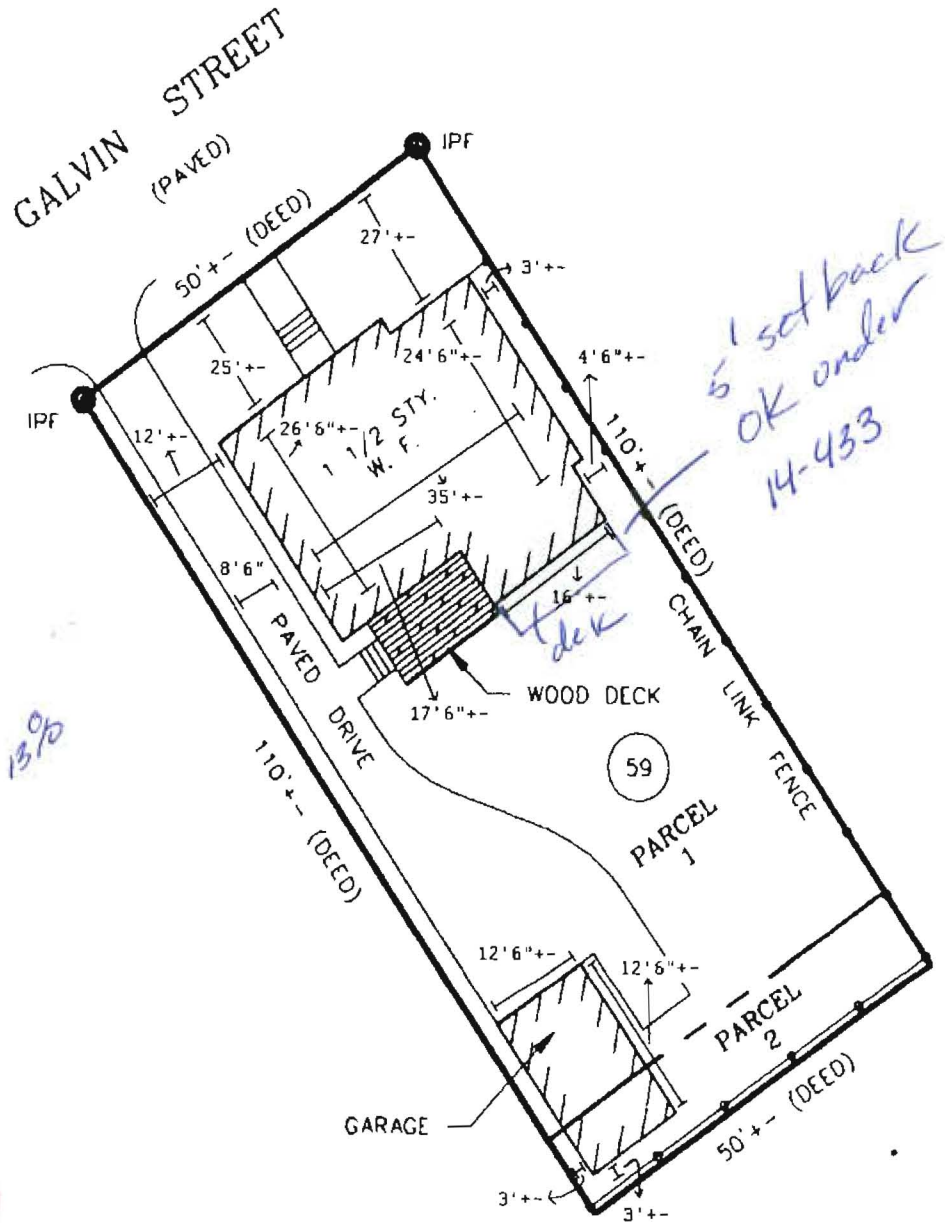
Borrower(s): G. Scott Harvey and  
Mariann Caine

St. No.: 18

Street: Galvin St.

Town: Portland, ME

Source Deed Bk. 15080 Pg. 319



*R-5  
14-436 B  
80% Expansion  
794 Allowed -  
105 used -  
only about 13%*

*5' set back  
OK under  
14-433*

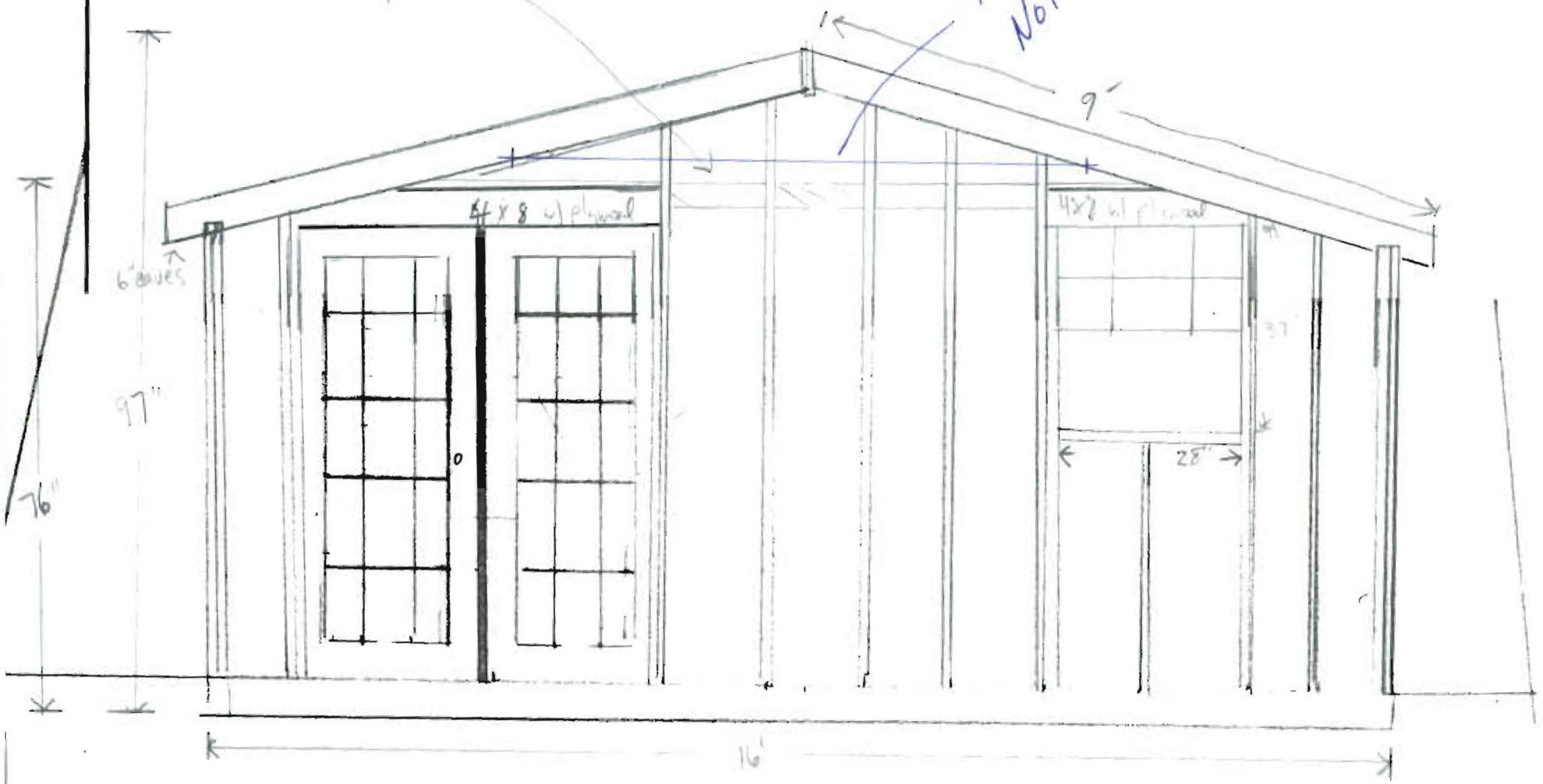
1002 9 100

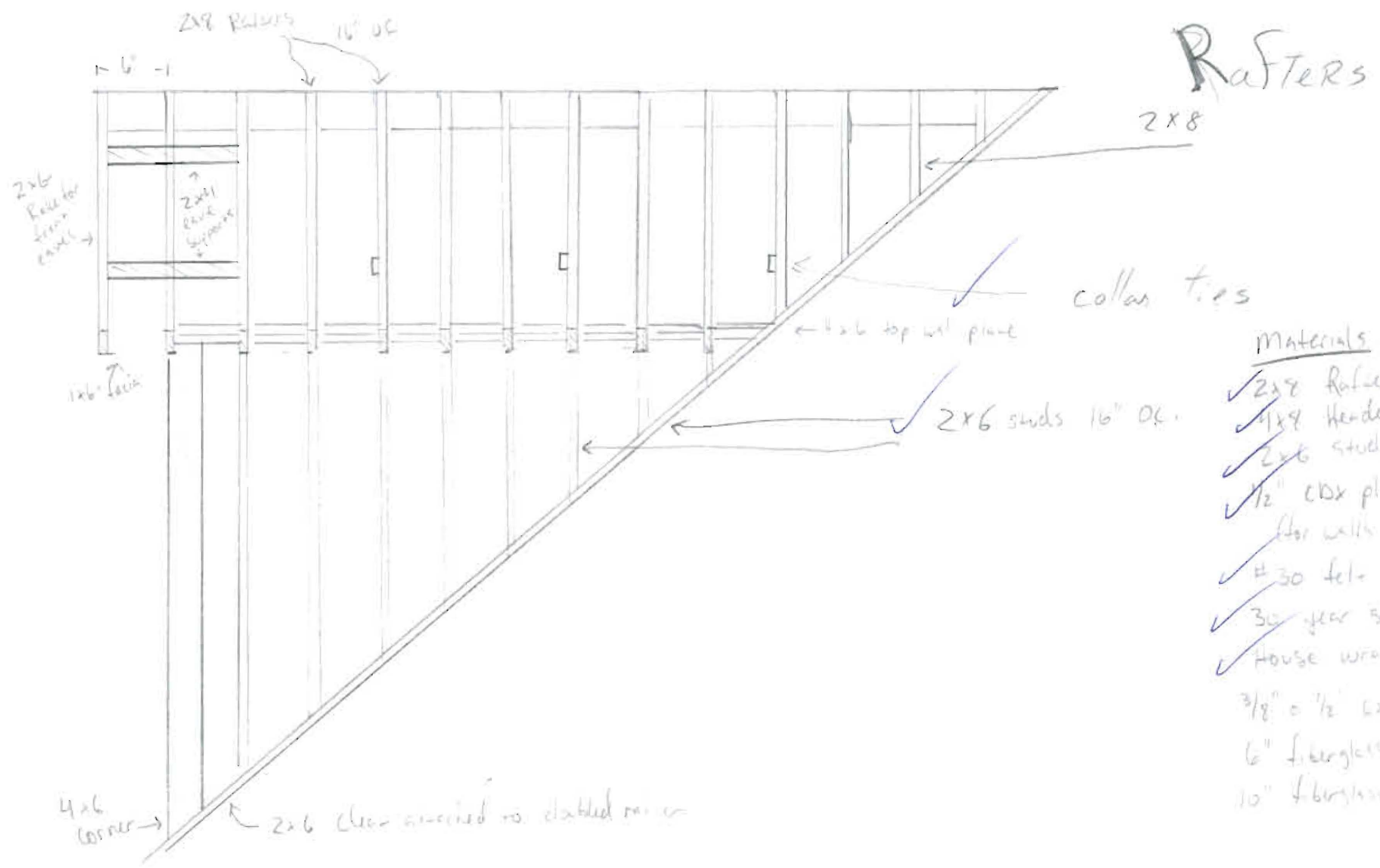
Harvey

- Ridge Board 2x10 ✓
- Rafters 2x8 16" oc ✓
- Studs 2x6 16" oc ✓
- Headers 4x8 with plywood glued in center ✓
- Collar ties every 48"

9 100

7' height -  
Not half





# Rafters

## Materials

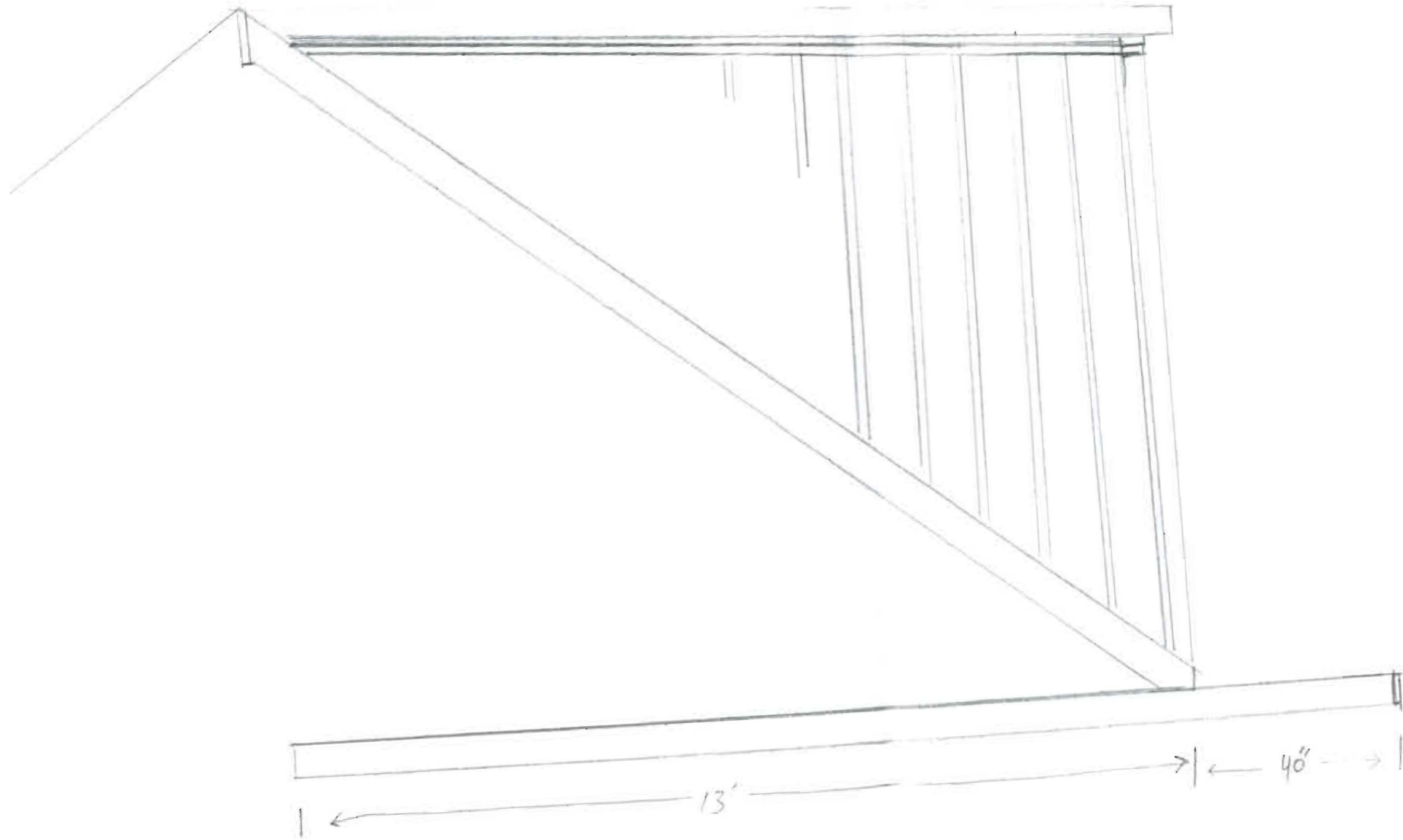
- ✓ 2x8 Rafters
- ✓ 1x4 Headers
- ✓ 2x6 studs
- ✓ 1/2" CDX plywood sheathing (for walls & roof deck)
- ✓ #30 felt over roof deck
- ✓ 30-year shingle (arch)
- ✓ House wrap
- 3/8" x 1/2" exterior insulation
- 6" fiberglass interior walls
- 10" fiberglass for ceilings

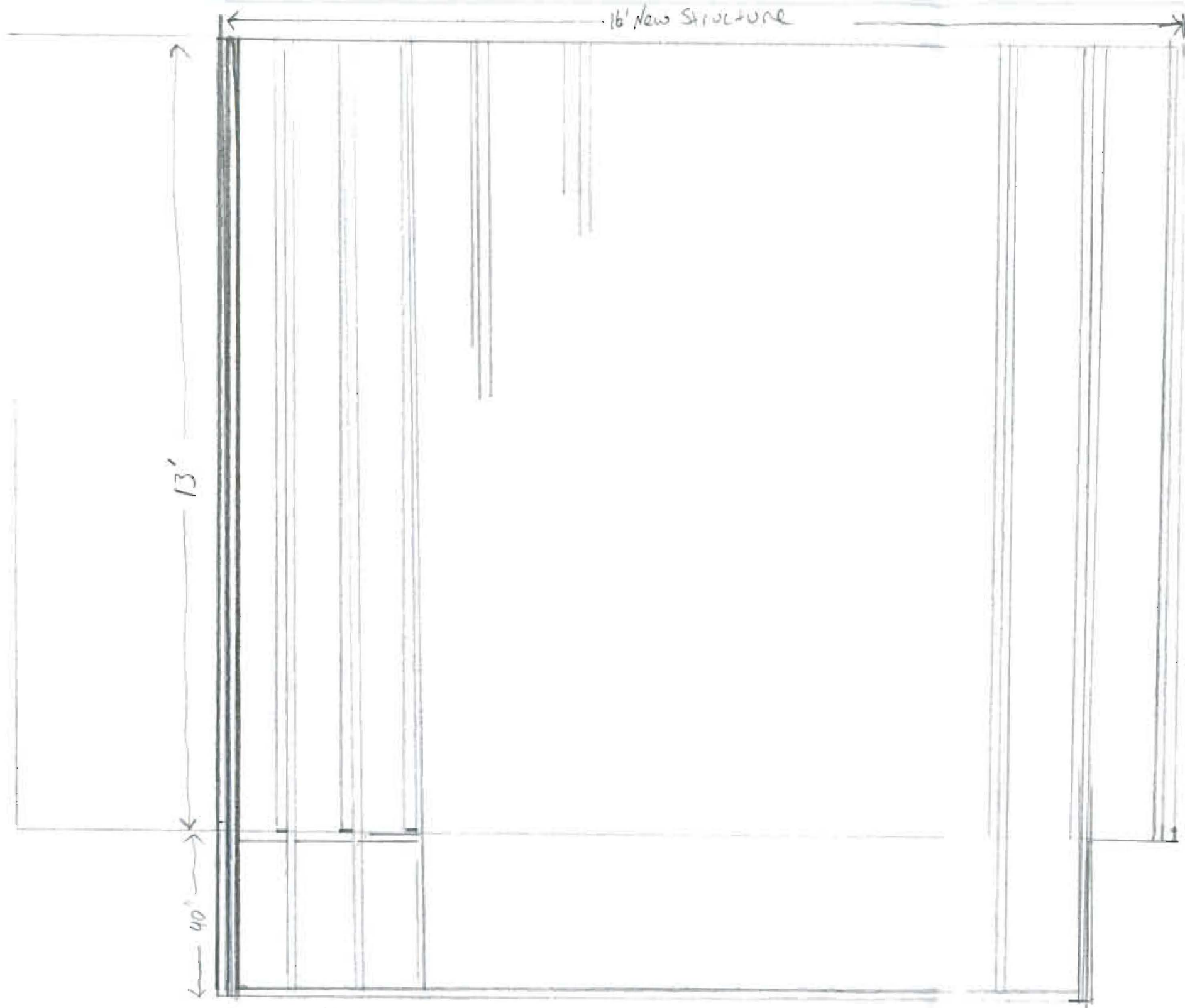




Harvey

2x8 Rafters 16" oc  
2x6 stud 16" oc





Joists 16" OC

(Inquire if 32" cantilever is sufficient) ← would cantilevering the deck every 32" be sufficient?

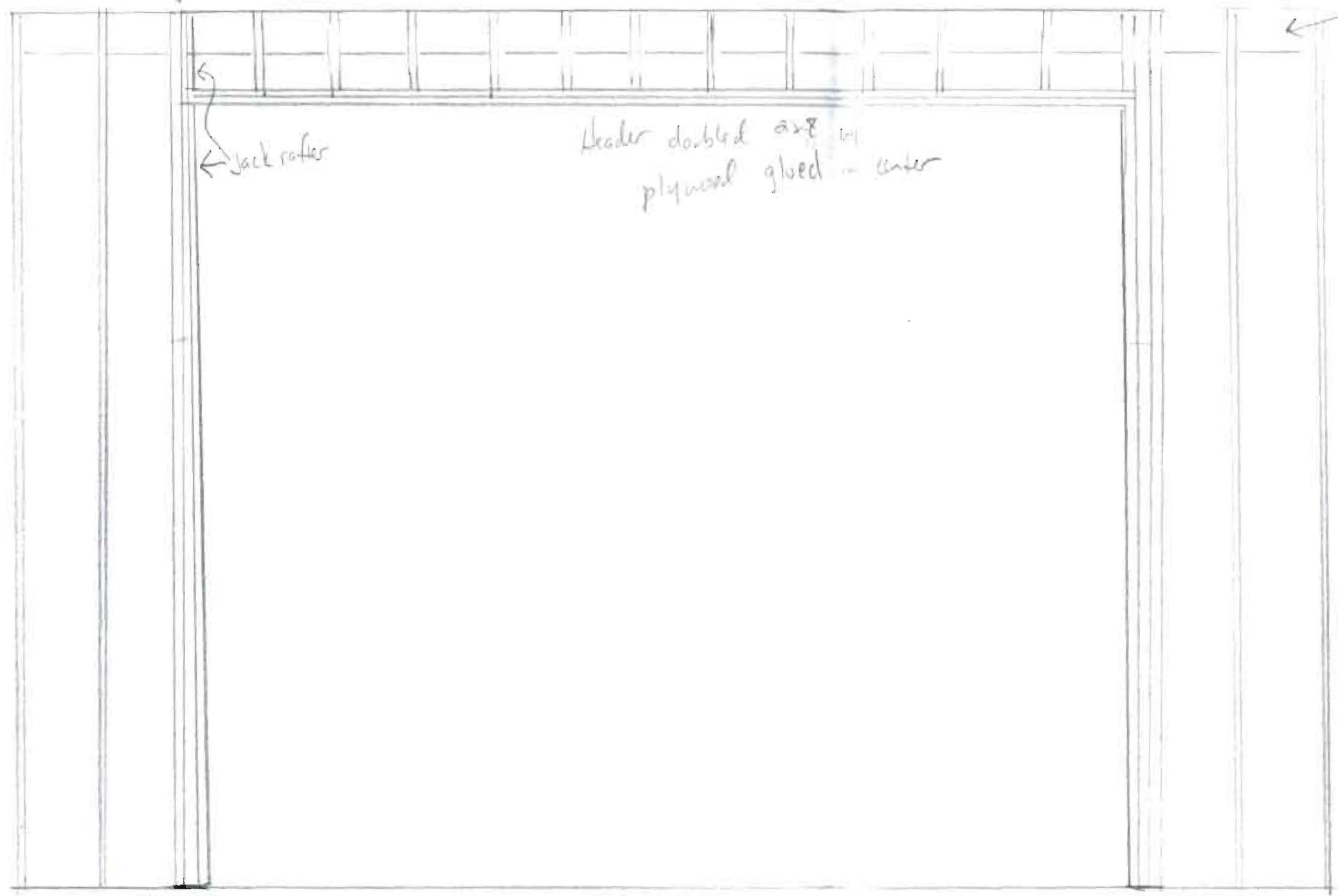
FLOOR PLAN 2x8's sistered to existing floor joist extending 40" for cantilever deck



Accey

rafters doubled w/  
plywood sheath in center

Ridge Board 2x10



16'

outside wall



Box Frame of existing roof prelin for New Construction



Ridge Board 2x10  
 Rafters 2x8 16" OC  
 studs 2x6 16" OC  
 Headers 4x8 with plywood glued in center

HARVEY  
 18 Galun St  
 Portland, ME 04103



CITY OF PORTLAND, MAINE  
 APPROVED CONSTRUCTION PLANS  
 NOV - 2 2004  
 SUPERSEDES ALL  
 PRIOR DATED PLANS

NOV - 2 2004  
 RECEIVED

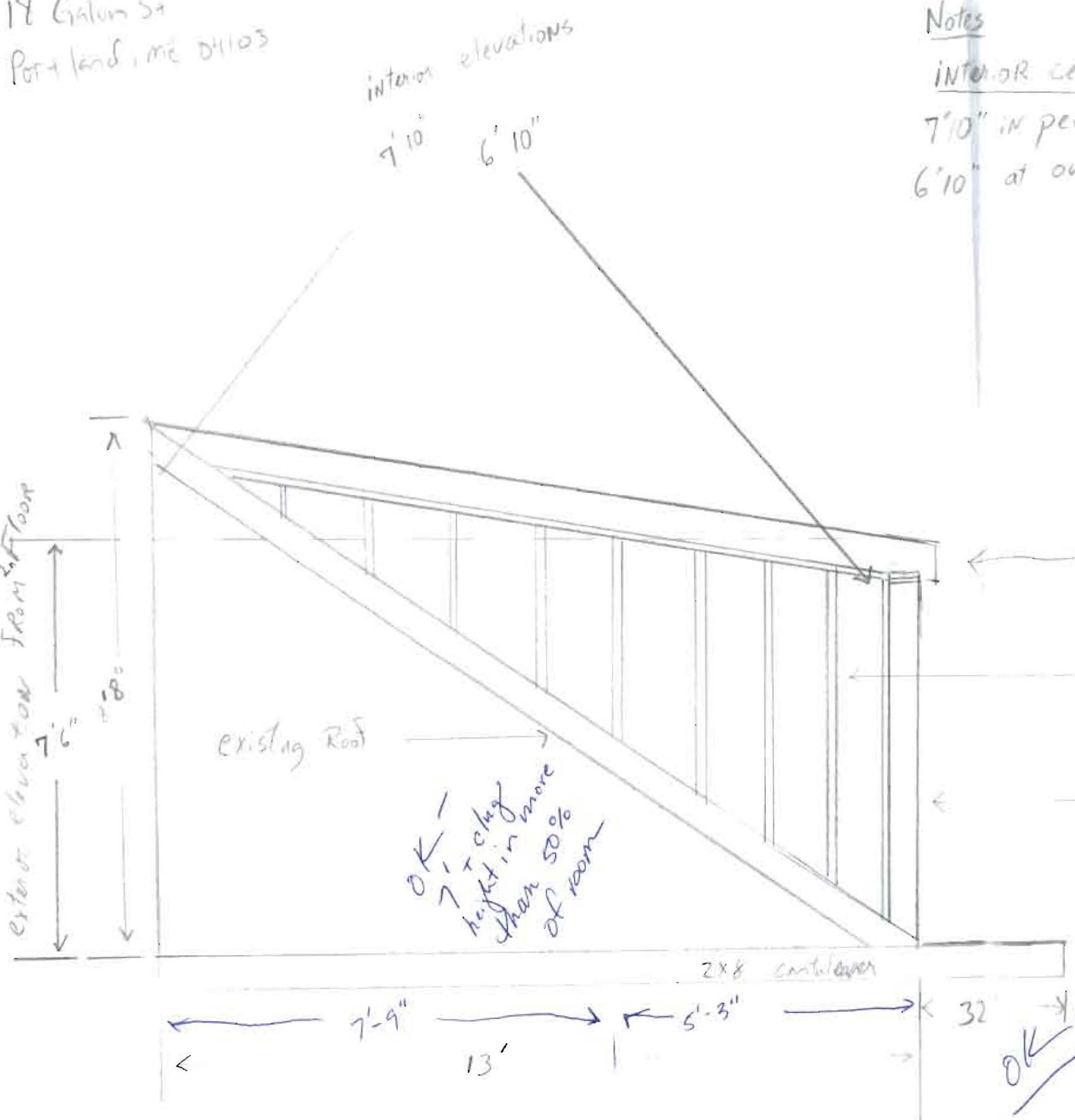
Harvey  
 18 Galum St  
 Portland, ME 04103

Notes  
 interior ceiling height  
 7'10" in peak area  
 6'10" at outside wall

NOV - 2 2004  
 RECEIVE

CITY OF PORTLAND, MAINE  
 APPROVED CONSTRUCTION PLANS  
 NOV - 2 2004  
 SUPERSEDES ALL  
 PRIOR DATED PLANS

CITY OF PORTLAND, MAINE  
 APPROVED CONSTRUCTION PLANS  
 NOV - 2 2004  
 SUPERSEDES ALL  
 PRIOR DATED PLANS



2x10 Rafters ✓

2x6 studs 16 oc

4x6 CORNERS

2x8 cantilever

Extend elevation from roof top  
 7'6"  
 7'8"

existing Roof

OK -  
 7'1" plug  
 height in more  
 than 50%  
 of room

7'-9"

13'

5'-3"

32"

OK ✓



# CITY OF PORTLAND, MAINE

## Department of Building Inspections

Oct 6 2004

Received from Harry Scott

Location of Work 18 Guilford St.

Cost of Construction \$ 4,700.00

Permit Fee \$ 66.00

Building (IL)  Plumbing (IS)  Electrical (I2)  Site Plan (U2)

Other

CBL: 1666 G 008

Check #: 000

Total Collected \$ 66.00

### THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

*Anna*