

GENERAL NOTES:

1. REPORT AN DISCREPANCIES TO THE ARCHITECT. CONTRACTOR SHALL PROCEED WITH WORK ONLY AFTER DISCREPANCIES HAVE BEEN RESOLVED BY THE ARCHITECT.
2. EXISTING BUILDING COMPONENTS AND WORK CURRENTLY COMPLETED AND IN PLACE DURING CONSTRUCTION WHICH IS AFFECTED BY NEW WORK AND DEMOLITION, OR WHICH MAY BE DAMAGED BY THE CONTRACTOR OR ANY SUBCONTRACTOR, SHALL BE REPLACED OR RESTORED TO THE ORIGINAL CONDITION AND COLOR AS APPROVED BY THE ARCHITECT.
3. THE BUILDING SHALL BE CONSTRUCTED TO CONFORM WITH ALL GOVERNING CODES INCLUDING 2009 IBC (MUBEC), NFPA 101 2009, MAINE HUMAN RIGHTS COMMISSION GUIDELINES, STATE OF MAINE PLUMBING CODE, NEC 2008, AND ANSI.
4. ALL EXISTING CONDITIONS ARE TO BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO FABRICATION. THIS INCLUDES DELIVERY PROCEDURES, DIMENSIONS AND MATERIALS.
5. DRAWINGS ARE NOT TO BE SCALED. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS. APPARENT DISCREPANCIES REQUIRING CLARIFICATION SHALL BE DIRECTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK IN QUESTION.
6. DEMOLITION MAY REQUIRE SELECTIVE REMOVAL OF EXISTING MATERIALS, TEMPORARY BRACING AND STRUCTURAL SHORING. REMOVAL OF ALL MATERIALS DEMOLISHED NOT INTENDED FOR REUSE SHALL BE DISPOSED OF IN COMPLIANCE WITH LOCAL REGULATIONS.
7. THIS PROJECT SHALL NOT CONTAIN HAZARDOUS MATERIALS OF ANY TYPE, INCLUDING BUT NOT LIMITED TO ASBESTOS.
8. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FROM THE APPROPRIATE OFFICIALS PRIOR TO COMMENCING THE WORK AND INSPECTIONS AND APPROVALS UPON COMPLETION OF THE WORK.
9. WHERE ONLY A SINGLE PRODUCT OR MANUFACTURER IS NAMED, PROVIDE THE PRODUCT INDICATED. SUBSTITUTIONS SHALL BE PERMITTED ONLY WHEN APPROVED BY THE OWNER OR THE OWNER'S AUTHORIZED REPRESENTATIVE THROUGH WRITTEN DIRECTIVE.
10. THE LOCATION OF ALL DOOR FRAMES NOT DIMENSIONED SHALL BE 4" FROM ADJACENT WALLS UNLESS OTHERWISE INDICATED.
11. ALL PARTITIONS SHALL EXTEND FROM FLOOR TO UNDERSIDE OF SUPPORTING STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
12. INSTALL BLOCKING BEHIND ALL SURFACE APPLIED FIXTURES, TRIM, GRAB BARS, SHELVES, CHAIR RAIS, PICTURE RAILS AND BASE MOLDINGS.
13. AT PROJECT CLOSEOUT, SUBMIT SPECIFIC WARRANTIES, WORKMANSHIP BONDS, MAINTENANCE AGREEMENTS, FINAL CERTIFICATIONS AND SIMILAR DOCUMENTS.
14. COMPLETE FINAL CLEANUP AT PROJECT CLOSEOUT. TOUCH-UP, REPAIR AND RESTORE ALL MARRED EXPOSED FINISHES.
15. IF TWO CONFLICTING CONDITIONS OR DETAILS EXIST IN THIS DRAWING SET OR ASSOCIATED SPECIFICATIONS THE CONTRACTOR SHALL MAKE THEM KNOWN TO THE ARCHITECT. IT SHALL BE THE ARCHITECT'S CHOICE TO DECIDE WHICH CONDITION OR DETAIL APPLIES, AT NO ADDITIONAL COST.

REVISIONS:



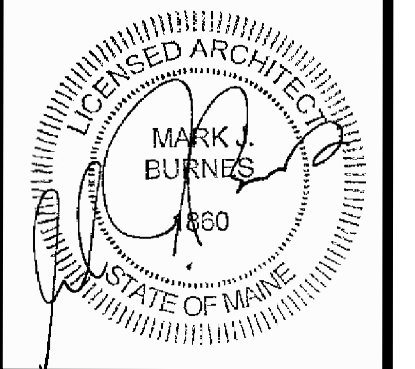
FORESIDE ARCHITECTS
 LLC

5 FUNDY ROAD Phone: 207-781-3344
 FALMOUTH, ME 04105 Fax: 207-699-5564
 Online @ foresidearchitects.com

Project Status:

PERMIT & BID SET

Project Number:



Seaside Rehabilitation and Healthcare Center
 850 Baxter Boulevard
 Portland, Maine

Drawing Name:

CODE PLANS

Scale:

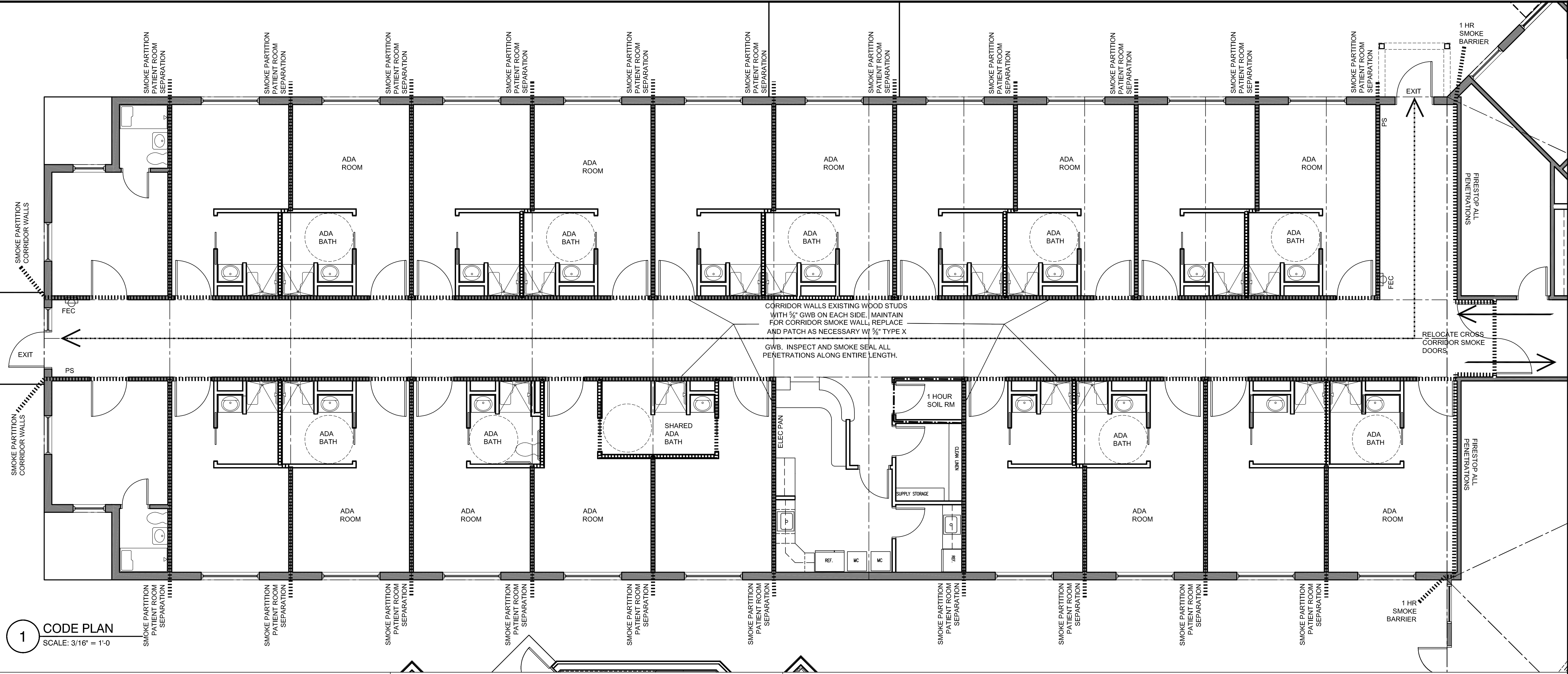
1/8" = 1'-0"

Date:

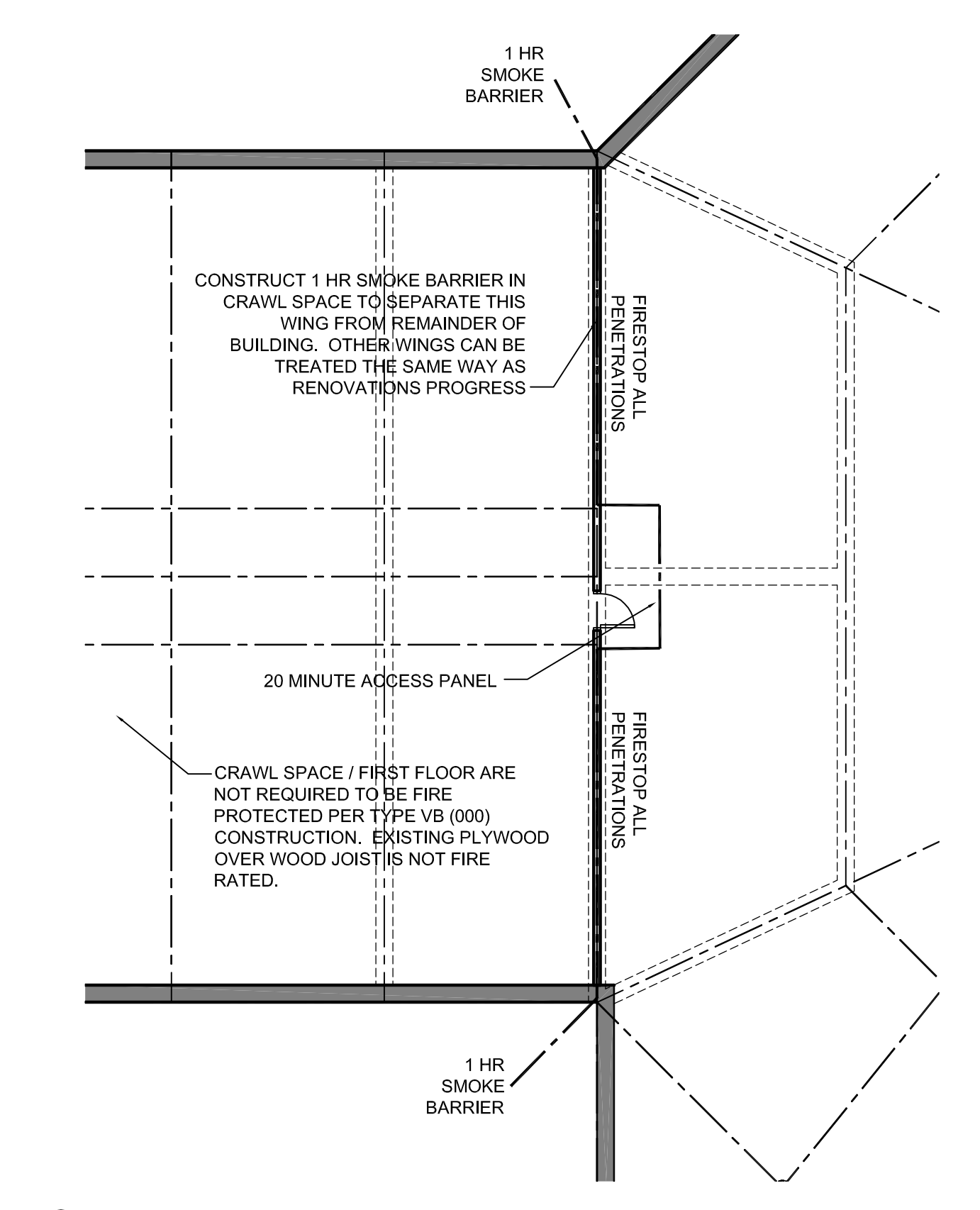
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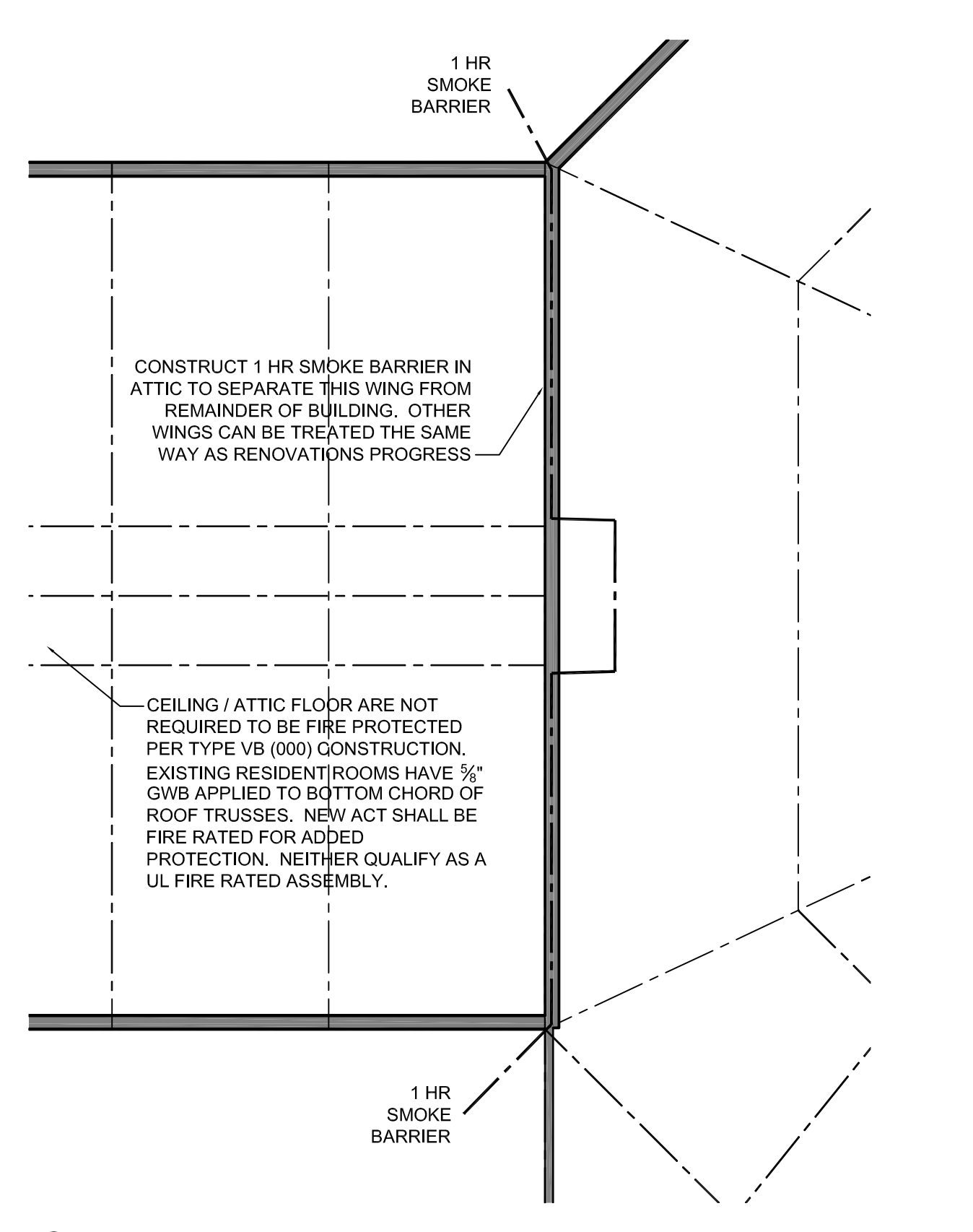
A001



1 CODE PLAN
 SCALE: 3/16" = 1'-0"



2 PARTIAL CRAWL SPACE PLAN
 SCALE: 1/8" = 1'-0"

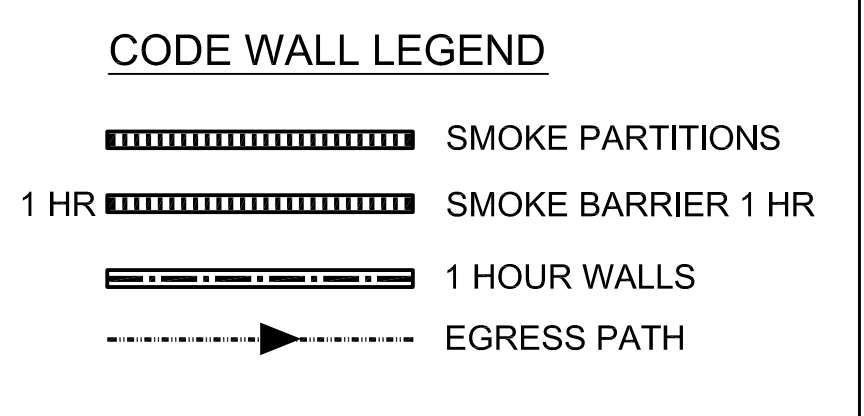


3 ATTIC PLAN
 SCALE: 1/8" = 1'-0"

2009 IBC: CODE DATA	IBC: EXISTING BUILDING CODE, LEVEL 2 RENOVATION	2009 NFPA: CODE DATA	
USE GROUP CLASSIFICATION	INSTITUTIONAL GROUP "I-2"	OCCUPANT LOAD FLOOR AREA [BUILDING AREA LESS STORAGE AREAS]	42,773 SF TOTAL 7,450 SF
TYPE OF CONSTRUCTION	VB (UNPROTECTED COMBUSTIBLE)	FLOOR AREA (AFFECTED BUILDING AREA)	42,773 SF
FLOOR AREA (ENTIRE BUILDING, NOT INCL. ADDITION)	47,773 SF	OCCUPANT LOAD - HEALTH CARE FACILITY (INPATIENT CARE)	INPATIENT FACILITY = 240 SF / OCCUPANT = 178 OCCUPANTS / 31 OCCUPANTS
FLOOR AREA (AREA OF BUILDING AFFECTED BY THE WORK)	7,450 SF	USE GROUP CLASSIFICATION	EXISTING HEALTH CARE
TABLE 503 BUILDING AREA LIMITATION-SF	EXISTING UNCHANGED	TYPE OF CONSTRUCTION	UNPROTECTED-TYPE V (000)
506.2 STREET FRONTAGE INCREASE - (25%)	EXISTING UNCHANGED	ACTUAL BUILDING AREA	42,773 SF TOTAL
506.3 AUTOMATIC SPRINKLER SYSTEM (INCREASE 2009)	EXISTING UNCHANGED	BUILDING HEIGHT	SINGLE STORY
ALLOWABLE BUILDING FLOOR AREA-SF	48,750 SF	FIRE SUPPRESSION	SUPERVISED FIRE SUPPRESSION PROVIDED
BUILDING HEIGHT	SINGLE STORY	FIREWALL-(EXISTING/ NEW HEALTHCARE SEPARATION)	2 HR. (ESTABLISHES TWO SEPARATE BUILDING STRUCTURES)
FIRE SUPPRESSION	FULLY SUPERVISED FIRE SUPPRESSION	STAIR ENCLOSURES	N/A
NEW 1 HR. SMOKE SEPARATION WALL AT JUNCTION OF RESIDENT WING AND BUILDING COMMON CORE	TO BE PROVIDED NEW AT ATTIC & BASEMENT, COMBINED W/ FIRST FLOOR EXISTING WALL	SHAFTS	N/A
STAIR ENCLOSURES	N/A	ACCESS CORRIDORS	N/A
SHAFTS	N/A	INTERIOR LOAD BEARING WALLS	0 HR
EXIST ACCESS CORRIDORS	N/A	STRUCTURAL MEMBER SUPPORTING FLOORS AND ROOF	0 HR
INTERIOR LOAD BEARING WALLS	1 HR	FLOOR CONSTRUCTION	0 HR
STRUCTURAL MEMBER SUPPORTING WALLS	0 HR	ROOF CONSTRUCTION	0 HR
FLOOR CONSTRUCTION	0 HR	FIRE EXTINGUISHERS	LOCATIONS TO BE VERIFIED IN FIELD BY FIRE CHIEF PRIOR TO INSTALLATION
ROOF CONSTRUCTION	0 HR	ARRANGEMENT OF MEANS OF EGRESS	-
FIRE EXTINGUISHERS	LOCATIONS TO BE VERIFIED IN FIELD BY FIRE CHIEF PRIOR TO INSTALLATION	DEAD END CORRIDORS	NOT TO EXCEED 30 FT
FLAME SPREAD RATINGS:	COMMON PATH OF TRAVEL	NOT TO EXCEED 75 FT	
REQUIRED VERTICAL EXITS	CLASS A OR CLASS B	CORRIDOR WIDTH	90 INCHES MIN
CORRIDORS PROVIDING EXIT ACCESS	CLASS A OR CLASS B	FLAME SPREAD RATINGS	INTERIOR FINISH REQUIREMENTS
ROOMS OR ENCLOSED SPACES	CLASS A OR CLASS B	REQUIRED VERTICAL EXITS	CLASS A OR CLASS B
INTERIOR FLOOR FINISH REQUIREMENTS	CLASS A OR CLASS B	CORRIDORS PROVIDING EXIT ACCESS	CLASS A OR CLASS B
CORRIDORS PROVIDING EXIT ACCESS	CLASS 1 OR CLASS 11	ROOMS OR ENCLOSED SPACES	CLASS A OR CLASS B
ROOMS OR ENCLOSED SPACES	CLASS 1 OR CLASS 11	INTERIOR FLOOR FINISH REQUIREMENTS	
REQUIRED VERTICAL EXITS	CLASS 1 OR CLASS 11	CORRIDORS PROVIDING EXIT ACCESS	CLASS 1 OR CLASS 11
REQUIRED VERTICAL EXITS	CLASS 1 OR CLASS 11	ROOMS OR ENCLOSED SPACES	CLASS 1 OR CLASS 11

GENERAL NOTES:

1. ALL PENETRATIONS OF FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH PROPER APPROVED MATERIALS AND FIRE DAMPERS AS REQUIRED.
2. ALL WORK SHALL CONFORM TO LOCAL AND STATE CODES, ORDINANCES AND REQUIREMENTS, ACCESSIBILITY PER ADA.A.G.



FIRE ALARM: NEW FIRE ALARM SYSTEM WILL BE INSTALLED IN WING I CONNECTED TO PREVIOUSLY INSTALLED MAIN PANEL.

EXISTING DRY SPRINKLER SYSTEM HAS COVERAGE IN CRAWL SPACE, FIRST FLOOR AND ATTIC. HEAD LOCATIONS SHALL BE MODIFIED TO NEW ROOM LAYOUTS BY APPROVED SPRINKLER CONTRACTOR.

4 IBC AND NFPA CODE GUIDELINES
 SCALE: NTS