

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100400

PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that Dumont James E & /On The Level Construction

has permission to Renovations to existing canopy, west facade MAY 19 2010

AT 850 Baxter Blvd CBL 166 A010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. CAPT. R. Gauthier

Health Dept. _____

Appeal Board _____

Other _____
Department Name

James Burke 5/19/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

SCANNED



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

April 15 2010

Received from Carrie A. McClenaghan

Location of Work 250 B. St. B.V.D.

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 450.00

Building (IL) _____ Plumbing (IS) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 166 A 010

Check #: 374 Total Collected \$ 450.00

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0429	Issue Date:	CBL: 166 A010001
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Location of Construction: 850 Baxter Blvd	Owner Name: Dumont James E &	Owner Address: 37 Randall St	Phone:
Business Name: Seaside Nursing Facility	Contractor Name: On The Level Construction	Contractor Address: 10 Mirror Lake Road W. Newfield	Phone: 2077938899
Lessee/Buyer's Name	Phone:	Permit Type: Institutional	Zone: R-5

Past Use: Institutional / Seaside Nursing Facility	Proposed Use: Seaside Nursing Facility / Renovations to existing canopy, west facade.	Permit Fee: \$420.00	Cost of Work: \$40,000.00	CEO District: 4
		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>* See Conditions</i>	INSPECTION: Use Group: <i>I-2</i> Type: <i>2B</i> <i>IBC-2003</i>	

Proposed Project Description: Renovations to existing canopy, west facade. <i>expanding lot</i>	Signature: <i>(KG)</i>	Signature: <i>AMB 5/19/10</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 04/28/2010	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>within 250' well outside</i> <input type="checkbox"/> Wetland <i>75'</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan # <i>09-79900015</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/14/10</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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PERMIT ISSUED

MAY 19 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

8-10-10

Steel structure built installed
and inspected by becker street
waiting for letters from Demek
LLP

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.
- Permits expire in 6 months, if the project is not started or ceases for 6 months.
- If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.

Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers

Re-Bar Schedule Inspection: Prior to pouring concrete

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

PERMIT ISSUED

MAY 19 2010

City of Portland

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0429	Date Applied For: 04/28/2010	CBL: 166 A010001
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Location of Construction: 850 Baxter Blvd	Owner Name: Dumont James E &	Owner Address: 37 Randall St	Phone:
Business Name: Seaside Nursing Facility	Contractor Name: On The Level Contruction	Contractor Address: 10 Mirror Lake Road W. Newfield	Phone (207) 793-8899
Lessee/Buyer's Name	Phone:	Permit Type: Institutional	

Proposed Use: Seaside Nursing Facility / Renovations to existing canopy, west facade. & Alterations to parking lot	Proposed Project Description: Renovations to existing canopy, west facade. & alterations to parking lot
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 05/04/2010**Note:** **Ok to Issue:**

- 1) Separate permits shall be required for any new signage.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Jeanine Bourke **Approval Date:** 05/19/2010**Note:** **Ok to Issue:**

- 1) Prior to the final inspection a sealed letter shall be submitted to this office confirming that based on inspections performed for structural fill, concrete, structural steel bolted connections and field welded connections, all discrepancies have been corrected and the work is in substantial compliance with the approved plans.
- 2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.

Dept: Fire **Status:** Approved with Conditions **Reviewer:** Capt Keith Gautreau **Approval Date:** 05/11/2010**Note:** **Ok to Issue:**

- 1) No means of egress shall be affected by this renovation
- 2) All means of egress to remain accessible at all times
- 3) All construction shall comply with NFPA 1 and 101.

Comments:

5/3/2010-gg: reduced plans were emailed. /gg

5/4/2010-mes: WAIT FOR PLANNING APPROVALS FROM PLANNING - applicant has submitted to planning changes to his originally approved site plan



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>850 BAXTER BLVD. SEASIDE NURSING FACILITY</u>		
Total Square Footage of Proposed Structure/Area <u>N/A</u>		Square Footage of Lot <u>162000</u>
Tax Assessor's Chart, Block & Lot Chart# <u>166</u>	Block# <u>A</u>	Lot# <u>10</u>
Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>FIRST ATLANTIC HEALTH CARE</u>		Telephone: <u>207-874-2700</u>
Address <u>222 ST. JOHN ST.</u>		
City, State & Zip <u>PORTLAND, ME 04102</u>		
Lessee/DBA (If Applicable) RECEIVED APR 28 2010		Owner (if different from Applicant) Name Address City, State & Zip
		Cost Of Work: \$ <u>40,000.00</u>
		C of O Fee: \$ _____
		Total Fee: \$ <u>420.00</u>
Current legal use (i.e. single family) If vacant, what was the previous use? Proposed Specific use: <u>SEASIDE</u>		
Is property part of a subdivision? _____ If yes, please name _____		
Project description: <u>RENOVATIONS TO EXISTING CANOPY - WEST FACADE</u>		
Contractor's name: <u>ON THE LEVEL CONSTRUCTION</u> <i>Call Eric</i>		
Address: <u>10 MIRROR LAKE Rd</u> <i>X mail</i>		
City, State & Zip <u>W. NEWFELD, ME 04095</u>		Telephone: <u>207-793-8819</u>
Who should we contact when the permit is ready: <u>ED McCONOLOGUE</u>		Telephone: <u>978-423-7908</u>
Mailing address: <u>8 MILLIE LN. W. NEWFELD, ME 04095</u>		

RECEIVED

APR 28 2010

Dept. of Building Inspections
City of Portland, Maine

*Transferred email
Plans*

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Ed McConologue Date: 4/26/10

This is not a permit; you may not commence ANY work until the permit is issued



Certificate of Design Application

From Designer: KORRESION ARCHITECTS, LLC / BRICKER STRUCTURE
 Date: 4/24/10
 Job Name: SEASIDE NURSING FACILITY, RENOVATIONS
 Address of Construction: 850 BODLEK BOULEVARD, PORTLAND

2003 International Building Code

Construction project was designed to the building code criteria listed below:

Building Code & Year 2003 / IBC Use Group Classification (s) INSTITUTIONAL
 Type of Construction 2B
 Will the Structure have a Fire suppression system in Accordance with Section 903.3.1 of the 2003 IRC NO, YES SUPERVISED FIRE SUPPRESSION
 Is the Structure mixed use? NO If yes, separated or non separated or non separated (section 302.3) _____
 Supervisory alarm System? YES Geotechnical/Soils report required? (See Section 1802.2) NO

Structural Design Calculations

COMPLETED Submitted for all structural members (105.1 - 105.11)

Design Loads on Construction Documents (1603)

Uniformly distributed floor live loads (7603.11, 1807)

Floor Area Use	Loads Shown
<u>N/A (FLOOR AREAS NOT MODIFIED)</u>	

- N/A Live load reduction
- SEE SNOW Roof live loads (1603.1.2, 1607.11)
- 42 PSF Roof snow loads (1603.2.3, 1608)
- 60 Ground snow load, P_g (1608.2)
- * 42 PSF If $P_g > 10$ psf, flat-roof snow load P_f
- 0.90 If $P_g > 10$ psf, snow exposure factor, C_e
- 1.0 If $P_g > 10$ psf, snow load importance factor, I_s
- 1.1 Roof thermal factor, C_t (1608.4)
- * 42 PSF Sloped roof snowload, P_s (1608.4)
- N/A Seismic design category (1616.3)
- N/A Basic seismic force resisting system (1617.6.2)
- N/A Response modification coefficient, R and deflection amplification factor, C_d (1617.6.2)
- N/A Analysis procedure (1616.6, 1617.5)
- N/A Design base shear (1617.4, 1617.5.1)

Wind loads (1603.1.4, 1609)

- 1609.1.1 Design option utilized (1609.1.1, 1609.6)
- 100 Basic wind speed (1809.3)
- 1.0 Building category and wind importance Factor, w_p (Table 1604.5, 1609.5)
- C Wind exposure category (1609.4)
- ± 0.18 Internal pressure coefficient (ASCE 7)
- ✓ Component and cladding pressures (1609.1.1, 1609.6.2.2)
- N/A Main force wind pressures (7603.1.1, 1609.6.2.1)

- N/A Flood loads (1803.1.6, 1612)
- N/A Flood Hazard area (1612.3)
- N/A Elevation of structure

Earth design data (1603.1.5, 1614-1623)

- N/A Design option utilized (1614.1)
- N/A Seismic use group ("Category")
- N/A Spectral response coefficients, S_D & S_1 (1615.1)
- N/A Site class (1615.1.5)

- Other loads
- N/A Concentrated loads (1607.4)
- N/A Partition loads (1607.5)
- N/A Misc. loads (Table 1607.8, 1607.6.1, 1607.7, 1607.12, 1607.13, 1610, 1611, 2464)

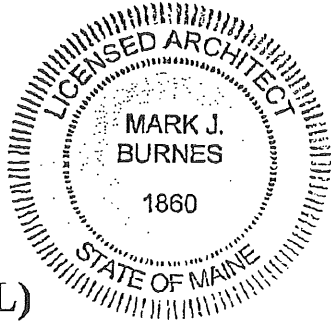
* FOR TRUSS ANALYSIS ONLY;
UNMODIFIED ROOF MEMBERS NOT ANALYZED



Accessibility Building Code Certificate

Designer: FORESIDE ARCHITECTS / MARK BURNES
 Address of Project: SEASIDE NURSING FACILITY
850 BAXTER BOULEVARD, PORTLAND
 Nature of Project: RENOVATIONS TO FORMER
MAIN ENTRY, REMOVAL AND
REPLACEMENT

The technical submissions covering the proposed construction work as described above have been designed in compliance with applicable referenced standards found in the Maine Human Rights Law and Federal Americans with Disability Act. Residential Buildings with 4 units or more must conform to the Federal Fair Housing Accessibility Standards. Please provide proof of compliance if applicable.



(SEAL)

Signature:
 Title: PRESIDENT
 Firm: FORESIDE ARCHITECTS, LLC
 Address: 281 VERANDA ST,
PORTLAND, ME. 04103
 Phone: 781 - 3344

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov



Certificate of Design

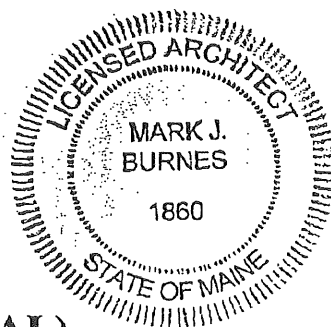
Date: 4/24/10

From: FORSIDE ARCHITECTS, LLC

These plans and / or specifications covering construction work on:

SEASIDE NURSING FACILITY
850 BAXTER BOULEVARD, PORTLAND

Have been designed and drawn up by the undersigned, a Maine registered Architect / Engineer according to the *2003 International Building Code* and local amendments.



(SEAL)

Signature: [Handwritten Signature]

Title: PRESIDENT

Firm: FORSIDE ARCHITECTS, LLC

Address: 281 VERANDA ST,

PORTLAND, ME 04103

Phone: 781-3344

For more information or to download this form and other permit applications visit the Inspections Division on our website at www.portlandmaine.gov

Zoning Administrator Marge Schmuckal
November 18, 2009

This property is located in a R-5 residential zone with a shoreland overlay. The building and the parking are well past the restricted 75' from HWM. The work is to change the parking and to reduce the size of the existing canopy. This does not rise to the level of a conditional use review by the Planning Board.

The plans are showing that the project meets the requirements of the R-5 Zone.

Separate permits shall be required for building permit(s).



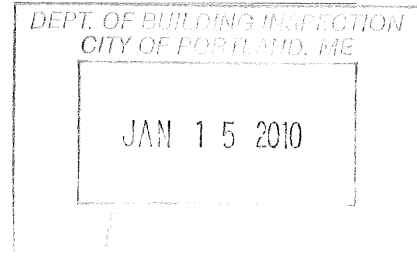
Strengthening a Remarkable City • Building a Community for the Future •

Planning & Urban Development Department
Penny St. Louis Littell, Director

JANUARY 14, 2010

FIRST ATLANTIC HEALTHCARE CRAIG COFFIN, COO 222 SAINT JOHN ST. PORTLAND, ME 04101	STANTEC CONSULTING TOM EMERY 22 FREE STREET SUITE 205 PORTLAND, ME 04101-3900
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Project Name: Seaside Rehabilitation
Project ID: 09-79900015
Project Address: 850 Baxter Boulevard
Planner: Eric Giles, AICP, LEED AP



Dear Mr. Emery:

On 1/14/2010, the Portland Planning Authority approved a minor site plan for Seaside Rehabilitation at 850 Baxter Boulevard as submitted by First Atlantic Healthcare and shown on the approved plan prepared by Stantec Consulting Services Inc. and dated 12/30/09.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

1. The site shall be developed and maintained as depicted in the site plan and the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Authority pursuant to the terms of Chapter 14 of the Portland City Code.
2. This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division. A building permit for site work only is required, so submit the application with the site plan to the Inspection Division.
3. Final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

4. A performance guarantee covering the site improvements as well as an inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Dept. prior to the release of the subdivision plat for recording at the Registry of Deeds or prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. If you need to make any modifications to the approved plans, you must submit a revised subdivision or site plan application for staff review and approval.
5. The site plan approval will be deemed to have expired unless work in the development has commenced within one (1) year of the approval or within a time period agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the expiration date.
6. A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
7. Prior to construction, a pre-construction meeting shall be held at the project site with the contractor, development review coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
8. If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

The Development Review Coordinator must be notified five (5) working days prior to date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If you have any questions, please contact **Erick Giles** at 207-874-8723 or egiles@portlandmaine.gov

Sincerely,



Alexander Jaegerman
Planning Division Director

Electronic Distribution

Penny St. Louis Littlell, Director of Planning and Urban Development
Alexander Jaegerman, Planning Division Director
Barbara Barhydt, Development Review Services Manager
Eric Giles, AICP Planner
Philip DiPierro, Development Review Coordinator
Marge Schmuckal, Zoning Administrator
Tammy Munson, Inspections Division
Gayle Guertin, Inspections Division
Lannie Dobson, Inspections Division
Michael Bobinsky, Public Services Director
Katherine Farley, Public Services
Bill Clark, Public Services
David Margolis-Pineo, Deputy City Engineer
Todd Merkle, Public Services
Greg Vining, Public Services
John Low, Public Services
Jane Ward, Public Services
Keith Gautreau, Fire
Jeff Turling, City Arborist
Tom Errico, Wilbur Smith Consulting Engineers
Dan Goyette, Woodard & Curran
Assessor's Office
Approval Letter File
Hard Copy: Project File

Comments
Submitted

City of Portland
Development Review Application
Planning Division Transmittal form

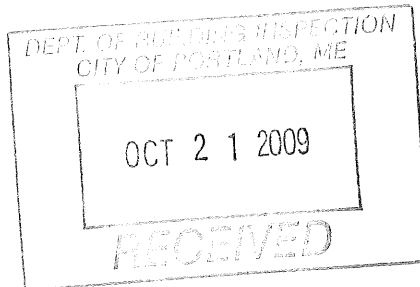
10/21/09

Application Number: 09-79900015 **Application Date:** 10/09/09
Project Name: SEASIDE REHABILITATION
Address: 850 Baxter Blvd **CBL:** 166 - A-010-001
Project Description: Baxter Boulevard - 850; Seaside Rehabilitation; First Atlantic
Healthcare, Applicant
Zoning: R5 & w 250' s howland
Other Reviews Required:
Review Type: MINOR SITE PLAN

First Atlantic Healthcare
Attn: Craig Coffin, COO

Portland Me 04101
Thomas N. Emery, RLA
Stantec

Portland Me 04101



Distribution List:

<input checked="" type="checkbox"/> Planner	Eric Giles	<input checked="" type="checkbox"/> City Arborist	Jeff Tarling
<input checked="" type="checkbox"/> Zoning Administrator	Marge Schmuckal	<input checked="" type="checkbox"/> Design Review	Alex Jaegerman
<input checked="" type="checkbox"/> Traffic	Tom Errico	<input checked="" type="checkbox"/> Corporation Counsel	Danielle West-Chuhta
<input checked="" type="checkbox"/> Inspections	Tammy Munson	<input checked="" type="checkbox"/> Sanitary Sewer	John Emerson
<input checked="" type="checkbox"/> Fire Department	Keith Gautreau	<input checked="" type="checkbox"/> Stormwater	Dan Goyette
<input checked="" type="checkbox"/> Parking	John Peverada	<input checked="" type="checkbox"/> Historic Preservation	Deb Andrews
<input checked="" type="checkbox"/> Engineering	David Margolis-Pineo	<input type="checkbox"/> Outside Agency	
<input checked="" type="checkbox"/> DRC Coordinator	Phil DiPierro		

Preliminary Comments needed by: 11/4/09

Final Comments needed by:

Zoning Administrator Marge Schmuckal

November 18, 2009

This property is located in a R-5 residential zone with a shoreland overlay. The building and the parking are well past the restricted 75' from HWM. The work is to change the parking and to reduce the size of the existing canopy. This does not rise to the level of a conditional use review by the Planning Board.

The plans are showing that the project meets the requirements of the R-5 Zone.

Separate permits shall be required for building permit(s).

<u>X</u>	_____	An estimate of the time period required for completion of the development	7
<u>X</u>	_____	A list of all state and federal regulatory approvals to which the development may be subject to, the status of any pending applications, anticipated timeframe for obtaining such permits, or letters of non-jurisdiction	8
<u>X</u>	_____	Evidence of financial and technical capability to undertake and complete the development including a letter from a responsible financial institution stating that it has reviewed the planned development and would seriously consider financing it when approved	
<u>UA</u>	_____	Evidence of applicant's right title or interest, including deeds, leases, purchase options or other documentation.	
<u>X</u>	_____	A description of any unusual natural areas, wildlife and fisheries habitats, or archaeological sites located on or near the site.	
<u>X</u>	_____	A jpeg or pdf of the proposed site plan, if available.	
_____	_____	Final sets of the approved plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.	

Note: Depending on the size and scope of the proposed development, the Planning Board or Planning Authority may request additional information, including (but not limited to):

- drainage patterns and facilities
- an environmental impact study
- erosion and sedimentation controls to be used during construction
- a sun shadow study
- a parking and/or traffic study
- a study of particulates and any other noxious emissions
- a noise study
- a wind impact analysis

Site Plan Checklist

Portland, Maine

Department of Planning and Urban Development, Planning Division and Planning Board

Project Name, Address of Project

Application Number

(The form is to be completed by the Applicant or Designated Representative)

Check Submitted	Required Information	Section 14-525 (b,c)
Applicant		
Staff		
X	Standard boundary survey (stamped by a registered surveyor, at a scale of not less than 1 inch to 100 feet and including:	f
X	Name and address of applicant and name of proposed development	a
X	• Scale and north points	b
X	• Boundaries of the site	c
X	• Total land area of site	d
X	• Topography - existing and proposed (2 feet intervals or less)	e
X	Plans based on the boundary survey including:	2
	• Existing soil conditions	a
NA	• Location of water courses, wetlands, marshes, rock outcroppings and wooded areas	b
X	• Location, ground floor area and grade elevations of building and other structures existing and proposed, elevation drawings of exterior facades, and materials to be used	c
X	• Approx location of buildings or other structures on parcels abutting the site and a zoning summary of applicable dimensional standards (example page 11 of packet)	d
X	• Location of on-site waste receptacles	e
X	• Public utilities	f
X	• Water and sewer mains	c
X	• Culverts, drains, existing and proposed, showing size and directions of flows	e
NA	• Location and dimensions, and ownership of easements, public or private rights of way, both existing and proposed	f
X	• Location and dimensions of on-site pedestrian and vehicular access ways	g
X	• Parking areas	g
X	• Loading facilities	g
X	• Design of ingress and egress of vehicles to and from the site onto public streets	g
X	• Curb and sidewalks	g
X	Landscape plan showing:	h
X	• Location of existing vegetation and proposed vegetation	h
X	• Type of vegetation	h
X	• Quantity of plantings	h
X	• Size of proposed landscaping	h
X	• Existing areas to be preserved	h
X	• Preservation measures to be employed	h
X	• Details of planting and preservation specifications	h
X	• Location and dimensions of all fencing and screening	i
NA	Location and intensity of outdoor lighting system	j
X	Location of fire hydrants, existing and proposed (refer to Fire Department checklist - page 11)	k
X	Written statements to include:	c
X	• Description of proposed uses to be located on site	c1
X	• Quantity and type of residential, if any	c1
X	• Total land area of the site	c2
X	• Total floor area, total disturbed area and ground coverage of each proposed Building and structure	c2
X	• General summary of existing and proposed easements or other burdens	c3
X	• Type, quantity and method of handling solid waste disposal	c4
X	• Applicant's evaluation or evidence of availability of off-site public facilities, including sewer, water and streets (refer to the wastewater capacity application - page 12)	c5
X	• Description of existing surface drainage and a proposed stormwater management plan or description of measures to control surface runoff.	c6

APPLICATION FEE:

Check all reviews that apply. Payment may be made in cash or check to the City of Portland.

<p>Major Development (more than 10,000 sq. ft.)</p> <p><input type="checkbox"/> Under 50,000 sq. ft. (\$500.00)</p> <p><input type="checkbox"/> 50,000 - 100,000 sq. ft. (\$1,000.00)</p> <p><input type="checkbox"/> Parking Lots over 100 spaces (\$1,000.00)</p> <p><input type="checkbox"/> 100,000 - 200,000 sq. ft. (\$2,000.00)</p> <p><input type="checkbox"/> 200,000 - 300,000 sq. ft. (\$3,000.00)</p> <p><input type="checkbox"/> Over 300,000 sq. ft. (\$5,000.00)</p> <p><input type="checkbox"/> After the fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Plan Amendments</p> <p><input type="checkbox"/> Planning Staff Review (\$250.00)</p> <p><input type="checkbox"/> Planning Board Review (\$500.00)</p> <p>Subdivision</p> <p><input type="checkbox"/> Subdivision (\$500.00) + amount of lots _____ (\$25.00 per lot) \$ _____ + (applicable Major site plan fee)</p>
<p>Minor Site Plan Review</p> <p><input checked="" type="checkbox"/> Less than 10,000 sq. ft. (\$400.00)</p> <p><input type="checkbox"/> After the-fact Review (\$1,000.00 plus applicable application fee)</p>	<p>Other Reviews</p> <p><input type="checkbox"/> Site Location of Development (\$3,000.00) (except for residential projects which shall be \$200.00 per lot _____)</p> <p><input type="checkbox"/> Traffic Movement (\$1,000.00)</p> <p><input type="checkbox"/> Storm water Quality (\$250.00)</p> <p><input type="checkbox"/> Section 14-403 Review (\$400.00 + \$25.00 per lot)</p> <p><input type="checkbox"/> Other _____</p>

DEVELOPMENT REVIEW APPLICATION SUBMISSION

Submissions shall include seven (7) packets with folded plans containing the following materials:

1. Seven (7) full size site plans that must be folded.
2. Application form that is completed and signed.
3. Cover letter stating the nature of the project.
4. All Written Submittals (Sec. 14-525 2. (c), including evidence of right, title and interest.
5. A stamped standard boundary survey prepared by a registered land surveyor at a scale not less than one inch to 100 feet.
6. Plans and maps based upon the boundary survey and containing the information found in the attached sample plan checklist.
7. Copy of the checklist completed for the proposal listing the material contained in the submitted application.
8. One (1) set of plans reduced to 11 x 17.

Refer to the application checklist (page 9) for a detailed list of submittal requirements.

Portland's development review process and requirements are outlined in the Land Use Code (Chapter 14), which includes the Subdivision Ordinance (Section 14-491) and the Site Plan Ordinance (Section 14-521). Portland's Land Use Code is on the City's web site: www.portlandmaine.gov Copies of the ordinances may be purchased through the Planning Division.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Planning Authority and Code Enforcement's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

This application is for site review only; a Performance Guarantee, Inspection Fee, Building Permit Application and associated fees will be required prior to construction.

<p>Signature of Applicant: <i>Thomas D. Emery</i></p>	<p>Date: October 7, 2009</p>
---	----------------------------------

Agent for the Applicant

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area 162,000 sq. ft.
 Proposed Total Disturbed Area of the Site 3,000-4,000 sq. ft. sq. ft.
 (If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland.)

IMPERVIOUS SURFACE AREA

Proposed Total Paved Area 3,076 sq. ft. sq. ft.
 Existing Total Impervious Area _____ sq. ft.
 Proposed Total Impervious Area -4,063 sq. ft (see letter) sq. ft.
 Proposed Impervious Net Change 987 sq. ft. net reduction sq. ft.

BUILDING AREA

Existing Building Footprint 38,000 sq. ft.
 Proposed Building Footprint NA sq. ft.
 Proposed Building Footprint Net change 0 sq. ft.
 Existing Total Building Floor Area 38,000 sq. ft.
 Proposed Total Building Floor Area NA sq. ft.
 Proposed Building Floor Area Net Change 0 sq. ft.
 New Building 0 (yes or no)

ZONING

Existing R5
 Proposed, if applicable _____

LAND USE

Existing Nursing Care facility
 Proposed Same

RESIDENTIAL, IF APPLICABLE

Proposed Number of Affordable Housing Units _____
 Proposed Number of Residential Units to be Demolished _____
 Existing Number of Residential Units _____
 Proposed Number of Residential Units _____
 Subdivision, Proposed Number of Lots _____

PARKING SPACES

Existing Number of Parking Spaces 78 (87 permitted 1969)
 Proposed Number of Parking Spaces 98*
 Number of Handicapped Parking Spaces 4
 Proposed Total Parking Spaces 102* (see letter for breakdown)

BICYCLE PARKING SPACES

Existing Number of Bicycle Parking Spaces _____
 Proposed Number of Bicycle Parking Spaces _____
 Total Bicycle Parking Spaces _____

COMPACT SIZE
 ** 7.5' x 15' allowed
 8'x16' proposed

ESTIMATED COST OF PROJECT

\$50,000

Please check all reviews that apply to the proposed development

Design Review	_____	Stormwater Quality	_____
Flood Plain Review	_____	Traffic Movement	_____
Historic Preservation	_____	Zoning Variance	_____
Housing Replacement	_____	Historic District/Landmark	_____
14-403 Street Review	_____	Off Site Parking	_____
Shoreland	_____	Multi-Family Dwelling	_____
Site Location Act Local Review	_____	B-3 Pedestrian Activity Review	_____
Single Family Dwelling	_____	Change of Use	_____
2 Family Dwelling	_____		

AGENT/REPRESENTATIVE

Name: Thomas N. Emery, RLA
Address: Stantec
22 Free St., Portland, ME
Zip Code: 04101
Work #: 775-3211
Cell #:
Fax #: 775-6434
Home:
E-mail: tom.emery@stantec.com

ENGINEER & Landscape Architect

Name: Rick Licht, PE/ Thomas N. Emery, RLA
Address: STANTEC
22 Free St. Portland, ME
Zip Code: 04101
Work #: 207.775-3211
Cell #:
Fax #: 207.775-6434
Home:
E-mail: rick.licht@stantec.com

ARCHITECT Foreside Architects

Name: Mark Burnes, AIA
Address: 281 Veranda St.
Portland, ME
Zip Code: 04103
Work #: 207.781-3344
Cell #:
Fax #:
Home:
E-mail:

CONSULTANT

Name:
Address:
Zip Code:
Work #:
Cell #:
Fax #:
Home:
E-mail:

SURVEYOR

Name:
Address:
Zip Code:
Work #:
Cell #:
Fax #:
Home:
E-mail:

ATTORNEY

Name:
Address:
Zip Code:
Work #:
Cell #:
Fax #:
Home:
E-mail:



Development Review Application
PORTLAND, MAINE
 Department of Planning and Urban Development,
 Planning Division and Planning Board

PROJECT NAME: Seaside Rehabilitation Center Courtyard & parking Renovations

PROPOSED DEVELOPMENT ADDRESS:

850 Baxter Boulevard Portland, Maine 04102

PROJECT DESCRIPTION:

Renovation of parking including pavement repair/ overlay, re-striping w/ compact stalls and infill new parking spaces. Pavement removal and landscape improvements southwest side of building

CHART/BLOCK/LOT: 166/ A/ 010001

CONTACT INFORMATION:

APPLICANT First Atlantic Healthcare

Name: Attn: Craig Coffin, COO

Address: 222 Saint John St.
Portland, ME

Zip Code: 04101

Work #: 207.874-2700

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

PROPERTY OWNER

Name: SAME

Address: _____

Zip Code: _____

Work #: _____

Cell #: _____

Fax #: _____

Home: _____

E-mail: _____

BILLING ADDRESS

Name: SAME

Address: _____

Zip: _____

Work #: _____

Cell #: _____

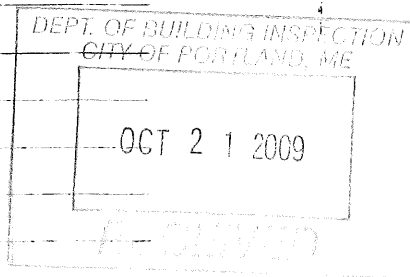
Fax #: _____

Home: _____

E-mail: _____

RECEIVED

OCT 9 2009



**City of Portland
 Planning Division**

~As applicable, please include additional contact information on the next page~

ELECTRICAL PERMIT

City of Portland, Me.



To the Chief Electrical Inspector, Portland Maine:
 The undersigned hereby applies for a permit to make electrical installations in accordance with the laws of Maine, the City of Portland Electrical Ordinance, National Electrical Code and the following specifications:

Date June 23, 2010
 Permit # 2010 4395
 CBL# 166 A010

LOCATION: 850 BAXTER BLVD METER MAKE & # _____
 CMP ACCOUNT # _____ OWNER _____
 TENANT FIRST ATLANTIC HEALTHCARE PHONE # _____
SEASIDE REHABILITATION CENTER

							TOTAL EACH FEE	
OUTLETS		Receptacles		Switches		Smoke Detector	.20	
FIXTURES		Incandescent	10	Fluorescent		Strips	.20	2.00
SERVICES		Overhead		Underground		TTL AMPS <800	15.00	
		Overhead		Underground		>800	25.00	
Temporary Service		Overhead		Underground		TTL AMPS	25.00	
							25.00	
METERS		(number of)					1.00	
MOTORS		(number of)					2.00	
RESID/COM		Electric units					1.00	
HEATING		oil/gas units		Interior		Exterior	5.00	
APPLIANCES		Ranges		Cook Tops		Wall Ovens	2.00	
		Insta-Hot		Water heaters		Fans	2.00	
		Dryers		Disposals		Dishwasher	2.00	
		Compactors		Spa		Washing Machine	2.00	
		Others (denote)					2.00	
		Air Cond/win					3.00	
		Air Cond/cent				Pools	10.00	
		HVAC		EMS		Thermostat	5.00	
		Signs					10.00	
		Alarms/res					5.00	
	Alarms/com					15.00		
	Heavy Duty(CRKT)					2.00		
	Circus/Carnv					25.00		
	Alterations					5.00		
	Fire Repairs					15.00		
	E Lights					1.00		
	E Generators					20.00		
PANELS		Service		Remote		Main	4.00	
	TRANSFORMER	0-25 Kva					5.00	
		25-200 Kva					8.00	
Over 200 Kva						10.00		
TOTAL AMOUNT DUE								55.00
MINIMUM FEE/COMMERCIAL 45.00								35.00
MINIMUM FEE								35.00

166 010 7 091

CONTRACTORS NAME B.H. MILLIKEN INC MASTER LIC. # MC 60016837
 ADDRESS 175 ANDERSON ST. PORTLAND ME 04101 LIMITED LIC. # _____
 TELEPHONE 207-879-1877

SIGNATURE OF CONTRACTOR Bever Milliken

Applicant: Seaside Rehab Facility Date: 11/18/09
Address: 850 Baxter Blvd Front C-B-L:

CHECK-LIST AGAINST ZONING ORDINANCE

Date -

Zone Location - R-5

Interior or corner lot -

Doesn't Rise to level of a condition of use review

Proposed Use/Work - to change parking; reduce size of existing canopy

Sewage Disposal - city

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

No change

Projections -

Width of Lot -

Height -

Lot Area - 162,000^{sq ft} per Appl. & assessors

Lot Coverage/ Impervious Surface - 40% max of 64,800^{sq ft} max lot cov. statly 38,000^{sq ft} which is 23.5% of

Area per Family - N/A

Off-street Parking - many PK's

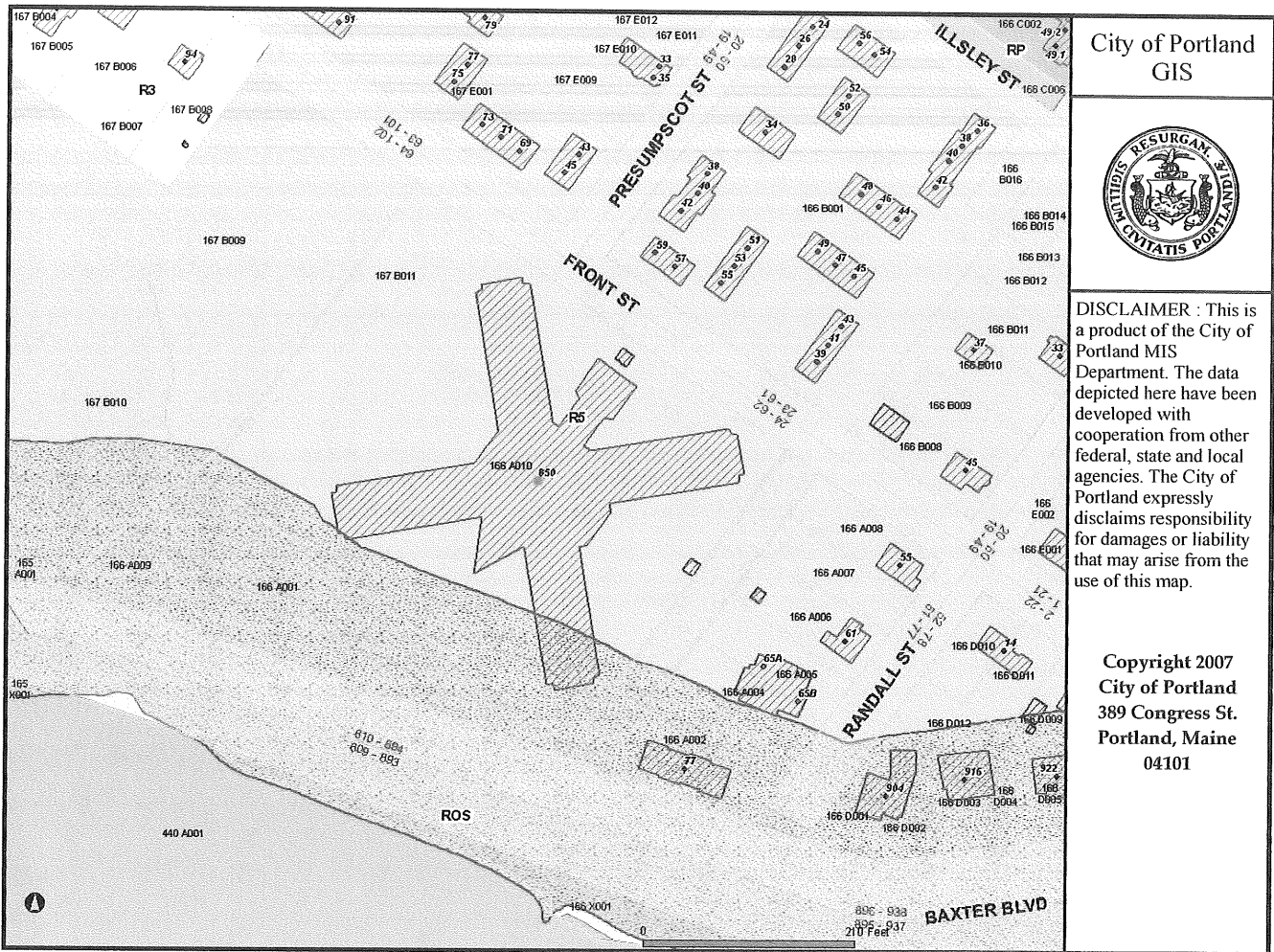
Loading Bays - N/A

Site Plan - 09-79900015

Shoreland Zoning/ Stream Protection - within 250' but well over 75' to HWM

Flood Plains - Panel 7 Zone X

for both Bldg & parking





Stantec

Stantec Consulting Services Inc.
22 Free Street Suite 205
Portland ME 04101-3900
Tel: (207) 775-3211
Fax: (207) 775-6434

October 07, 2009
File: 210800542

Barbara Barhydt
Development Review services Manager
Planning & urban development department
389 Congress street
Portland, ME 04101

Reference: Seaside Rehabilitation Facility Minor Site Plan Application - Parking

Dear Barbara:

On behalf of First Atlantic Corporation, Stantec Consulting Services, Inc. (Stantec), Inc. is submitting the attached Minor Site Plan Application for a Parking lot repaving, restriping and additional, infill parking spaces on the east side of the building. First Atlantic Corporation will also be removing the "flying" canopy on the west elevation and replacing it with a smaller canopy to compliment the dining room access and removing the former main drop off circle and providing a landscaped courtyard with small water feature.

The focus of this application is to utilize compact parking spaces to best utilize the existing parking area. The number of beds has not changes since 1969. The parking is primarily utilized by staff with changes typically only at shift change. This is an idea utilization of compact parking. Please note that we intend to use 8' x 16' compact spaces rather than the 7.5'x15' allowed under the ordinance. We believe that even with a predominance of smaller cars, the 7.5' width is prone to "stall creep". We will also be using a 24-ft aisle width.

Seaside received Minor Site Plan approval in 2007 for a new port cochere at the main entrance on the north side of the building.

Existing Site:

The project site is located at 850 Baxter Boulevard and is flanked by the Front Street neighborhood to the east, Back Cove to the west, and Payson Park to the north. The site is 3.7 acres (162,000 sq. ft.) The existing site was approved in 1969 as a 154 bed nursing facility with 87 parking spaces. At that time the main access to the property was shown to be from Front Street and the main building entrance and drop off was located on the southwest (Baxter Boulevard) side of the building.

At some time, the main access driveway was relocated to Baxter Boulevard and the driveway from Front street was retained for emergency access. An emergency access gate is provided and is secured in accordance with City Public safety officials' requirements.

October 07, 2009
Barbara Barhydt
Page 2 of 4

Reference: Error! Reference source not found.

The main building entrance was relocated to the northerly side of the building resulting in a reduction of striped parking spaces from 87 to approximately 78 spaces. A new port cochere was permitted and constructed in 2007.

In addition to the 1969 Site Plan included with the drawings, we have used the "Topographic Survey" by Owen Haskell dated March 19, 2007, Drawing 1T as the base for the Site Plan. This survey was completed for the 2007 Minor Site Plan application and used for this submittal.

Zoning:

The site is zoned R5. The minimum lot size required is 2 acres. The minimum yard dimensions are:

- front and side yard 20 ft.
- rear yard 8 ft. (single story or 1-1/2 story and 12 ft for 2 story)
- rear yard 5 ft. for accessory structures.

Max. Lot coverage is 40% of lot area. The existing building is 38,000 sq. ft.

Impervious Area Summary:

Proposed increase in paved areas: 3,076 sq. ft. (infill parking/ sidewalk)
Proposed reveg. of paved areas: 4,063 sq. ft. (old front drop off area – new courtyard)
Net reduction impervious area: 987 sq. ft. reduction in impervious area

Handwritten notes: 162,000 sq ft x 40% = 64,800 sq ft MAX ALLOWED per Assessor

Parking : City Zoning Ordinance Sect. 14-333 item (n) Long-term, extended care and intermediate care facilities:

Ratios Required: Beds: 1 parking space per 5 beds

Staff: 1 parking space per each employee normally present during one weekday morning shift. :

Vicki White, facility administrator had a parking count done on August 28, 2009. The counts were 87 cars a.m. and 90 cars just after lunch. There are 96 total staff including visiting physicians. The actual parking counts are reflective of: a) not all staff drive to the facility; 2) residents of long-term care facilities do not need on-site parking.

There has not been any increase in beds since the 1969 plan which again included 154 beds. The request for compact parking striping is based on: 1) original 1969 plan included 87 parking spaces that were 8 ft wide; 2) staff increases since 1969 are due to differences in care delivery and rehabilitation programs, and 3) due to loss of spaces when the access drive was relocated from Front Street to Baxter Boulevard (87 spaces to 78 spaces.)

Reference: Error! Reference source not found.

Proposed Parking restriping and infill spaces summary:

Date	Standard Spaces	HC spaces	Compact spaces	Totals
1969	87 spaces (8'x18')	NA	NA	87
2007	74 (< 9' wide)	4	NA	78
Proposed	16 (9'x19')	4 (increased to 19 ft deep)	82 (8'x16' w/ 24' aisle)	102
Location of new parking:				
Proposed Infill spaces	14			
Spaces gained by restriping	10			

Project Layout and Access:

The existing site access and parking circulation is not being changed.

The former drop off on the Baxter Boulevard side of the building is being landscaped and constructed with a central courtyard/ water feature. This will be accessed primarily from the adjacent dining room and will afford views from the dining room to the landscaped courtyard and Back Cove beyond. The gravel base will be maintained for emergency access.

Pedestrian circulation will not be changed except for the addition of sidewalks and seating in the proposed courtyard area.

A new dining room entrance detail is being added. The work includes removal of the large, flying canopy, masonry planter and the construction of ornamental columns and short, gabled canopy to complement the architecture of the port-cochere constructed in 2007 on the northwesterly side of the building.

Easements:

There are no known easements except for an emergency access agreement for public safety vehicles from Front St' over the former main access driveway.

Solid Waste:

Solid waste dumpster is located in the service area, adjacent to the kitchen located on the northeasterly side of the building facing Front Street. Private contractors empty the dumpsters.

October 07, 2009
Barbara Barhydt
Page 4 of 4

Reference: Error! Reference source not found.

Construction Schedule:

Upon obtaining approvals from the City of Portland, the owner anticipates construction to begin in the fall 2009 on the base pavement for the infill parking spaces and the courtyard. Finish pavement will be completed spring of 2010.

Other Approvals:

No state and federal approvals are required for this project.

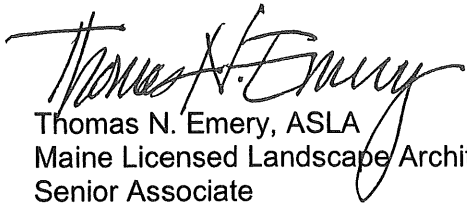
Financial Capacity:

This project is being constructed by the building Owner, First Atlantic Corporation.

Please contact us if you have any questions. Thank your for meeting with us to review the scope of this project.

Sincerely,

STANTEC CONSULTING SERVICES INC.

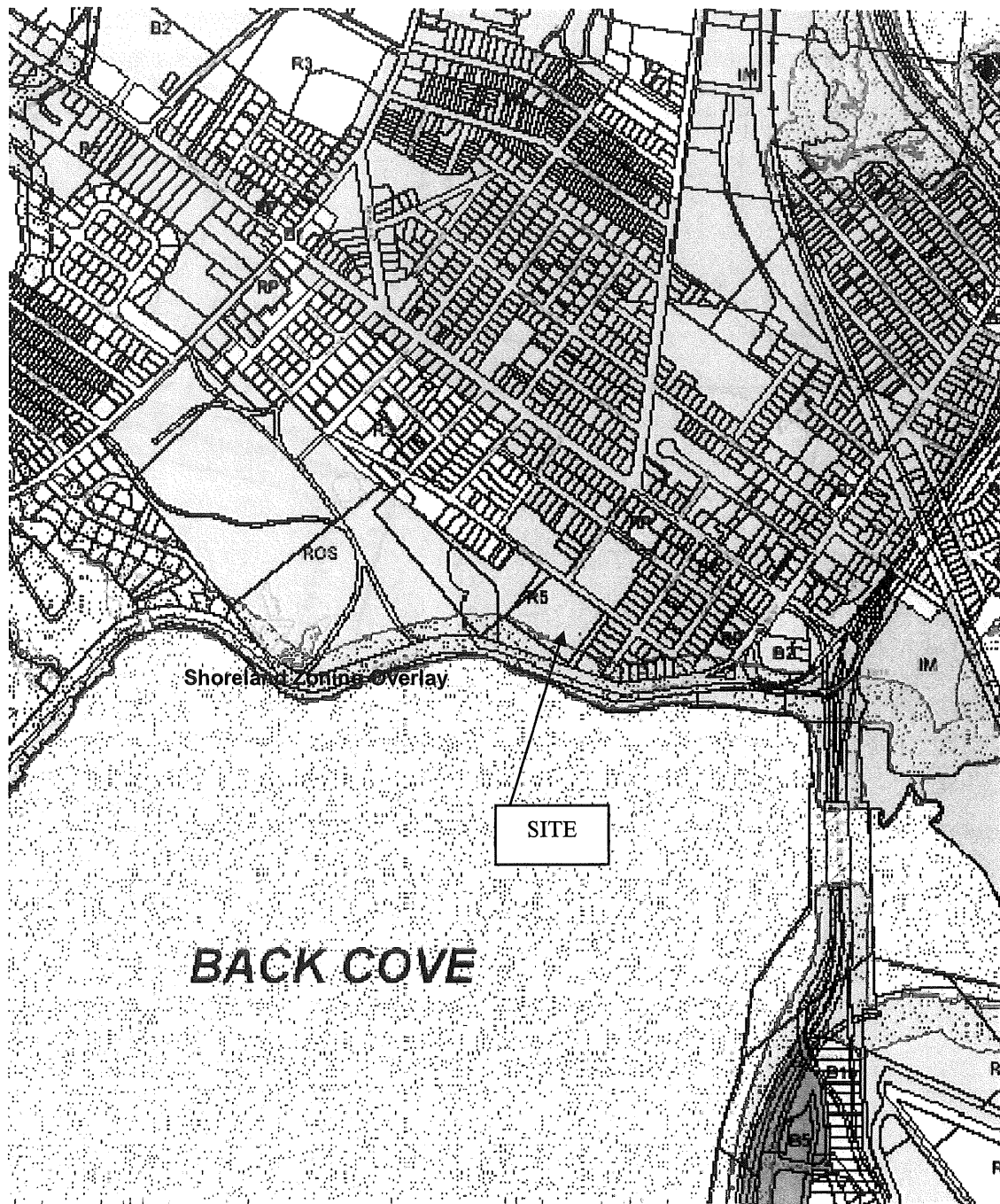


Thomas N. Emery, ASLA
Maine Licensed Landscape Architect
Senior Associate
tom.emery@stantec.com

Attachment:

c. C. Coffin; M Burnes

• REFERENCE : City of Portland Zoning



Stantec

▪ PREPARED FOR:

Seaside Healthcare Facility
580 Baxter Blvd.
Portland, ME 04101

▪ TITLE:

Zoning Map

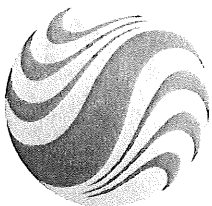
▪ DATE: 10/2009

▪ SCALE: NTS

▪ JOB NO:
210800542

**Figure
1**

REFERENCE : City of Portland, Maine, Tax Sheets 166 & 167, dated 3/11/05



Stantec

PREPARED FOR:

Seaside Healthcare Facility
580 Baxter Blvd
Portland, ME 04102

TITLE:

Assessor's Map

DATE: 10/2009

SCALE: N/A

JOB NO:
210800542

Figure
2

Marge Schmuckal - Re: Seaside Nursing home

From: Philip DiPierro
To: Giles, Eric; Schmuckal, Marge
Date: 5/4/2010 8:19 AM
Subject: Re: Seaside Nursing home

They still need to submit a cost estimate, PG, pay the site inspection fee, and hold the preconstruction meeting before the permit gets issued.

Phil

>>> Marge Schmuckal 5/3/2010 4:26 PM >>>
I wonder if I have the new or old plans submitted with the building permit.....

>>> Eric Giles 5/3/2010 4:25 PM >>>
Hi Marge - can't issue a permit, they are proposing an amendment to their plan which will be discussed tomorrow with the applicant.

Erick Giles, AICP, LEED AP
Planner
City of Portland
Department of Planning and Urban Development

>>> Marge Schmuckal 5/3/2010 4:15 PM >>>
I have received an application for the work here - Is it ok to issue a permit yet?
Marge