

SEASIDE REHABILITATION & HEALTHCARE CENTER PHASE II LOBBY / REHAB RENOVATION

850 BAXTER BOULEVARD PORTLAND, MAINE

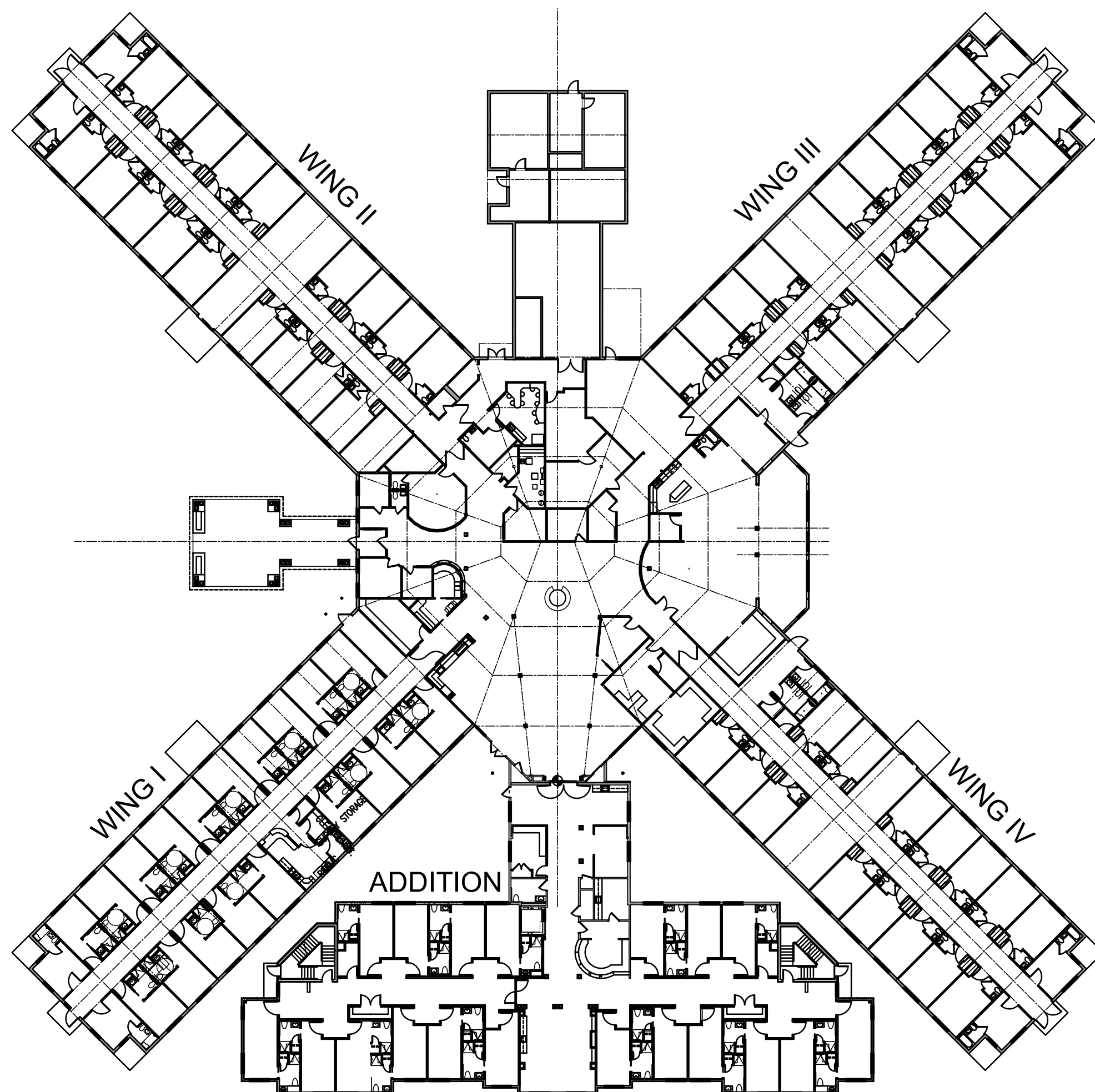
OWNER:	ARCHITECT	GENERAL CONTRACTOR/ CONSTRUCTION MANAGER	STRUCTURAL ENGINEER	MEP ENGINEER
FIRST ATLANTIC CORPORATION 100 WATERMAN DRIVE SO PORTLAND, ME 04106	FORESIDE ARCHITECTS, LLC PO BOX 66736 5 FUNDY ROAD FALMOUTH, ME 04105 TEL. 207-781-3344	LEDGEWOOD CONSTRUCTION 27 MAIN STREET SOUTH PORTLAND, ME 04106 207 767-1866	BECKER ENGINEERING 75 YORK STREET PORTLAND, ME 04101 207 879-1838	BENNETT ENGINEERING 7 BENNETT ROAD FREEPORT, ME 04032 207 865-9475
TEL. 207-874-2700				

GENERAL NOTES:

1. REPORT AN DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
2. EXISTING BUILDING COMPONENTS AND WORK CURRENTLY COMPLETED AND IN PLACE DURING CONSTRUCTION WHICH IS AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR, SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
3. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM W/ ALL GOVERNING CODES INCLUDING 2009 IBC (MUBEC), NFPA 101 2009, MAINE HUMAN RIGHTS COMMISSION GUIDELINES, STATE OF MAINE PLUMBING CODE, NEC 2008, AND ANSI.
4. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES DELIVERY PROCEDURES, DIMENSIONS AND MATERIALS.
5. DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS. APPARENT DISCREPANCIES REQUIRING CLARIFICATION SHALL BE DIRECTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION.
6. DEMOLITION MAY REQUIRE SELECTIVE REMOVAL OF EXISTING MATERIALS, TEMPORARY BRACING AND STRUCTURAL SHORING. REMOVAL OF ALL MATERIALS DISMANTLED NOT INTENDED FOR REUSE SHALL BE DISPOSED OF IN COMPLIANCE WITH LOCAL REGULATIONS.
7. THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY TYPE, INCLUDING BUT NOT LIMITED TO ASBESTOS.
8. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE OFFICIALS PRIOR TO COMMENCING THE WORK AND INSPECTIONS AND APPROVALS UPON COMPLETION OF THE WORK.
9. WHERE ONLY A SINGLE PRODUCT OR MANUFACTURER IS NAMED, PROVIDE THE PRODUCT INDICATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE THROUGH WRITTEN DIRECTIVE.
10. THE LOCATION OF ALL DOOR FRAMES NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
11. ALL PARTITIONS SHALL EXTEND FROM FLOOR TO UNDERSIDE OF SUPPORTING STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
12. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, SHELVES, CHAIR RAILS, PICTURE RAILS AND BASE MOLDINGS.
13. AT PROJECT CLOSEOUT, SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND SIMILAR DOCUMENTS.
14. COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TOUCH-UP, REPAIR AND RESTORE ALL MARRED EXPOSED FINISHES.
15. IF TWO CONFLICTING CONDITIONS OR DETAILS EXIST IN THIS DRAWING SET OR ASSOCIATED SPECIFICATIONS THE CONTRACTOR SHALL MAKE THEM KNOWN TO THE ARCHITECT. IT SHALL BE THE ARCHITECT'S CHOICE TO DECIDE WHICH CONDITION OR DETAIL APPLIES, AT NO ADDITIONAL COST.

REVISIONS:

07/24/14 CM REVIEW REVISIONS



LIST OF DRAWINGS

- G1 TITLE SHEET
- G2 WALL TYPES/NOTES/ABBREVIATIONS/SYMBOLS
- G3 ACCESSIBILITY STANDARDS
- G4 WALL PENETRATION DETAILS
- G5 TOP & BOT OF WALL DETAILS

LANDSCAPE DRAWINGS

- L1.0 SITE PLAN
- L2.0 SITE DETAILS

ARCHITECTURAL DRAWINGS

- D101 FIRST FLOOR DEMO PLAN
- A001 CODE PLANS
- A002 CODE PLANS
- A101 BASEMENT PLAN
- A102 FIRST FLOOR PLAN
- A103 ATTIC PLAN
- A104 ROOF PLAN
- A201 BUILDING ELEVATIONS & SECTION
- A401 WALL SECTIONS
- A402 WALL SECTIONS & DETAILS
- A501 FIRST FLOOR RCP

- A601 INTERIOR PLAN
- A610 INTERIOR ELEVATIONS
- A611 INTERIOR ELEVATIONS
- A612 INTERIOR ELEVATIONS AND DETAILS
- A613 INTERIOR ELEVATIONS
- A614 INTERIOR ELEVATIONS
- A615 CASEWORK DETAILS
- A616 CASEWORK & MILLWORK DETAILS
- A701 DOOR SCHEDULE & DETAILS
- A702 WINDOW SCHEDULE & DETAILS
- A703 FINISH SCHEDULE & DETAILS
- A801 FURNITURE & EQUIPMENT PLAN

STRUCTURAL DRAWINGS

- S1 SECTIONS & DETAILS
- S2 FRAMING PLANS

MECHANICAL DRAWINGS

- M1.1 MECHANICAL FIRST FLOOR PLAN
- M1.2 MECHANICAL DEMOLITION PLAN

ELECTRICAL DRAWINGS

- E1.1 PARTIAL BUILDING PLAN
- E2.2 LOBBY PROPOSED LIGHTING PLAN
- E3.3 LOBBY POWER PLAN
- E3.4 PARTIAL PLANS

PLUMBING DRAWINGS

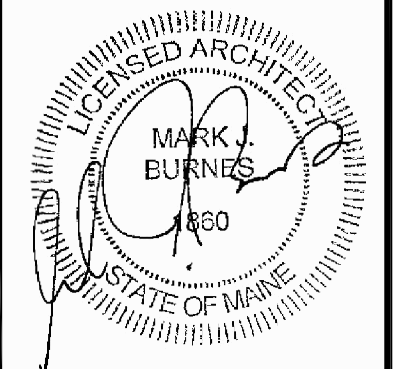
- P1.1 PLUMBING FIRST FLOOR PLAN
- P1.2 PLUMBING DEMOLITION PLAN



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Project Status:
 BIDDING &
 PERMIT SET

Project Number:
 SRH0314



**Seaside Rehabilitation
 and Healthcare Center
 Lobby / Rehab Renovation
 850 Baxter Boulevard
 Portland, Maine**

Drawing Name:
 TITLE SHEET

Scale:
 N.T.S.

SHEET:

Date:
 07/18/14

G1